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December 30, 2014

Shawn O'Malley  
Town Engineer  
Town of Jackson  
150 East Pearl Ave.  
Jackson, WY 83001

RE: Raver Condominium Addition to the Town of Jackson – Final Plat Closure  
Information

Dear Shawn,

Attached is a copy of the lot closure calculations for the exterior boundary of the proposed Raver Condominium Addition to the Town of Jackson located at 250 Snow King Drive. There is one sheet attached herewith dated 12/30/14. Please note a survey in digital form will be submitted with the final mylar at the time of Final Plat signature.

Best regards,

  
Scott R. Pierson  
Wyoming PLS 3831

Enclosure:

Lot File: F:\2014\14193\Survey\ACAD\Data\14193.lot

CRD File: F:\2014\14193\Survey\ACAD\Data\14193\_CONDO\_PLAT\_BNDRY1.crd

Lot: 1 , Block: , Type: LOT

PNT#	Bearing	Distance	Northing	Easting	Station
800			1412271.930	2443515.350	0.000
	S 89°30'00" E	150.260			
801			1412270.619	2443665.604	150.260
	S 00°25'08" W	99.470			
802			1412171.151	2443664.877	249.730
	N 89°39'12" W	149.900			
803			1412172.058	2443514.980	399.630
	N 00°12'45" E	99.872			
800			1412271.930	2443515.350	499.502

Closure Error Distance&gt; 0.00000

Total Distance&gt; 499.502

Area: 14958.6 Sq. Feet, 0.3 Acres

Block Total Area: 14958.6 Sq. Feet, 0.3 Acres

**Parr Terre LLC  
Raver Condominiums  
Letter of Justification**

**APPLICANT:** Parr Terre LLC

**OWNER:** Same as Applicant

**REPRESENTATIVE:** Pierson Land Works LLC

**PROPERTY LOCATION:** 250 Snow King Ave; Lots 1 and 2, Block 7, Third Karns Addition, Plat No. 130

**DESCRIPTION OF PROPERTY:** The subject property consists of two town lots totaling approximately .34 acres in size and is currently zoned Auto-Urban Residential (AR). The site is flat and bordered on the west by an alley, the north by W. Snow King Ave. and on the east by South Millward St.

This property's current existing use is residential apartments built in 1973, historically known as the "Raver Apartments." The complex consists of 12 apartments ranging in size from approximately 480 sf. to 1,050 sf. The gross floor area of the complex is approximately 9,984 sf.

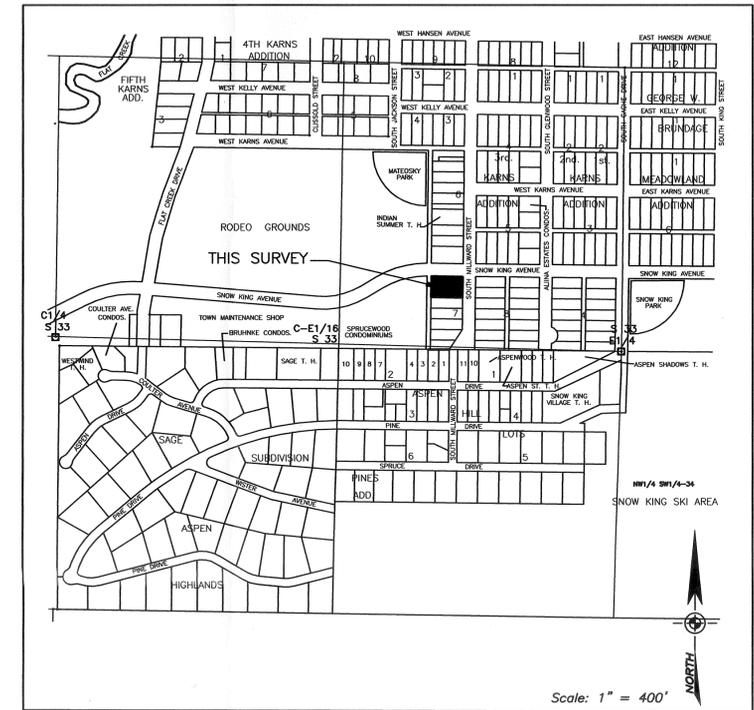
**DESCRIPTION OF PROPOSAL:** The applicant is requesting to convert the existing apartments into Condominium ownership which is an allowed use in the AR zone district within the Town of Jackson. The proposed project will create 12 individual ownership units with associated common and limited common areas, provide 24 parking spaces and access. To meet the 25% affordable housing requirement for the Town of Jackson, the applicant proposes to deed restrict 5 one-bedroom units on the ground floor. This exceeds the required housing mitigation by over 1.5 units.

This project consists of converting an existing apartment building into condominium ownership. In accordance with Section 2315 of the Town of Jackson Land Development Regulations regarding Condominium Subdivisions, a Final Minor Development Plan is being submitted. A building inspection was conducted by Mike Bishop Construction, Inc to assess safety issues as outlined by Steve Haines of the Town of Jackson Building Department. A copy of the report is included with the application materials.

Further, in accordance with Section 2315 G., the applicant will provide notice by certified mail to existing tenants concurrently with the Final Plat application.

VICINITY MAP

showing part of NE1/4 & SE1/4 Section 33  
and part of the W1/2NW1/4 & W1/2SW1/4 Section 34 T41N, R116W, 6TH P.M.



CERTIFICATE OF SURVEYOR

State of Wyoming )  
County of Teton )ss  
Town of Jackson )

I, Scott R. Pierson of Jackson, Wyoming, hereby certify that this plat was prepared from data obtained during a survey performed by me and others under my supervision during October 2014, and from records available in the Office of the Clerk of Teton County;

that it correctly represents the RAVER CONDOMINIUM ADDITION TO THE TOWN OF JACKSON, identical with Lot 1 and Lot 2, Block 7, Third Karns Addition, a subdivision of record in the Office of the Clerk of Teton County, Wyoming as Plat No. 130 located in the SE1/4NE1/4 of Section 33, T41N, R116 W, 6th P.m., Teton County, Wyoming, more particularly described as follows:

BEGINNING at the northeast corner of said Lot 1, said point being the northeast corner of said Block 7, Third Karns Addition to the Town of Jackson, where is found a 3/4 inch diameter steel rebar;

THENCE along the east lines of said Lot 1 and Lot 2, S 00°25'08" W, 99.47 feet to the southeast corner of said Lot 2 where is found a T-shaped steel stake with a chromed cap inscribed "RLS 164";

THENCE along the south line of said Lot 2, N 89°39'12" W, 149.90 feet to the southwest corner of said Lot 2 where is found a T-shaped steel stake;

THENCE along the west line of said Lot 2 and Lot 1, N 00°12'34" E, 99.87 feet to the northwest corner of said Lot 1 where is found a 5/8 inch diameter steel rebar;

THENCE along the north line of said Lot 1, S 89°30'00" E, 150.26 feet to the POINT OF BEGINNING.

ENCOMPASSING 0.34 acres more or less;

that the BASE BEARING for the data provided on the plat is a geodetic bearing derived from GPS measurement;

that all corners are monumented as shown hereon.

Scott R. Pierson  
Wyoming Professional Land Surveyor No. 3831

ACKNOWLEDGMENT

The foregoing instrument was acknowledged before me by Scott R. Pierson this \_\_\_\_ day of \_\_\_\_\_, 2015.

WITNESS my hand and official seal.

My commission expires:

Notary Public

CERTIFICATE OF ACCEPTANCE

State of Wyoming )  
County of Teton )ss  
Town of Jackson )

The foregoing RAVER CONDOMINIUM ADDITION TO THE TOWN OF JACKSON was approved at the regular meeting of the Town Council on the \_\_\_\_ day of \_\_\_\_\_, 2015, in accordance with Section 15-1-415, Wyoming Statutes, and the Land Development Regulations of the Town of Jackson.

Attest: TOWN OF JACKSON

Town Clerk

Mayor

Jackson Town Engineer

CERTIFICATE OF OWNER

State of Wyoming )  
County of Teton )ss  
Town of Jackson )

The undersigned representative of Par Terre, LLC hereby certifies that the foregoing condominium subdivision of Lot 1 and Lot 2 Block 7 of the Third Karns Addition to the Town of Jackson, Teton County, Wyoming, as shown on this plat and more particularly described under the Certificate of Surveyor is with free consent and in accordance with the desire of the undersigned owner and proprietor of the described lands;

that the name of the subdivision shall be RAVER CONDOMINIUM ADDITION TO THE TOWN OF JACKSON to be recorded concurrently with this plat;

that the foregoing subdivision is hereby dedicated for condominium ownership as recognized under Wyoming Statutes, Sections 34-20-101 through 34-20-104;

that this subdivision is subject to any covenants, conditions, restrictions, easements, ditches, roadways, rights-of-way, common areas, reservations, building set-back requirements, and conditions of sight and/or record including but not limited to those delineated on recorded Plat No. 160, on file in the Office of the Clerk of Teton County, Wyoming;

that this subdivision has the use and benefit of a non-exclusive easement in, over and across that portion of the Common Area granted to each owner of a unit within Raver Condominium Addition to the Town of Jackson, their heirs, successors, and assigns for purposes of access to and from said units and for underground utilities serving said units;

that the owners of condominium units within this subdivision have the use and benefit of portions of the Common Area of this subdivision, divided into General Common Element denoted by GCE and Limited Common Elements denoted by LCE followed by the number of the associated unit, and reserved for the exclusive use and enjoyment of the owner of such unit, subject to easements of sight and/or of record including those granted hereon and subject to the rights of such owner, his heirs and assigns, and of the Homeowners Association and its authorized representatives to enter upon said Limited Common Elements for the purposes of installing, maintaining, or inspecting, utility facilities serving this subdivision;

that non-exclusive easements across the Common Area of this subdivision are hereby granted to Lower Valley Energy and those other utility companies, their successors and assigns serving this subdivision for construction, maintenance, and repair of the utility services for the subdivision as shown hereon;

that the Town of Jackson shall have access to all water valves, meters, shut-off boxes, sewer cleanouts, and manholes, and the undersigned reserves the right to create easements across the Common Area of this subdivision as necessary to provide for said access;

that the access across those areas designated as General Common Element or Limited Common Element, is hereby granted to emergency vehicles, including ambulances, fire-fighting vehicles, and police vehicles;

that the under signed owner reserves unto itself, its heirs, successors, and assigns the right of ingress and egress across the Common Area for construction and other purposes relating to this subdivision and the right to grant unto other parties non-exclusive easements across said Common Area;

that access to this subdivision is from Snow King Avenue and South Millward Street;

that the forgoing subdivision is subject to the Declaration of Condominium for Raver Condominium Addition to the Town of Jackson as recorded in said Office concurrently with this plat and any subsequent amendments;

that Units 1,3,5,9,11 of the forgoing subdivision are subject to that Deed Restriction for Affordable Housing recorded against Lot 1 and Lot 2 of Block 7 of the Third Karns Addition to the Town of Jackson in said Office concurrently with this plat;

that the ownership of a condominium unit shall consist of ownership of an individual airspace unit in the building together with an undivided fractional interest in the general and limited common elements as defined herein and in said Declaration of Condominium filed concurrently with this plat;

that the undersigned owner does not warrant to any purchaser that he or she shall have any rights to the natural flow of any stream within or adjacent to the subdivision;

that Wyoming law does not recognize any riparian rights within regard to the natural flow of a stream or river for persons living on the banks of the stream or river;

that Lot 1 and Lot 2 of Block 7 of the Third Karns Addition to the Town of Jackson are hereby vacated, being reconfigured as the RAVER CONDOMINIUM ADDITION TO THE TOWN OF JACKSON;

that the County Clerk is respectfully requested to provide an appropriate notation on Lots 1 and Lot 2 of Block 7 of the Third Karns Addition to the Town of Jackson, recorded in the Office as Plat No. 130, in reference to the foregoing subdivision;

PAR TERRE, LLC  
a Wyoming Limited Liability Company

BY: \_\_\_\_\_

ACKNOWLEDGMENT

The foregoing instrument was acknowledged before me by \_\_\_\_\_ as \_\_\_\_\_ of Par Terre, LLC this \_\_\_\_ day of \_\_\_\_\_, 2015.

WITNESS my hand and official seal.

My commission expires:

Notary Public

CERTIFICATE OF MORTGAGEE

State of Wyoming )  
County of Teton ) ss  
Town of Jackson )

The undersigned is the mortgagee of the land described under the Certificate of Surveyor and hereby consents to the foregoing subdivision and the dedication of the lands as contained in the Certificate of Owners, and agrees that the mortgage shall be subordinated to the dedications and easements contained therein and shown hereon and further consent to the Declaration of Condominium for Raver Condominium Addition to the Town of Jackson, as referenced under the Certificate of Owners.

Rocky Mountain Bank

SIGNATURE BY SEPARATE AFFIDAVIT

PUBLIC MAINTENANCE OF SOUTH MILLWARD STREET AND SNOW KING AVENUE

THIS SUBDIVISION WILL BE CONNECTED TO THE TOWN OF JACKSON WATER SUPPLY SYSTEM

THIS SUBDIVISION WILL BE CONNECTED TO THE TOWN OF JACKSON SEWER COLLECTION AND TREATMENT SYSTEM

SELLER DOES NOT WARRANT TO THE PURCHASER THAT HE OR SHE SHALL HAVE ANY RIGHTS TO THE NATURAL FLOW OF ANY STREAM WITHIN OR ADJACENT TO THE SUBDIVISION

WYOMING LAW DOES NOT RECOGNIZE ANY RIPARIAN RIGHTS TO THE CONTINUED NATURAL FLOW OF ANY STREAM OR RIVER FOR PERSONS LIVING ON THE BANKS OF THE STREAM OR RIVER

OWNER & APPLICANT:

PAR TERRE, LLC  
6545 NORTH VISTA LANE  
JACKSON, WY 83001

SURVEYOR:

PIERSON LAND WORKS LLC  
P.O. Box 1143  
JACKSON, WY 83001  
PHONE: 307-733-5429

ZONING DISTRICT: AR

ZONING OVERLAYS: NONE

PROJECT ACREAGE: 0.34 ACRES

NUMBER OF CONDOMINIUM UNITS: 12

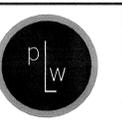
NUMBER OF UNITS PER ACRE: 35.3

ACREAGE OF EXTERIOR GENERAL & LIMITED COMMON AREA: 0.27 ACRES

SUBMITTAL DATE: DECEMBER 31, 2014

FINAL REVISION DATE:

FINAL PLAT  
RAVER CONDOMINIUM  
ADDITION TO THE TOWN OF JACKSON  
Being Identical With  
Lot 1 & Lot 2 BLOCK 7 THIRD KARNs ADDITION  
TO THE TOWN OF JACKSON  
LOCATED WITHIN  
SE1/4NE1/4 Section 33, T41N, R116W, 6th P.M.  
TOWN OF JACKSON  
TETON COUNTY, WYOMING



Pierson Land Works, Inc.  
P.O. Box 1143  
180 S. Willow St.  
Jackson, WY 83001  
Tel 307. 733.5429  
Fax 307. 733.9669  
piersonlandworks.com



**LEGEND**

- INDICATES A STEEL T-SHAPED STAKE WITH A CHROME CAP INSCRIBED "RLS 164" FOUND THIS SURVEY
  - INDICATES A STEEL T-SHAPED STAKE FOUND THIS SURVEY
  - INDICATES A 5/8 INCH DIAMETER STEEL REBAR FOUND THIS SURVEY
  - INDICATES A 3/4 INCH DIAMETER STEEL REBAR FOUND THIS SURVEY
- PROPERTY LINE
  - ADJACENT PROPERTY LINE
  - TIE TO BUILDING
  - PERIMETER OF CONDOMINIUM BUILDING GROUND AND FIRST LEVEL
  - LIMITED COMMON ELEMENT APPURTENANT TO A CONDOMINIUM UNIT
- P—"X" PARKING  
D—"X" DECK  
E—"X" ENTRY

**LINE TABLE**

LINE	BEARING	DISTANCE
L1	N 00°15'50" E	4.03'
L2	S 89°44'10" E	10.76'
L3	S 89°44'10" E	10.76'
L4	S 00°15'50" W	4.03'
L5	N 00°15'50" E	4.03'
L6	S 00°15'50" W	10.79'
L7	N 89°44'10" W	4.51'
L8	N 00°15'50" E	5.81'
L9	N 89°44'10" W	3.23'
L10	N 89°44'10" W	3.23'
L11	N 00°15'50" E	5.81'
L12	N 89°44'10" W	4.51'
L13	N 00°15'50" E	10.79'
L14	N 00°15'50" E	5.01'
L15	N 00°15'50" E	3.99'
L16	S 89°44'10" E	10.46'
L17	S 89°44'10" E	10.46'
L18	S 00°15'50" W	3.99'
L19	N 00°15'50" E	3.99'
L20	N 89°44'10" W	2.04'
L21	S 89°44'10" E	2.04'
L22	N 00°15'50" E	10.77'
L23	N 89°44'10" W	4.67'
L24	N 00°15'50" E	5.92'
L25	N 89°44'10" W	3.29'
L26	N 89°44'10" W	3.35'
L27	N 00°15'50" E	5.13'
L28	N 89°44'10" W	4.39'
L29	N 00°15'50" E	9.98'
L30	N 00°15'50" E	4.65'
L31	N 00°15'50" E	3.99'
L32	S 89°44'10" E	10.54'
L33	S 89°44'10" E	10.54'
L34	S 00°15'50" W	3.99'
L35	N 00°15'50" E	3.99'
L36	S 89°44'10" E	2.58'
L37	N 00°15'50" E	10.01'
L38	N 89°44'10" W	4.66'
L39	N 00°15'50" E	5.09'
L40	N 89°44'10" W	3.19'
L41	N 89°44'10" W	3.19'
L42	N 00°15'50" E	5.15'
L43	N 89°44'10" W	4.74'
L44	N 00°15'50" E	10.07'
L45	N 00°15'50" E	4.92'

ALPINE MEADOW TOWNHOMES  
PLAT NO. 860

SNOW KING AVENUE  
(60' Wide Right-of-Way)

MILWARD STREET  
(60' Wide Right-of-Way)

TETON COUNTY PLANE  
COORDINATES (NAD83)  
N 1412271.93  
E 2443615.35

TETON COUNTY PLANE  
COORDINATES (NAD83)  
N 1412269.33  
E 2443665.55  
PROJECT BENCHMARK = 6214.9'

COMMON AREA  
0.27 AC

RAVER CONDOMINIUM  
Building Exterior

COMMON AREA  
0.27 AC

LOT 3  
BLOCK 7  
THIRD KARNIS ADDITION  
PLAT NO. 130

**FINAL PLAT**  
**RAVER CONDOMINIUM**  
**ADDITION TO THE TOWN OF JACKSON**  
Being Identical With  
Lot 1 & Lot 2 BLOCK 7 THIRD KARNIS ADDITION  
TO THE TOWN OF JACKSON  
LOCATED WITHIN  
SE1/4NE1/4 Section 33, T41N, R116W, 6th P.M.  
TOWN OF JACKSON  
TETON COUNTY, WYOMING



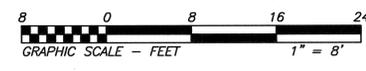
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TOWN OF JACKSON  
(TOWN MAINTENANCE SHOP)  
MAP T-57

ALLEY

BLOCK 8  
THIRD KARNIS ADDITION  
PLAT NO. 130

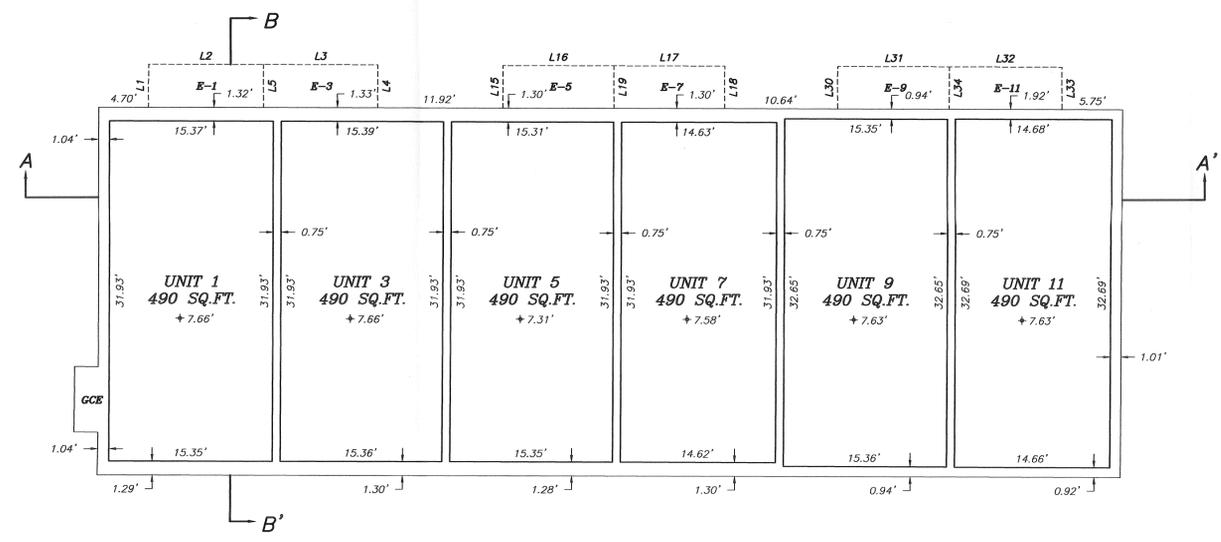
NOTE: BEARINGS FOR D-4, D-6, D-8,  
D-10, AND D-12 ARE THE SAME AS  
THOSE SHOWN FOR D-2



**CONDOMINIUM UNITS 1, 3, 5, 7, 9, 11**

**BASEMENT FLOOR**

**PLAN VIEW**



SEE SHEET 4 FOR CROSS-SECTION VIEWS

**AREA OF CONDOMINIUM UNITS:**

- UNIT 1 = 490 SQ. FT.
- UNIT 3 = 491 SQ. FT.
- UNIT 5 = 490 SQ. FT.
- UNIT 7 = 467 SQ. FT.
- UNIT 9 = 501 SQ. FT.
- UNIT 11 = 480 SQ. FT.

**LINE TABLE**

LINE	BEARING	DISTANCE
L1	N 00°15'50" E	4.03'
L2	S 89°44'10" E	10.76'
L3	S 89°44'10" E	10.76'
L4	S 00°15'50" W	4.03'
L5	N 00°15'50" E	4.03'
L15	N 00°15'50" E	3.99'
L16	S 89°44'10" E	10.46'
L17	S 89°44'10" E	10.46'
L18	S 00°15'50" W	3.99'
L19	N 00°15'50" E	3.99'
L30	N 00°15'50" E	3.99'
L31	S 89°44'10" E	10.54'
L32	S 89°44'10" E	10.54'
L33	S 00°15'50" W	3.99'
L34	N 00°15'50" E	3.99'

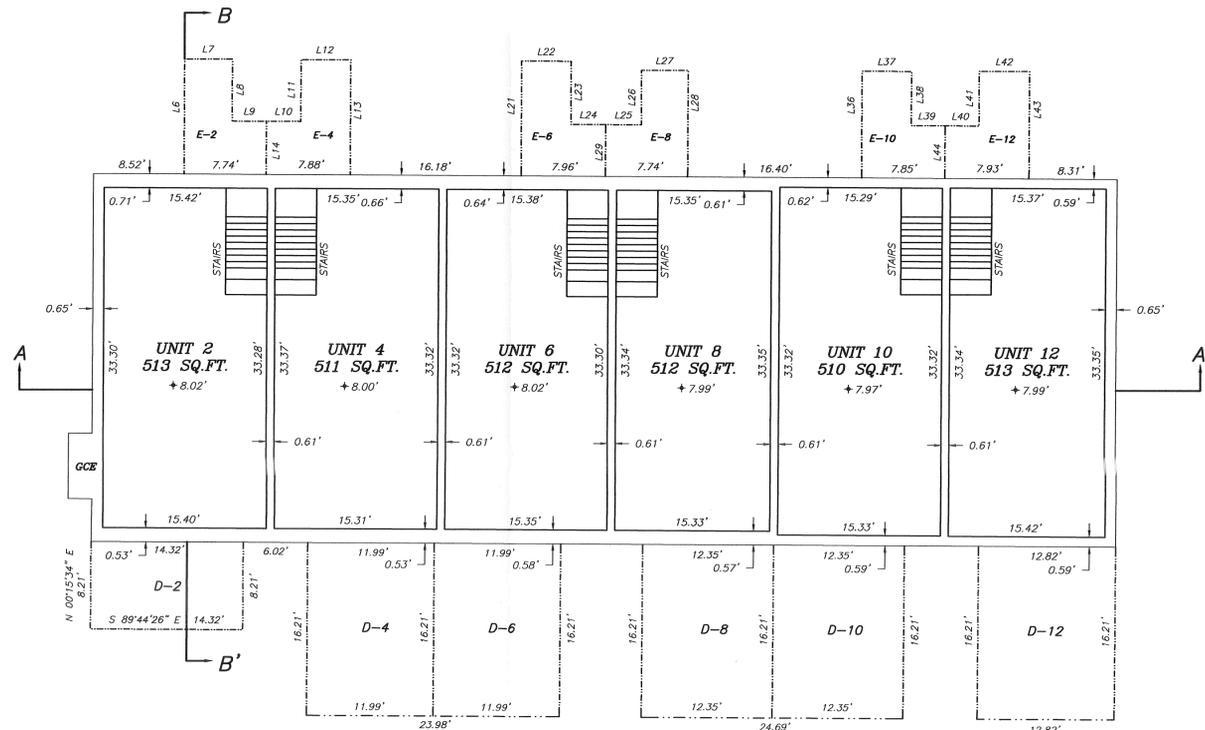
- LEGEND**
- NOTE: The following terminology is in accordance with the Condominium Ownership Act, Wyoming Statutes, Section 34-20-101 through 34-20-104.
- UNIT 204 INDICATES THE UNIT NUMBER DEFINING THE INDIVIDUAL AIR SPACE UNIT
  - 1.92' INDICATES THE DIMENSION BETWEEN THE FINISHED EXTERIOR WALL AND THE BOUNDARY OF THE AIR SPACE UNIT
  - 11.31' INDICATES AN AIR SPACE UNIT DIMENSION
  - BOUNDARY OF AIR SPACE UNIT
  - FINISHED EXTERIOR WALL
  - A — LINE AND LABEL OF CROSS SECTION
  - E-1 LIMITED COMMON ELEMENTS: ENTRY APPURTENANT TO CONDOMINIUM UNIT
  - GCE GENERAL COMMON ELEMENT
  - + 8.0' CEILING HEIGHT
- NOTES:**
1. THE PLAN VIEWS AND CROSS-SECTIONS WERE PREPARED FROM FIELD MEASUREMENTS.
  2. ELEVATIONS GIVEN ARE BASED ON NGVD 1929.
  3. MEASUREMENTS TO ONE-HUNDREDTH OF A FOOT ARE FOR THE PURPOSE OF CORRELATION AND ARE NOT NECESSARILY THE BUILDING TOLERANCES.



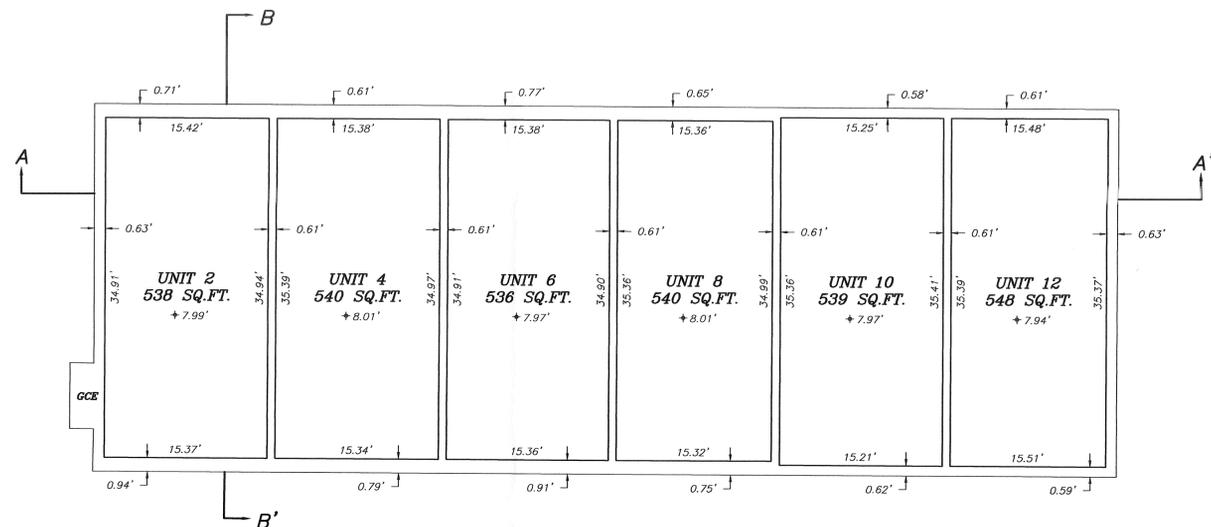
# CONDOMINIUM UNITS 2, 4, 6, 8, 10, 12

## MAIN FLOOR

### PLAN VIEW



## UPPER FLOOR



### AREA OF CONDOMINIUM UNITS:

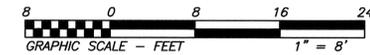
- UNIT 2 = 1051 SQ. FT.
- UNIT 4 = 1051 SQ. FT.
- UNIT 6 = 1048 SQ. FT.
- UNIT 8 = 1052 SQ. FT.
- UNIT 10 = 1049 SQ. FT.
- UNIT 12 = 1061 SQ. FT.

### LINE TABLE

LINE	BEARING	DISTANCE
L6	S 00°15'50" W	10.79'
L7	N 89°44'10" W	4.51'
L8	N 00°15'50" E	5.81'
L9	N 89°44'10" W	3.23'
L10	N 89°44'10" W	3.23'
L11	N 00°15'50" E	5.81'
L12	N 89°44'10" W	4.51'
L13	N 00°15'50" E	10.79'
L14	N 00°15'50" E	5.01'
L21	N 00°15'50" E	10.77'
L22	N 89°44'10" W	4.67'
L23	N 00°15'50" E	5.92'
L24	N 89°44'10" W	3.29'
L25	N 89°44'10" W	3.35'
L26	N 00°15'50" E	5.13'
L27	N 89°44'10" W	4.39'
L28	N 00°15'50" E	9.98'
L36	N 00°15'50" E	10.01'
L37	N 89°44'10" W	4.66'
L38	N 00°15'50" E	5.09'
L39	N 89°44'10" W	3.19'
L40	N 89°44'10" W	3.19'
L41	N 00°15'50" E	5.15'
L42	N 89°44'10" W	4.74'
L43	N 00°15'50" E	10.07'
L44	N 00°15'50" E	4.92'

### NOTES:

1. THE PLAN VIEWS AND CROSS-SECTIONS WERE PREPARED FROM FIELD MEASUREMENTS.
2. ELEVATIONS GIVEN ARE BASED ON NGVD 1929.
3. MEASUREMENTS TO ONE-HUNDREDTH OF A FOOT ARE FOR THE PURPOSE OF CORRELATION AND ARE NOT NECESSARILY THE BUILDING TOLERANCES.

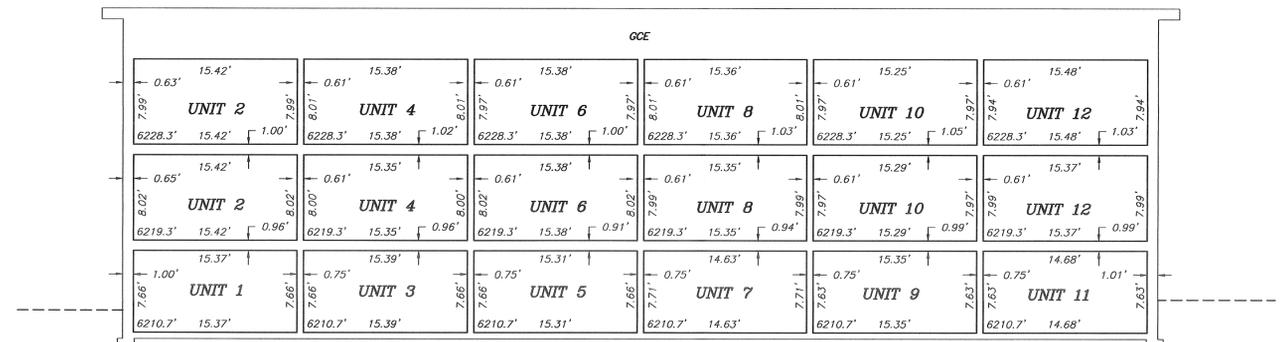


### LEGEND

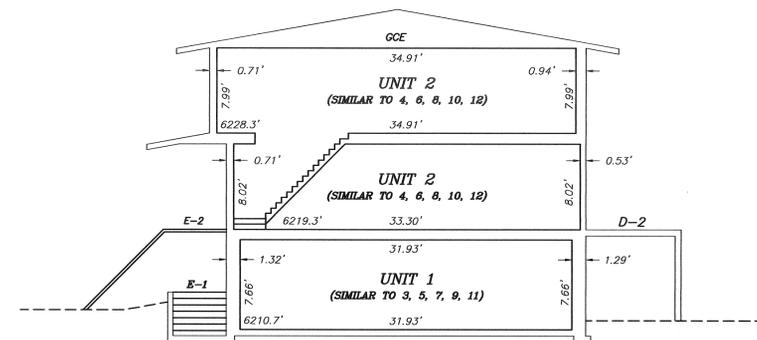
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- 1.92' INDICATES THE DIMENSION BETWEEN THE FINISHED EXTERIOR WALL AND THE BOUNDARY OF THE AIR SPACE UNIT
- 11.31' INDICATES AN AIR SPACE UNIT DIMENSION
- BOUNDARY OF AIR SPACE UNIT
- FINISHED EXTERIOR WALL
- LINE AND LABEL OF CROSS SECTION
- E-1 LIMITED COMMON ELEMENTS: ENTRY APPURTENANT TO CONDOMINIUM UNIT
- GCE GENERAL COMMON ELEMENT
- + 7.99' CEILING HEIGHT

### CROSS-SECTION VIEW A-A'



### TYPICAL CROSS-SECTION VIEW B-B'



FINAL PLAT  
RAVER CONDOMINIUM  
ADDITION TO THE TOWN OF JACKSON  
Being Identical With  
Lot 1 & Lot 2 BLOCK 7 THIRD KARNS ADDITION  
TO THE TOWN OF JACKSON  
LOCATED WITHIN  
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