



# TOWN OF JACKSON PLANNING COMMISSION AGENDA DOCUMENTATION

**PREPARATION DATE:** NOVEMBER 9, 2016  
**MEETING DATE:** NOVEMBER 16, 2016

**SUBMITTING DEPARTMENT:** PLANNING  
**DEPARTMENT DIRECTOR:** TYLER SINCLAIR  
**PRESENTER:** TYLER SINCLAIR

**SUBJECT:** **ITEMS P16-088 & 108:** A REQUEST FOR APPROVAL OF A DEVELOPMENT PLAN AND CONDITIONAL USE PERMIT FOR RESIDENTIAL AND INDUSTRIAL USE FOR THE PROPERTY LOCATED AT 400 W. SNOW KING AVENUE

**APPLICANT:** STEVE ASHWORTH, JACKSON/TETON COUNTY PARKS & RECREATION

**OWNER:** TOWN OF JACKSON

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## REQUESTED ACTION

The applicant is requesting a Conditional Use Permit (CUP) to allow an industrial use in the Public/Semi-Public (P/SP) zoning district and a Development Plan for the Parks and Recreation maintenance facility and accessory residential units, in a building of approximately 50,679 square feet located at 675 W. Snow King Avenue.

## APPLICABLE REGULATIONS

Section 8.4.2 Conditional Use Permit  
Section 8.3.2 Development Permit

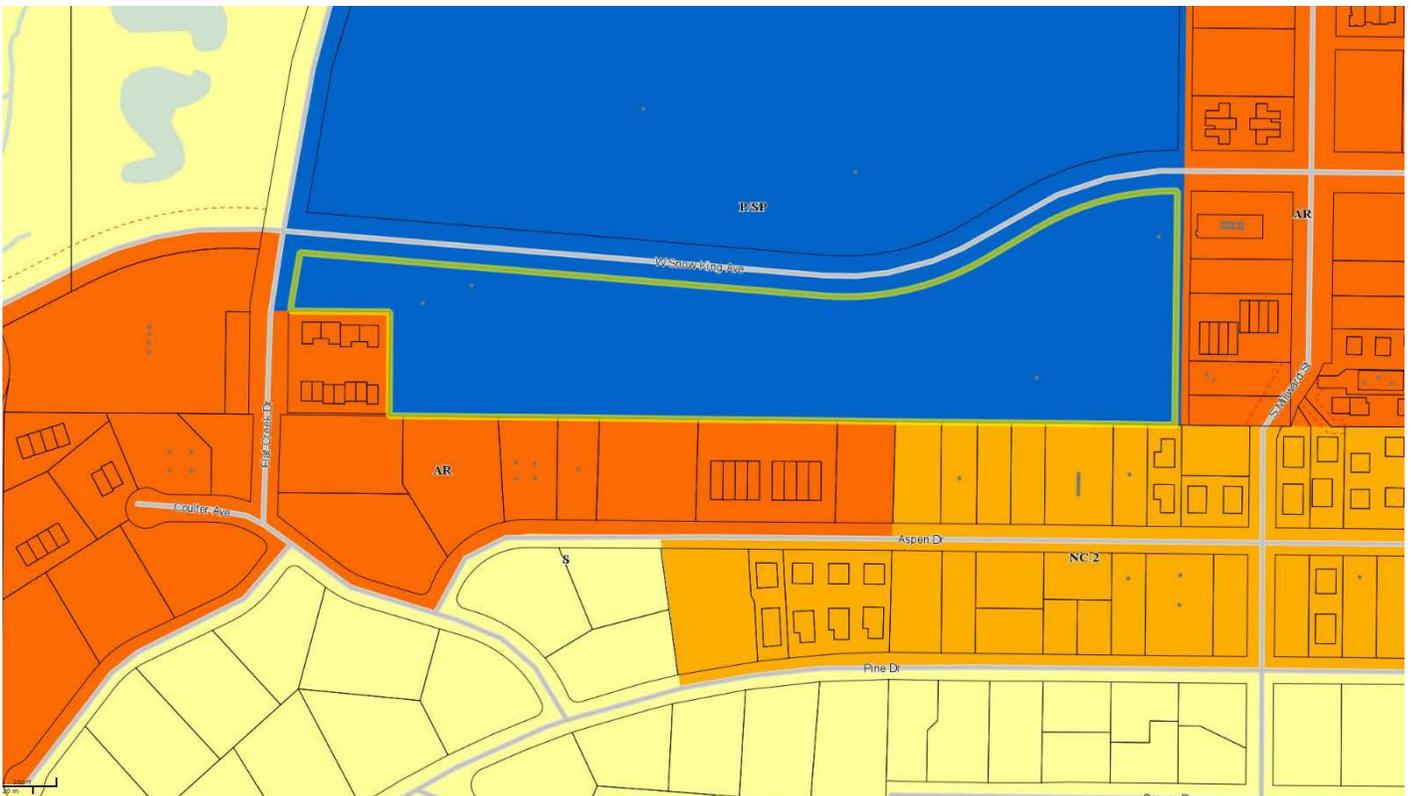
## BACKGROUND

Historically, this site has been the location of the Town Public Works facility. The site has contained a variety of exterior light and heavy industrial uses over the years most recently including the location of an sand pile.

Staff notes that the subject property is zoned Public/Semi-Public, and as such there are no prescribed dimensional limitations for the site. The purpose of the district is to provide land for necessary public facilities of a public or semi-public nature, which often have unique functions that are not addressed by the dimensional limitations applied in other zoning districts. However, the CUP requirement for all P/SP development is intended to ensure that it is compatible with surrounding land uses, minimizes adverse impacts, and conforms to the standards of the LDRs and the Comprehensive Plan. In addition, P/SP development is subjected to a case-by-base analysis in order to ensure that their proposed locations, designs, configurations, densities, and nature/intensity of use and structure are appropriate in a given location.

## LOCATION

The subject property is described as part of the SE1/4NE1/4, SEC. 33, TWP. 41, RNG. 116 MAP T-57, and addressed as 400 West Snow King Avenue. An aerial photo and zoning map are shown below:



## PROJECT DESCRIPTION

The proposed development is contained within the existing Public Works facility located south of Snow King Drive between Flat Creek Drive to the west and South Milward Street to the east. It is comprised of a series of 3 utilitarian, light industrial buildings surrounding a central paved vehicle parking and storage yard.

Building A facing Snow King Avenue will contain the Parks and Recreation administrative offices including storage and flex space on two levels with a basement. Building B located on the western portion of the site will include the Parks and Recreation maintenance facility in a one level structure. Building C located on the eastern edge of the site will include the Parks and Recreation equipment storage on level 1 and accessory residential units on the two upper levels. The provided parking is located interior to the three proposed structures in the proposed parking lot and in the existing parking area to the east of the proposed structures.

Surrounding land uses include the fairground stadium to the north across Snow King Drive, the 1-story, metal-sided fair/expo building and grassy open space to the east and various multi-family housing buildings to the south on Aspen Drive. The existing Public Works facility is located to the west. As a result of this application there will be some operational changes to the Public Works facility. The applicant has provided an overview of these changes in their application as part of the consideration of the overall site CUP. New structures proposed on the revised site plan for the overall Public Works facility would be subject to a separate CUP application at that time. Only operational changes associated with the addition of the Parks and Recreation facility are considered part of this application.

The proposed accessory residential units will include a total of 21 beds in one bedroom and studio units. Outdoor space for these units has been provided in outdoors deck areas along with bike and storage areas.

The proposed access will be limited to the one existing curb cut into this area from Snow King Avenue.

## STAFF ANALYSIS

### **Building and Site Compatibility**

Staff finds that the overall building location and site plan is compatible with the existing and allowed uses in the area. The existing Public Works and Parks and Recreation uses have successfully occupied this area for some time. Staff finds that the proposed plan will improve the existing situation bringing many of the existing uses of the site inside and screened them from Snow King Avenue better than what exists today. The P/SP zoning district does not provide specific dimensional limitations for setbacks, FAR, LSR due to the unique nature of the allowed public uses for these sites. Review of dimensional limitations is done through a general compatibility review of each P/SP application against the surrounding and allowed land uses. Staff finds that the bulk, scale and intensity of the proposed application is in keeping with the adjacent properties.

### **Proposed Uses**

Staff finds that the proposed light industrial use requiring the Conditional Use is appropriate for the site. Staff finds the proposed hours of operation, noise and lighting considerations incorporated into the application will be adequate to address any significant impact on the surrounding neighborhood and in many instances improve on the existing conditions. The other proposed uses including office, developed recreation and accessory residential uses are all allowed uses ancillary to the primarily light industrial use.

### **Accessory Residential Uses**

Although exempt from Employee Housing requirements the application is providing significantly more units than would be required in a similar private development. Staff does find that the proposed location and layout of the units is compatible with the other proposed uses on the site. Specifically staff finds that entrance locations and the proposed parking is provided in areas separate from the majority of the light industrial use to limit interaction between these uses. In addition, staff finds that many of the residents of the residential units will be employees of the Town and County and can be made familiar with the operational characteristics of the site. Staff including the Housing Department have some concerns with the amount of storage in each unit as well as additional storage on the site to ensure the residential use is kept in an orderly and attractive manner.

### **Building Height**

Staff finds that the diversity of building heights being one, two and three levels above grade is appropriate and necessary to accommodate the variety of proposed uses. The majority of the proposed structures are below 35' in height with the exception of the stair/elevator tower and outdoor area associated with the residential units. Staff finds that the proposed height above 35' is for a small portion of the overall project and is compatible with the surrounding land uses. Staff also considered that the allowed height in most industrial and commercial areas is 35' and multi-family structures in the Urban Commercial zone are allowed up to 48'.

### **Parking**

Staff finds that the amount and location of parking proposed for the variety of uses will be appropriate. Staff is supportive of the location of the proposed parking and the related entrances into the associated uses in the buildings. Staff also finds that the opportunity for shared, managed parking by the Town/County operators of the facility will be a benefit to the site.

### DRC ANALYSIS

DRC reviewed this project at public meetings on September 14 and November 9, 2016. Committee members were generally supportive of the overall site plan, building configuration and massing yet had some concerns at the initial meeting about certain building elevations, height, fenestration, roof connections, materials, colors and the need for a 3-D model and/or color images. Based on DRC's direction, the applicant made revisions to the building plans/elevations and prepared several 3-D color images of the proposed facility from several vantage points. At the November 9th meeting, the applicant and architect gave a presentation that was followed by DRC members asking questions, making comments and discussing details of the project. The Design Review Committee then made a motion to recommend approval of the Parks & Recreation Facility Development Plan with three (3) conditions:

1. Simplify the palette of building materials;
2. Select a darker, richer color scheme; and
3. Submit a sample board with specific building materials and colors to the DRC prior to issuance of a building permit.

The DRC approved the recommendation with conditions, 6-0 in favor with one (1) member absent.

### PUBLIC COMMENT

There has been significant interest in this application from surrounding property owners, but no written comment at this time. Generally public comment has been that the proposed application will be an improvement to the current Public Works operation. Staff notes that the entire existing Public Works facility was included in the public notice to ensure adequate notification.

## STAFF FINDINGS

**Item A:** Pursuant to Section 8.4.2.C (Conditional Use Permit Standards) of the Land Development Regulations, the following findings shall be made for the approval of a Conditional Use Permit to allow a light industrial use.

1. ***Compatibility with Future Character.*** *The proposed Conditional Use shall be compatible with the desired future character of the area.*

*Sub-Area 3.3: Rodeo Grounds Institutional Area: This STABLE Subarea is characterized by its two existing institutional land uses - the rodeo grounds and the Town Public Works facility. The Town Public Works facility is an essential facility that should be maintained in its current, central location consistent with the sustainability and community services policies of the plan. Similarly, the location and use of the Rodeo Grounds supports the Town as Heart of Region policies of this plan and should be allowed to remain in its current location. The subarea will maintain similar uses and characteristics into the future, although the actual users may change.*

Complies. Staff finds the proposed project meets the intention and vision for this subarea. Subarea 3.3 specifically states that the existing Public Works institutional use should be maintained in its current, central location consistent with the sustainability and community services policies of the Comprehensive Plan.

In addition, staff has analyzed this application for consistency with the Policy Objectives for District 3. Town Residential Core as follows:

### ***Common Value 1: Ecosystem Stewardship***

*Not applicable.*

### ***Common Value 2: Growth Management***

*Policy 4.1.b: Emphasize a variety of housing types, including deed-restricted housing*

Complies. The application provides a significant number of new residential units to the site in a mixture of studio and one bedroom units.

*Policy 4.3.a: Preserve and enhance stable areas*

Complies. The proposed use supports the existing institutional light industrial use of the property.

*Policy 4.3.b: Create and develop transitional subareas*

Not applicable.

*Policy 4.4.d: Enhance natural features in the built environment*

Not applicable.

### ***Common Value 3: Quality of Life***

*Policy 5.2.b: Encourage deed-restricted rental housing units.*

Not applicable.

*Policy 5.3.b: Preserve existing workforce housing stock*

Not applicable.

*Policy 7.1.c: Increase the capacity for use of alternative transportation modes*

Complies. The proposed facility is located adjacent to an existing START bus stop and has provided adequate bicycle storage for the employees and residents of the site.

2. ***Use Standards.*** *The proposed Conditional Use shall comply with the use specific standards of Division 6.1.*

Complies. The applicant has complied with all standards of the P/SP zone.

3. ***Visual Impacts.*** *The design, development, and operation of the proposed Conditional Use shall minimize the visual impact of the proposed use on adjacent lands.*

Complies as conditioned. Staff finds that the proposed project will have minimal visual impacts on adjacent lands as recommended by the DRC. Final materials and colors shall be reviewed by the DRC prior to issuance of a building permit.

4. ***Minimizes adverse environmental impacts.*** *The development and operation of the proposed Conditional Use shall minimize adverse environmental impacts.*

Complies. Staff finds that the proposed use is in a previously disturbed light industrial area of the community.

5. ***Minimizes adverse impacts from nuisances.*** *The development and operation of the proposed Conditional Use shall minimize adverse impacts from nuisances.*

Complies. Staff finds that the proposed use minimizes adverse impacts on nuisances such as noise, and lighting based upon the operational limitations stated in the application and associated design considerations.

6. ***Impact on Public Facilities.*** *The proposed Conditional Use shall not have a significant adverse impact on public facilities and services, including transportation, potable water and wastewater facilities, parks, schools, police, fire, and EMT facilities.*

Complies. Staff finds that the proposed use will have minimal impacts on public facilities such as transportation, potable water and waste water facilities. As a community facility itself, the facility is increasing the capacity for needed community services.

7. ***Other Relevant Standards/LDRs.*** *The development and operation of the proposed Conditional Use shall comply with all standards imposed on it by all other applicable provisions of the LDRs and all other Town Ordinances.*

Complies. Staff finds that the proposed use, as conditioned, complies with the provisions of the LDRs.

8. **Previous Approvals.** *The proposed Conditional Use shall be in substantial conformance with all standards or conditions of any prior applicable permits or approvals.*

Complies. There are no previous permits or approvals.

**Item B: Development Plan (Section 8.3.2.C).** All Development Plan proposals may be approved only if all of the following findings are made:

1. *The proposed project is consistent with the desired future character described for the site in the Jackson/Teton County Comprehensive Plan.*

Complies. See finding #1 above

2. *The proposed project achieves the standards and objective of the Natural Resource Overlay (NRO) and Scenic Resources Overlay (SRO) if applicable.*

Not applicable.

3. *The proposed project does not have a have a significant impact on public facilities and services, including transportation, potable water and wastewater facilities, parks, schools, police, fire, and EMS facilities.*

Complies. Staff finds that the proposed use will have minimal impacts on public facilities such as transportation, potable water and waste water facilities. As a community facility itself, the facility is increasing the capacity for needed community services.

4. *The proposed project complies with the Town of Jackson Design Guidelines if applicable.*

Complies. The DRC recommended approval of the application on November 9, 2016 subject to three conditions of approval.

5. *The proposed project complies with all relevant standards of these LDRs and other Town Ordinances.*

Complies. Staff finds that the proposed use, as conditioned, complies with the provisions of the LDRs.

6. *The proposed project is in substantial conformance with all standards or conditions of any prior applicable permits or approvals.*

Not applicable.

## [ATTACHMENTS](#)

Departmental Reviews  
Applicant Submittal

## [RECOMMENDATIONS/ CONDITIONS OF APPROVAL](#)

**Item A:** The Planning Director recommends **approval** of a Conditional Use Permit to allow an Industrial use in the Public/Semi-Public (P/SP) zoning district.

**Item B:** The Planning Director recommends **approval** of a Development Plan for the Parks and Recreation maintenance facility and accessory residential units, located at 400 West Snow King Avenue, subject to the following condition:

1. The applicant shall submit a sample board with specific building materials and colors to the DRC prior to issuance of a building permit. In developing the sample board the applicant shall simplify the palette of building materials and select a darker, richer color scheme.

### SUGGESTED MOTIONS

**Item A:** Based upon the findings as presented in the staff report and as made by the applicant for Item P16-088, I move to make findings 1-8 as set forth in Section 8.4.2.C (Conditional Use Permit Standards) of the Land Development Regulations relating to 1) Compatibility with Future Character; 2) Use Standards; 3) Visual Impacts; 4) Minimizes adverse environmental impact; 5) Minimizes adverse impacts from nuisances; 6) Impact on Public Facilities; 7) Other Relevant Standards/LDRs; and 8) Previous Approvals for a Conditional Use Permit to allow an Industrial use in the Public/Semi-Public (P/SP) zoning district at 400 West Snow King Avenue, subject to the department reviews attached hereto.

**Item B:** Based upon the findings presented by staff and the applicant for Item P16-108 including 1) Consistent with the desired future character 2) Achieves the standards of the NRO and SRO 3) Does not have a significant impact on public facilities or services 4) Complies with the Town of Jackson Design Guidelines 5) Complies with all relevant standards of these Land Development Regulations and other Town Ordinances and 6) Is in substantial conformance with all standards and conditions of prior applicable permits or approval, I move to **approve** a Development Plan for the Parks and Recreation maintenance facility and accessory residential units, located at 400 West Snow King Avenue subject to the department reviews attached hereto and the condition above.

**Town of Jackson**  
**Project Plan Review History**

<b>Project Number</b>	P16-088	<b>Applied</b>	8/8/2016	JC
<b>Project Name</b>	400 W. Snow King Ave	<b>Approved</b>		
<b>Type</b>	CUP	<b>Closed</b>		
<b>Subtype</b>	PHYSICAL DEVELOPMENT	<b>Expired</b>		
<b>Status</b>	STAFF REVIEW	<b>Status</b>		

<b>Applicant</b>	Steve Ashworth	<b>Owner</b>	TOWN OF JACKSON
<b>Site Address</b>		<b>City</b>	<b>State</b> <b>Zip</b>
400 W SNOW KING AVENUE		JACKSON	WY    83001

<b>Subdivision</b>	<b>Parcel No</b>	<b>General Plan</b>
	22411633100027	

Type of Review	Status	Dates			Remarks
		Sent	Due	Received	
Contact Notes  Building Steve Haines	APPROVED W/CONDITI	8/8/2016	8/29/2016	8/18/2016	Project has not been reviewed for compliance with the Building and/or Fire Codes adopted by the Town of Jackson. Approval of documents for planning department application does not indicate compliance with the applicable local codes and ordinances or State Law. Contact the Building Official for additional information as needed. Steve Haines Building Official Jackson, Wyoming
Fire None	APPROVED W/CONDITI	8/8/2016	8/29/2016	8/12/2016	



Type of Review	Status	Dates			Remarks
		Sent	Due	Received	
Contact					
Notes					
MEMO					
FIRE REVIEW					

TO: Tyler Sinclair, Planning Director

FROM: Kathy Clay, Fire Marshal

DATE: August 11, 2016

SUBJECT: Sketch Plan and CUP Mixed Use Building  
400 W. Snow King Avenue  
P16-088

This office has received the request for a conditional use plan with a sketch plan for the above location. Current adopted edition of the International Fire Code at the time of permit shall be applicable. Comments include:

1. Fire apparatus access shall be provided. (IFC 503.1.1)
2. Fire flow requirements shall meet Appendix B of the International Fire Code.
3. As determined by the Town of Jackson Building Official, building will have an automatic fire sprinkler system in accordance with NFPA 13 (IFC 903.2.7) Consideration should be made regarding construction features on the roof; ie, covered patio may require fire protection as well as other areas required to be protected per NFPA 13.
4. A horn/strobe shall be installed above the fire department connection. (IFC 912.2.2.1)
5. Water main line shall be installed in accordance to NFPA 13 and NFPA 24 to provide for proper clearances, seismic requirements, flushing and hydrotesting. (IFC 901.4.1)
6. A Knox Box shall be installed in an approved location at each structure having a fire sprinkler system. (IFC 506.1)
7. Visible address numbers, a minimum of 4 inches in height and 0.5 inch stroke width, shall be installed on all structures. (IFC 505.1)
8. Building shall have a complete alarm system per NFPA 72.
9. Interior finishes shall meet fire code requirements. (IFC Chapter 8)
10. Means of egress shall meet fire code requirements. (IFC Chapter 10)
11. The means of egress, including exit discharge, shall be illuminated at all times building space served by means of egress is occupied. (IFC 1006.1)
12. Any hazardous material storage shall meet fire code requirement. (IFC Chapter 27)
13. Should any fuel-fired appliances be installed, requirements for carbon monoxide detection shall be followed. (IFC 908.7)

Please feel free to contact me if you have any further questions at [kclay@tetonwyo.org](mailto:kclay@tetonwyo.org) or 307-733-4732.

Legal	APPROVED	8/8/2016	8/29/2016	8/30/2016
A Cohen-Davis				

Parks and Rec		8/8/2016	8/29/2016	
None				

Pathways		8/8/2016	8/29/2016	
Brian Schilling				

Planning		8/8/2016	8/29/2016	
Tyler Sinclair				

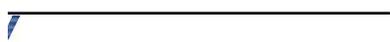
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Type of Review	Status	Dates			Remarks
		Sent	Due	Received	
<b>Contact</b> <b>Notes</b> Police None No concerns other than I expect noise will be an issue at some point with added housing units & "roof top gathering" area. Todd Smith		8/8/2016	8/29/2016		
Public Works Jeremy Parker	APPROVED W/CONDITI	8/8/2016	8/29/2016	9/23/2016	

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Type of Review	Status	Dates			
		Sent	Due	Received	Remarks
<b>Contact</b>					
<b>Notes</b>					
(9/23/2016 5:09 PM JP)					
Plan Review Comments – APPROVED W/ CONDITIONS					
P16-088					
Sketch Plan / CUP					
Steve Ashworth / TCJPR					
400 West Snow King Avenue					
September 23, 2016					
Jeremy Parker, 733-3079 x1412					

The following comments are being provided for preparation of the Building Permit and Grading & Excavation Permit submittals.

Town of Jackson Public Works, Town of Jackson Police Department, and Jackson/Teton County Parks & Recreation are coordinating efforts to address the current and future uses and needs of the 400 West Snow King Avenue property. Proposals for addressing the needs of each department given the anticipated timing of the development on the eastern end of the property have been discussed. Given the unknown timing of the proposed relocation of Town/START Fleet Maintenance Operations from the 400 West Snow King Avenue property to the new START Facility, these proposals will require further discussion with regards to phasing of the Parks & Recreation development pending the outcome of the November 2016 SPET election.

Prior to Building Permit approval, the applicant shall be required to submit for Public Works Director, Town Engineer, and Planning Director approval a detailed construction staging/phasing plan and narrative on the expected public impact.

The plans shall include the proposed potable water, fire, and irrigation system layouts and associated details. Locations of meter(s) and backflow device(s) shall be clearly shown on the plans.

The plans shall include the proposed sanitary sewer system layout and associated details. Due to the location of the proposed structures, replacement of the sanitary sewer main located along the southern property boundary in the vicinity of the development proposal is advised at this time. Coordinate with TOJ Public Works/Engineering.

A complete and detailed landscaping plan shall be required.

The plans shall include a storm-water management plan for the site improvements.

A complete grading and erosion control plan shall be provided on the plans consistent with the LDR's.

Site contours (existing and proposed) shall be provided on the plans beyond all property boundaries per the LDR's to ensure the development's integration into the surrounding public and private property.

The plans shall include proposed revisions to the pedestrian/frontage zone along Snow King Avenue. This shall include proposed revisions to the fencing and landscaping, as well as addressing site distance concerns at both the eastern and western access points. Additionally, the plans shall include all dimensions and elevations in relation to existing curb and future development together with ADA compliance. If awnings or canopies are proposed within the right-of-way, dimensional and drainage information shall be included on the plans.

Discussions between TOJ-PW and Jackson/TC P&R regarding the existing condition and location of the fencing along the southern property boundary have identified the need to replace and possibly relocate this fence.

All work to be completed within the Town's right-of-way shall be specifically addressed.

All onsite power shall be shown as underground and location(s) of transformers indicated.

Snow storage areas for the site shall be indicated on the plans.

Please be advised that a demolition permit shall be required for each existing structure to be removed from the site. Water and sewer services to be abandoned for the project shall be abandoned at the main during the demolition phase of the project.



Type of Review	Status	Dates			Remarks
		Sent	Due	Received	
<b>Contact</b> <b>Notes</b> START Janice Sowder START's interest would be to maintain the current Bus Stop/Pull-out located adjacent to this site (as stated in the document).	APPROVED W/CONDITI	8/8/2016	8/29/2016	8/8/2016	
TC Housing Authority None MEMORANDUM	APPROVED W/CONDITI	8/8/2016	8/29/2016	8/29/2016	

To: Tyler Sinclair  
 Planning Director, Town of Jackson Planning and Building

From: Valerie Adams  
 Housing Specialist, Teton County Housing Authority

Re: Sketch Plan & CUP (P16-088)  
 400 W. Snow King Avenue

Date: August 29, 2016

The applicant is submitting a request for a Sketch Plan and CUP for a mixed use building including commercial, office and residential for the property located at 400 W. Snow King Avenue, legally known as PT.SE1/4NE1/4, SEC.33, TWP.41, RNG.116 MAP T-57 (FAIR GROUNDS, INCLUDES PUBLIC WORKS DEPT.) Jackson Teton County Affordable Housing Department (Housing Department) staff's review is based on Division 6.3 of the Town of Jackson Land Development Regulations (LDRs).

**TOWN OF JACKSON LAND DEVELOPMENT REGULATIONS REVIEW**

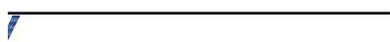
EMPLOYEE HOUSING MITIGATION PLAN (DIVISION 6.3): The applicant is proposing a development that consists of park operations & equipment storage; parks division administration; parks and recreation programming & administration offices; and employee housing. The applicant has indicated the employee housing will consist of 21 units (8 1-bedroom, and 13 studios). This lot is zoned public/Semi-Public Park (P/SP). Section 4.2.1 of the LDRs lists uses in P/SP zone as being exempt from employee housing requirements. There will be no housing requirements for this application. A development of this size will more than likely generate employees, so JTCAMD is pleased to see employee housing units as part of the development.

If the development is using bonus Floor Area to build the employee housing, JTCAMD recommends that an occupancy and use restriction be recorded to ensure the units are used as employee housing in perpetuity.

Thank you for the opportunity to review this application. Please contact me with any questions.

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# TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

## TRANSMITTAL MEMO

**Town of Jackson**

- Public Works/Engineering
- Building
- Title Company-*Wyoming Title & Escrow*
- Town Attorney
- Police

**Joint Town/County**

- Parks and Recreation
- Pathways

**Teton County**

- Planning Division

- Engineer
  - Surveyor- *Nelson*
  - Assessor
  - Clerk and Recorder
  - Road and Levee
  - Housing Authority
- State of Wyoming**
- Teton Conservation
  - WYDOT
  - TC School District #1
  - Game and Fish
  - DEQ

**Federal Agencies**

- Army Corp of Engineers

**Utility Providers**

- Qwest
- Lower Valley Energy
- Bresnan Communications

**Special Districts**

- START
- Jackson Hole Fire/EMS
- Irrigation Company

<p>Date: August 8, 2016</p> <p>Item #: P16-088</p> <hr/> <p>Planner: Tyler Sinclair</p> <p>Phone: 733-0440 ext. 1301</p> <p>Fax: 734-3563</p> <p>Email: <a href="mailto:tsinclair@ci.jackson.wy.us">tsinclair@ci.jackson.wy.us</a></p> <hr/> <p><b>Applicant:</b> Steve Ashworth/TCJPR PO Box 811 Jackson, WY 83001 sashworth@tetonwyo.org 307-732-5752</p> <p><b>Owner:</b> Town of Jackson PO Box 16857 Jackson, WY 83001 307-733-3932</p>	<p style="text-align: center;"><b>REQUESTS:</b></p> <p>The applicant is submitting a request for a Sketch Plan and CUP for a mixed use building including commercial, office and residential for the property located at 400 W. Snow King Avenue, legally known as PT. SE1/4NE1/4, SEC. 33, TWP. 41, RNG. 116 MAP T-57 (FAIR GROUNDS, INCLUDES PUBLIC WORKS DEPT.)</p> <p>For questions, please call Tyler Sinclair at 733-0440, x1301 or email to the address shown below. Thank you.</p>
<p><b>Please respond by: August 22, 2016 ( for Sufficiency) August 29, 2016 (with Comments)</b></p>	

**RESPONSE:** For Departments not using Trak-it, please send responses via email to: [jcarruth@ci.jackson.wy.us](mailto:jcarruth@ci.jackson.wy.us)



**PLANNING PERMIT APPLICATION**  
**Planning & Building Department**  
**Planning Division**

150 E Pearl Ave. | ph: (307) 733-0440  
 P.O. Box 1687 | fax: (307) 734-3563  
 Jackson, WY 83001 | [www.townofjackson.com](http://www.townofjackson.com)

*For Office Use Only*

Fees Paid \_\_\_\_\_  
 Check # \_\_\_\_\_ Credit Card \_\_\_\_\_ Cash \_\_\_\_\_  
 Application #s \_\_\_\_\_

**PROJECT.**

Name/Description: Teton County/Jackson Parks and Recreation Maint. and Administration Project  
 Physical Address: 400 West Snowking Ave. Jackson WY 83001  
 Lot, Subdivision: Public Works Department PIDN: 22-41-16-33-1-00-027

**OWNER.**

Name: Town of Jackson Phone: 307-733-3932  
 Mailing Address: PO box 1687 Jackson WY ZIP: 83001  
 E-mail: \_\_\_\_\_

**APPLICANT/AGENT.**

Name: Steve Ashworth-TCJPR Phone: 307-732-5752  
 Mailing Address: po box 811 Jackson WY ZIP: 83001  
 E-mail: sashworth@tetonwyo.org

**DESIGNATED PRIMARY CONTACT.**

\_\_\_\_\_ Owner       Applicant/Agent

**TYPE OF APPLICATION.** *Please check all that apply; see Fee Schedule for applicable fees.*

<b>Use Permit</b>	<b>Physical Development</b>	<b>Interpretations</b>
_____ Basic Use	<input checked="" type="checkbox"/> Sketch Plan	_____ Formal Interpretation
<input checked="" type="checkbox"/> Conditional Use	_____ Development Plan	_____ Zoning Compliance Verification
_____ Special Use		
<b>Relief from the LDRs</b>	<b>Development Option/Subdivision</b>	<b>Amendments to the LDRs</b>
_____ Administrative Adjustment	_____ Development Option Plan	_____ LDR Text Amendment
_____ Variance	_____ Subdivision Plat	_____ Zoning Map Amendment
_____ Beneficial Use Determination	_____ Boundary Adjustment (replat)	_____ Planned Unit Development
_____ Appeal of an Admin. Decision	_____ Boundary Adjustment (no plat)	

**PRE-SUBMITTAL STEPS.** Pre-submittal steps, such as a pre-application conference, environmental analysis, or neighborhood meeting, are required before application submittal for some application types. See Section 8.1.5, Summary of Procedures, for requirements applicable to your application package. If a pre-submittal step is required, please provide the information below. If you need assistance locating the project number or other information related to a pre-submittal step, contact the Planning Department. **If this application is amending a previous approval, indicate the original permit number.**

Pre-application Conference #: P16-056 Environmental Analysis #: \_\_\_\_\_  
Original Permit #: \_\_\_\_\_ Date of Neighborhood Meeting: \_\_\_\_\_

**SUBMITTAL REQUIREMENTS.** Twelve (12) hard copies and one (1) digital copy of the application package (this form, plus all applicable attachments) should be submitted to the Planning Department. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant.

Have you attached the following?

- na **Application Fee.** Fees are cumulative. Applications for multiple types of permits, or for multiple permits of the same type, require multiple fees. See the currently adopted Fee Schedule in the Administrative Manual for more information.
- na **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. If the owner is a partnership or corporation, proof that the owner can sign on behalf of the partnership or corporation is also required. Please see the Letter of Authorization template in the Administrative Manual for a sample.
- X **Response to Submittal Checklist.** All applications require response to applicable review standards. These standards are outlined on the Submittal Checklists for each application type. If a pre-application conference is held, the Submittal Checklists will be provided at the conference. If no pre-application conference is required, please see the Administrative Manual for the applicable Checklists. The checklist is intended as a reference to assist you in submitting a sufficient application; submitting a copy of the checklist itself is not required.

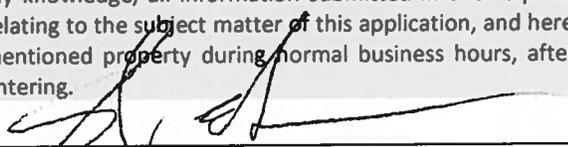
**FORMAT.**

The main component of any application is demonstration of compliance with all applicable Land Development Regulations (LDRs) and Resolutions. The submittal checklists are intended to identify applicable LDR standards and to outline the information that must be submitted to sufficiently address compliance with those standards.

For some submittal components, minimum standards and formatting requirements have been established. Those are referenced on the checklists where applicable. For all other submittal components, the applicant may choose to make use of narrative statements, maps, drawings, plans and specifications, tables and/or calculations to best demonstrate compliance with a particular standard.

**Note:** Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

  
\_\_\_\_\_  
Signature of Owner or Authorized Applicant/Agent  
**Steve Ashworth**  
\_\_\_\_\_  
Name Printed

8/1/16  
\_\_\_\_\_  
Date  
**TCJPR Director**  
\_\_\_\_\_  
Title

**Teton County/Jackson Parks and Recreation Department (TCJPR)-**  
Park Maintenance Operations and Department Administration Offices  
Sketch Plan and Conditional use Permit

**Project Description:**

TCJPR is a jointly Town of Jackson and Teton County funded local government agency operating under Teton County. The department employs 35 fulltime staff, and approximately an additional 45 fulltime equivalent staff. The department is responsible for providing recreational programs, afterschool and summer youth enrichment, park and athletic field facilities, local government grounds maintenance, Snake River recreation management and facilities and the operation and programming of the community recreation center.

The proposed project provides for an updated and modern park division maintenance and operation facility, as well as office space for the department administrative and programming staff. Currently the parks division is housed on the site on the northeast corner. The parks division started utilizing this facility in 1986. The administration and programming staff is currently housed at the community recreation center. Total staff members for all three divisions is 22.

The department has worked closely with the Town and County elected officials over the past three years to analyze and locate the best site for this project. Alternatives have been looked at including Adams Canyon public works facility, redevelopment of the existing shop facility, re-purposing of the fair expo building and shared use at the new START facility. Through site department operational analysis all parties concluded it was critical to have the department located within the Town of Jackson, and as centrally located as possible. This provided for the most efficient operations, along with the greatest reduction in transportation impacts.

The site identified for the long-term facility is on the eastern edge of the current Public Works yard, immediate west of the existing fair expo building. The location is within the existing parcel that the parks division facility is currently on, however locates it more centrally on the site to gain more efficient access to Public Works yard facilities, such as vehicle maintenance and fueling. The new location also consolidates the industrial use, lending it to be more compatible to the neighborhood character. In addition, the consolidation of the public works activity type allows for future public land use opportunities within the parcel.

The last but equally critical component of the project is the inclusion of employee housing units on site. Although not required, the department recognizes the immediate need for housing in the Town and County. Therefore, beyond the initial scope of the project, the department sees an opportunity to provide additional square footage which can be attributed to meet the needs of employee housing for the Town and County. As presented, 21 housing units are included above the proposed park maintenance equipment storage. The 21 housing units are comprised of 8 one bedroom units and 13 studio units.

**Sketch Plan Findings:**

1. The project is located within a current use type which is zoned Public/Semi-public. The project meets the current neighborhood character, is immediately adjacent to a START bus stop, and is consistent with the Comp Plan in promoting work force housing and concentrating development within the Town of Jackson.
2. The site is not located in either the Natural Resource Overlay or Scenic Resource Overlay. Given the similarities between the existing and proposed re-development plan, the fact that there is no measurable natural wildlife habitat both on the property and surrounding properties on all sides, there will be no impact, adverse or otherwise, on any wildlife as a result of the proposed project.
3. The project does not have significant impact on transportation, as the re-development matches existing use. Additionally, the access to the project will utilize existing driveway points at the Public Works yard and fair expo, and directly access to Know King Ave. Existing START bus facilities are within 10' of the proposed re-development, and public sidewalks currently existing along the project frontage.
4. The sketch plan complies with all relevant standards of the LDRs, and consistent with adjacent approved uses such as the Public Works facility, Teton County Fairgrounds, Teton County Fair Expo facility and the existing TCJPR maintenance facility.

**Conditional Use Permit Findings:**

The project parcel is zoned Public/Semi-public, and thus dimensional limitations, employee housing, and like LDR standards are non-applicable. The site redevelopment is consistent with existing use, as well as neighboring use. However, TCJPR believes it is appropriate to evaluate and apply relevant LDR standards to the project to ensure quality and compatible development is being proposed.

1. **Impacts on Public Utilities-** Water, sewer and storm drainage are available on site. A water capacity analysis will be conducted to ensure adequate water service is available and all necessary infrastructure needed is part of the project. The existing sanitary sewer line that runs along the south property line within the parcel is old and potentially in need of replacement according to conversations with Town Engineers. The Department, as part of this project, is proposing to replace the existing line from the east property line manhole to the existing sanitary sewer manhole immediately south of the proposed wash bay facility. The existing Public Works water fill and cleanout station located near the existing bus stop will remain.

Existing power service is located on site and adequate for the re-development. There is a current twenty foot easement running along the south property line that corresponds with existing overhead 3-phase power service. The project has coordinated with Lower Valley Energy and will amend the existing utility easement to 10' adjacent to the proposed building.

The site already has an existing sidewalk and bike lane along Snow King Ave. A START facility bus stop is within 10' of the proposed entrance and is serviced by the existing Town Shuttle service. Housing units will be accommodated with weather secure bike lockers as well as additional bike rack storage.

All facilities will be fire sprinkled as per local code. Although on the same property as the Fair Expo Building, a minimum building setback of 15' on the first floor and 10' on the second and third floor will be maintained to ensure code compliant fire separation. Adequate access to the building for life safety activity will be provided on all four sides of the proposed structure.

TCJPR department staff will be responsible to maintain and plow all sidewalks and parking areas. Minor snow storage will be accommodated on site and has been adequate for existing use and operations. If parking and access is hindered by above normal snow fall, staff will move snow off site to the TOJ snow storage site located across the street west of the fairgrounds.

## 2. **Impacts from Nuisances-**

Lighting: All facility lighting shall be down pointing and compliant with currently proposed LDR lighting text amendments. Yard lighting will be placed on a timer to only be lit during operating hours. (April-October- 7:00AM to 6:00PM, November-March- 4:00AM to 6:00PM). Additionally, yard lights as well as residential and office exterior lights will have motion detectors to reduce lumens during low activity.

Noise: The re-development will reduce existing noise of operations by storing maintenance equipment inside. As a result, winter starting and warm-up of equipment will be greatly reduced. All residential outside spaces are accommodated on the north property line, furthest from existing residential units.

Trash: Trash collection containers for park operations will be within the fenced yard. No yard waste, composting or manure storage will take place on site. Trash collection containers for residential units will be placed adjacent to the Fair expo building within a 6' privacy fence enclosure. Containers shall have lids, and maintained in clean condition.

Visual Impact: The re-development building orientation screens maintenance operations from Snow King Ave. There is an existing 6' wooden privacy fence along the south property line. This existing fence is a state of disrepair, and the project will replace the fence from the east edge of the property west to the Public Works street operation building. The fence shall be a 6' wooden privacy fence utilizing metal posts and connectors.

## 3. **Parking-**

The following table outlines the current use parking accommodations and the proposed use parking accommodations. Proposed parking is based upon actual use and LDR standards for similar development type.

	<u>Current Use Parking #</u>	<u>Proposed Use Parking #</u>
TCJPR Department Fleet Vehicles	19	19
TCJPR Park Division Staff Vehicles	15	15
TCJPR Admin. Staff Vehicles	NA-New Use	9
TCJPR Park Division Equipment	8	8-Interior Garage Bays
TCJPR Park Vehicle Maint. Staging	0	4
Fairground Expo Building (Public)	22	27
Public ADA Parking	0	3
Employee Housing (21 Beds)	NA-New use	21

**4. Commercial Use Hours of Operation-**

Park maintenance operations will remain the same as existing. Summer operations will be approximately April through October from 7:00am to 5:00pm seven days a week. Winter operations will be approximately November through March from 5:00am to 4:00pm seven days a week. General operations on site are typically limited to 30 minutes at the start of the day, 30 minutes at the middle of the day, and 30 minutes at the end of the day. Most activity takes place away from the site and parks, pathways and other facilities. Noise and activity use in early morning will be reduced due to the storage of equipment inside, reducing start-up time and idling.

Parks and Recreation administration and programming are new uses to the site. Typical hours of operation are year around Monday through Friday 8:00am to 6:00pm. Typical after hours meetings, workshops or functions are limited to approximately 20 members of the public 24 times a year and not to exceed 9:00pm.

Fairgrounds Expo use will remain the same, and under the management and authority of the Teton County Fair office. Recently adopted policies have set a use/activity time limit at 9:00pm.

The open lawn will remain intact and continue to be managed by the parks and recreation department as a neighborhood park site from sunrise to sunset. Exceptions to this are only under Town of Jackson special event permit such as the Teton County Fair.

**LDR Standards:**

Housing- 4,425 sf

Light Industrial- 11,675 sf

Office- 4,370 sf

Developed Recreation (Expo)- 6,000 sf

Total Building footprint only- 20,960 sf

Parking area- 50,679 sf

	<u>P/SP</u>	<u>AC-TOJ</u>	<u>UC-2</u>	<u>Proposed</u>
1. Structure Location and Mass				
a. LSR (min)	NA	.25	.20	.42
b. Lot coverage (max)	NA	NA	NA	
c. Street Setback (min)	NA	20'	10'	10'
d. Side Setback (min)	NA	10'	0'	11'5"
e. Rear Setback (min)	NA	20'	20'	10'-4"
f. Height (max)	NA	35'	35'	34' (99%), 43' (1%)
g. Stories (max)	NA	2	2	3
h. Stories-LO (max)	NA	3	3	3
i. FAR (max)	NA	.40	.65	.23
2. Max Scale of Development	NA	50,000sf	15,000/35,000sf	30,895sf
3. Building Design	NA	Design Review	Design Review	Design Review
4. Site Development				
a. Side Yard	NA	5'	5'	11'5"
b. Front Yard	NA	-	-	
c. 40% Lineal Frontage	NA	0'	0'	23%
d. 60% Lineal Frontage	NA	Structure Setback	Structure Setback	40%
5. Landscaping				
a. Non-residential	NA	1/1000sf Lscp Area	1/1000sf Lscp Area	
b. Parking	1/8 spaces	1/12 spaces	1/12 spaces	15 Units (1/6.5 spaces)
6. Parking				
a. Residential	1/bed	1/bed	1/bed	1/bed, 21 spaces
b. Office	3.3/1000sf	3.3/1000sf	3.3/1000sf	3.6/1000sf
c. Industrial	1/1000sf	1/1000sf	NA	2.6/1000sf
d. Developed Recreation	4.5/1000sf	4.5/1000sf	NA	4.8/1000sf
7. Housing				
a. Residential	NA	NA	NA	
b. Office	NA	14sf/1000sf	14sf/1000sf	91sf required- 4,420sf
c. Industrial	NA	8sf/1000sf	NA	86sf required- 4,420sf
8. Development Options				
a. BSA (min)	NA	22,500sf	15,000sf	
b. Lot Size (max)	NA	NA	NA	

c. Density (max)	<b>NA</b>	NA	NA	
d. OSR (min)	<b>NA</b>	NA	NA	
e. LSR (min)	<b>NA</b>	.45	.30	<b>.42</b>
f. FAR (max)	<b>NA</b>	.40	.65	<b>.23</b>
g. Lot Coverage (Max)	<b>NA</b>	.30	.5	

Additional Amenities:

*4-bike loops (Public)*

*4-bike loops (Staff)*

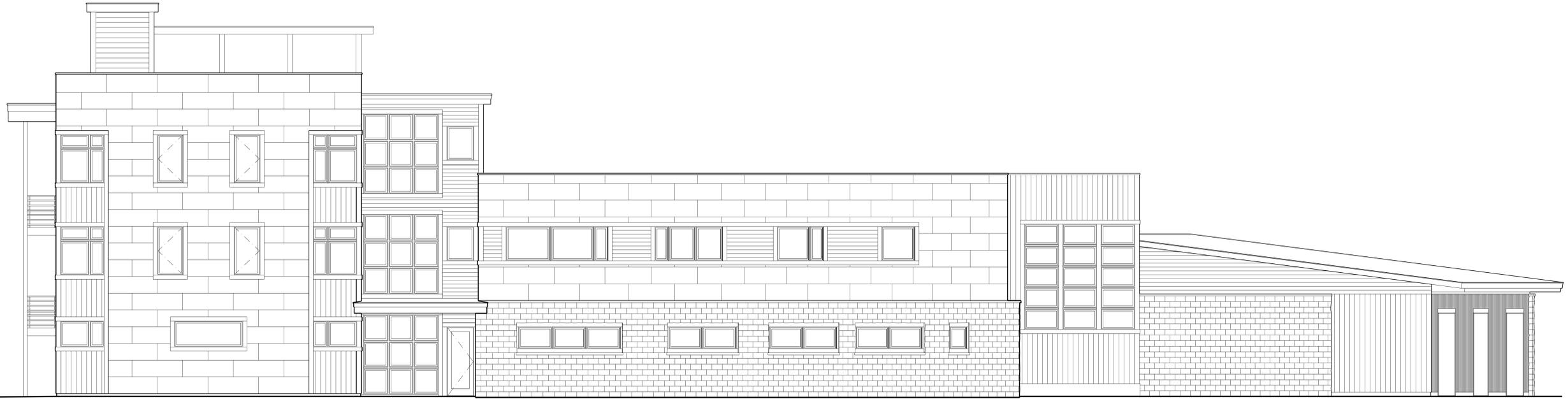
*21-bike lockers (Housing Units)*

*32,788 sf (.75 acres) public park lawn area*

*1,100 SF rooftop outdoor gathering space for housing units*

# TETON COUNTY PARKS & REC. ADMIN. / STORAGE BUILDINGS

400 WEST SNOW KING AVENUE, JACKSON, WYOMING



## LIST OF ABBREVIATIONS

A	AREA	E	EAST	K.O	KNOCK OUT	Q.T.	QUARRY TILE	T.	TOILET
A.B.	ANCHOR BOLT	EA.	EACH	LAM.	LAMINATE	QTR.	QUARTER	TECH.	TECHNICAL
A.C.T.	ACOUSTICAL CEILING TILE	EI.F.S.	EXTERIOR INSULATION FINISH SYSTEM	LAV.	LAVATORY	QTY.	QUANTITY	TEMP.	TEMPERED/TEMPERATURE
A.D.J.	ADJUSTABLE	EJ.	EXPANSION JOINT	LAW.	LAW	QUAL.	QUALITY	THD.	THREAD
A.F.F.	ABOVE FINISHED FLOOR	E.L.	ELECTRIC/ELECTRICAL	LD.	LOAD	R.	RADIUS	THK.	THICK
ALT.	ALTERNATE	ELEV.	ELEVATION	L.F.	LINEAR FOOT	RAD.	RADIUS	THRU.	THROUGH
ALUM.	ALUMINUM	ENGR.	ENGINEER	LHR.	LEFT HAND REVERSE	RIB.	RESILIENT/RUBBER BASE	TOL.	TOLERANCE
APPROX.	APPROXIMATE	EQ.	EQUAL	LIN.	LINEAR	RND.	ROUND	TOT.	TOTAL
ARCH.	ARCHITECTURAL	EQUIP.	EQUIPMENT	LOC.	LOCATION	R.O.	ROUGH OPENING	T&G	TONGUE AND GROOVE
ASSN.	ASSOCIATION	EST.	ESTIMATE	LGT.	LIGHTING	R.D.	ROOF DRAIN	T.O.	TOP OF
AVE.	AVENUE	EXST.	EXISTING	MATL.	MATERIAL	RECP.	RECEPTACLE	T.O.B.	TOP OF BEAM
BD.	BOARD	EXT.	EXTERIOR	MAX.	MAXIMUM	REF.	REFERENCE	T.O.C.	TOP OF CONCRETE
BLDG.	BUILDING	FLR.	FLOOR	MCH.	MECHANICAL	REFR.	REFRIGERATE	T.O.F.	TOP OF FOOTING
BLKG.	BLOCKING	FDN.	FLOOR DRAIN	MECH.	MECHANICAL	REPL.	REPLACE	T.O.J.	TOP OF JOIST
BM.	BEAM	FDN.	FOUNDATION	MEZ.	MEZZANINE	REQ.	REQUIRED	T.O.M.	TOP OF MASONRY
B.M.	BENCH MARK	FE.	FIRE EXTINGUISHER	MFR.	MANUFACTURER	REQ.D.	REQUIRED	T.O.S.	TOP OF STEEL
B.O.	BOTTOM OF	FF/FFL.	FINISHED FLOOR LEVEL	M.H.	MAN HOLE	RES.	RESILIENT	T.O.W.	TOP OF WALL
BRG.	BEARING	FIG.	FIGURE	M.N.	MINOR	RES.	RESILIENT	TRNS.	TRANSFORMER
BSMT.	BASEMENT	FIN.	FINISH	MISC.	MISCELLANEOUS	REV.	REVERSE	T.S.	TUBE STEEL
BTM.	BOTTOM	FIXT.	FIXTURE	M.O.	MASONRY OPENING	R.	ROOF DRAIN	TYP.	TYPICAL
BTU.	BRITISH THERMAL UNIT	FLR.	FLOOR	MTD.	MOUNTED	RHR.	RIGHT HAND REVERSE	UG.	UNDER GROUND
BTWN.	BETWEEN	FLR.	FLOOR	MTL.	METAL	RMT.	ROOM	UN.	UNEXCAVATED
CAB.	CABINETS	F.O.S.	FACE OF STUD	N.	NORTH	R.O.	ROUGH OPENING	UNEX.	UNEXCAVATED
C.J.	CONTROL JOINT	FR.	FRAME	N.C.	NOT IN CONTRACT	S.	SOUTH	UNFN.	UNFINISHED
CL.	CENTER LINE	FT.	FOOT/FEET	N.I.C.	NOT IN CONTRACT	S.	SOUTH	UNLN.	UNLESS NOTED OTHERWISE
CLG.	CEILING	FTG.	FOOTING	NO.	NUMBER	SAN.	SANITARY	UR.	URNAL
CLR.	CLEAR	FURN.	FURNISH/FURNITURE	NOM.	NOMINAL	SCALE.	SCALE	V.A.P. BR.	VAPOR BARRIER
C.M.U.	CONCRETE MASONRY UNIT	FURR.	FURRING	N.L.T.	NOT LESS THAN	S.C.	SOLID CORE	VAR.	VARIABLE
C.O.	CLEAN OUT	GA.	GAUGE	N.M.T.	NOT MORE THAN	SCHED.	SCHEDULE	V.C.T.	VINYL COMPOSITION TILE
COL.	COLUMN	GALV.	GALLON	N.T.S.	NOT TO SCALE	SECT.	SECTION	V.E.	VENTILATE/VENTILATION
CONC.	CONCRETE	GALV.	GALVANIZED	O.A.F.	OVER ALL FRAME	SEP.	SEPARATION	VER.	VERTICAL
CONSTR.	CONSTRUCTION	G.I.	GALVANIZED IRON	O.C.	ON CENTER	SER.	SERVICE	VENT.	VENTILATION
CONT.	CONTINUOUS	GL.	GLASS	O.D.	OUTSIDE DIAMETER	SEW.	SEWER	V.F.	VERIFY IN FIELD
CONTR.	CONTRACTOR	GOVT.	GOVERNMENT	OFF.	OFFICE	SHT.	SHEET	VOL.	VOLUME
COORD.	COORDINATE	GUB.	GYPSPUM WALL BOARD	OH.	OVER HEAD	SHTG.	SHEATHING	V.S.	VERSUS
CORP.	CORPORATION	H.B.	HOSE BIB	O.H.D.	OVER HEAD DOOR	SHDR.	SHOWER	VTR.	VENT THRU ROOF
CORR.	CORROSION	H.C.	HOLLOW CORE	OPNG.	OPENING	SHR.	SIMILAR	VALC.	VINYL WALL COVERING
CPT.	CARPET	HGT.	HEIGHT	OPNG.	OPENING	SPEC.	SPECIFICATIONS	W.	WEST
C.T.	CERAMIC TILE	H.M.	HOLLOW METAL	OPP.	OPPOSITE	SPKLR.	SPRINKLER	W.	WEST
CTR.	CENTER	H.R.	HORIZONTAL	ORIG.	ORIGINAL	SQ.	SQUARE	W.	WEST
CF.	CUBIC FOOT	H.R.	HOUR	PERF.	PERFORATE	SF.	SQUARE FOOT	WC.	WATER CLOSET
C.I.	CUBIC INCH	H.D.	HARDWARE	PERM.	PERMANENT	S.I.	SQUARE INCH	WD.	WOOD
C.Y.	CUBIC YARD	HTR.	HEATER	P.H.	PENT HOUSE	S.Y.	SQUARE YARD	WDTH.	WIDTH
C.W.	COLD WATER	H.W.	HOT WATER	PL.	PLATE	S.S.	STAINLESS STEEL	WDW.	WINDOW
CYL.	CYLINDER	H.W.R.	HOT WATER RETURN	PLM.	PLASTIC LAMINATE	S.K.	SERVICE SINK	WH.	WATER HEATER
DBL.	DOUBLE	H.W.R.	HOT WATER RETURN	PLM.	PLASTIC LAMINATE	ST.	STREET	W/O.	WITHOUT
DEG.	DEGREE	HTD.	HYDRAULIC	PLAS.	PLASTER	STA.	STATION	WP.	WATER/WEATHER PROOFING
DEMO.	DEMOLITION	ID.	INSIDE DIAMETER	PLUMB.	PLUMBING	STD.	STANDARD	WS.	WEATHER STRIPPING
DEPT.	DEPARTMENT	IN.	INCH/INCHES	PLYWD.	PLYWOOD	STL.	STEEL	WT.	WEIGHT
DET.	DETAIL	INCL.	INCORPORATED	PNL.	PANEL	STOR.	STORAGE	WUF.	WEIDED WIRE FABRIC
D.F.	DRINKING FOUNTAIN	INC.	INCORPORATED	POS.	POSTIVE	STRCT.	STRUCTURAL	X SECT.	CROSS SECTION
DIA.	DIAMETER	INCL.	INCLUDE/INCLUDING	PR.	PAIR	SUB.	SUBSTITUTE		
DIAG.	DIAGONAL	INFO.	INFORMATION	PREFAB.	PREFABRICATED	SUP.	SUPPLY		
DIM.	DIMENSION	INSUL.	INSULATION	PROJ.	PROJECT	SUR.	SURFACE		
DISP.	DISPERSED	INT.	INTERIOR/INTERNAL	PROP.	PROPOSED/PROPERTY	SURR.	SURROUND		
DIV.	DIVISION	INV.	INVERSE	PROP.	PROPOSED/PROPERTY	SURR.	SURROUND		
DN.	DOWN	JAN.	JANITOR	P.S.	POUNDS PER SQUARE FOOT	SUPP.	SUPPLEMENTED		
DR.	DOOR	JCT.	JUNCTION	P.S.	POUNDS PER SQUARE INCH	SYM.	SYMMETRICAL		
D.S.	DOWN SPOUT	JST.	JOIST	P.T.	PRESSURE TREATED				
DWG.	DRAWING	JT.	JOINT	PN.	PARTITION				
				PLR.	POWER				

## SHEET INDEX

- T1 TITLE SHEET
- C1 CIVIL
- A11 EXISTING OVERALL SITE PLAN
- A12 PROPOSED OVERALL SITE PLAN
- A13 PROPOSED ENLARGED SITE PLAN
- A14 FIRST FLOOR SQUARE FOOTAGE PLAN
- A15 SECOND FLOOR SQUARE FOOTAGE PLAN
- A16 THIRD FLOOR SQUARE FOOTAGE PLAN
- A21 COMPOSITE FIRST FLOOR PLAN
- A22 COMPOSITE SECOND FLOOR PLAN
- A23 COMPOSITE THIRD FLOOR PLAN
- A24 COMPOSITE ROOF PLAN
- A25 ADMINISTRATION FIRST FLOOR PLAN
- A26 PARKS & RECREATION STORAGE FIRST FLOOR PLAN
- A27 ADMINISTRATION SECOND FLOOR PLAN
- A28 PARKS & RECREATION STORAGE SECOND FLOOR PLAN
- A29 ADMINISTRATION THIRD FLOOR PLAN
- A30 PARKS & RECREATION STORAGE THIRD FLOOR PLAN
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- A33 EXTERIOR ELEVATIONS
- A32 EXTERIOR ELEVATIONS
- A41 BUILDING SECTIONS
- A42 BUILDING SECTIONS
- A43 BUILDING SECTIONS
- A51 NOTES AND SCHEDULES
- A61 INTERIOR ELEVATIONS
- A71 WALL SECTIONS
- U1 UTILITY LOCATION PLAN
- S1 STRUCTURAL

## CODE & ZONING ANALYSIS

- APPLICABLE CODES:
    - 2012 INTERNATIONAL RESIDENTIAL CODE (OR LATEST IN EFFECT)
    - 2009 INTERNATIONAL BUILDING CODE (OR LATEST IN EFFECT)
    - TETON COUNTY COMPREHENSIVE PLAN (ADOPTED 2005)
    - TOWN OF JACKSON DESIGN GUIDELINES
    - TOWN OF JACKSON CURRENT LAND DEVELOPMENT REGULATIONS
  - LOT DATA:
    - LOT SIZE: 3.29 ACRES
    - LOT LOCATION: 400 WEST SNOW KING AVENUE, JACKSON, WYOMING
    - ZONING: R1/SO-10-J
  - MAXIMUM FLOOR AREA REQUIREMENTS:
    - BASE SITE AREA: 3.29 ACRES
    - MAXIMUM ALLOWABLE FLOOR AREA: NOT APPLICABLE
    - TOTAL FLOOR AREA: NOT APPLICABLE
  - MAXIMUM SITE DEVELOPMENT REQUIREMENTS:
    - ADJUSTED SITE AREA: 3.29 ACRES
    - TOTAL SITE DEVELOPMENT ALLOWED: NOT APPLICABLE
    - TOTAL SITE DEVELOPMENT: NOT APPLICABLE
  - MINIMUM BUILDING SETBACKS:
    - STREET SETBACK: NOT APPLICABLE
    - REAR SETBACK: NOT APPLICABLE
    - SIDE SETBACK: NOT APPLICABLE
    - DITCH SETBACK: 5'
  - MAXIMUM BUILDING HEIGHT: NOT APPLICABLE
- DESIGN CRITERIA UTILIZED:
- NATURAL RESOURCE OVERLAY
  - SEBIC ZONE
  - ROOF SNOW LOAD: 85 PSF
  - GROUND SNOW LOAD: 100 PSF, TETON COUNTY
  - WIND LOAD: 90 MPH (NOMINAL) 115 MPH (ULTIMATE)
- PROJECT IS NOT LOCATED WITHIN THE FOLLOWING ZONES AND/OR OVERLAYS:
- NATURAL RESOURCE OVERLAY
  - SEBIC ZONE
  - ANY FLOOD ZONES
  - ANY CONSERVATION EASEMENTS
  - BEAR CONFLICT PRIORITY AREAS
- PROJECT IS LOCATED WITHIN THE FOLLOWING ZONES AND/OR OVERLAYS:
- WILDLAND URBAN INTERFACE

## GENERAL NOTES

- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR EXECUTING WORK IN CONFORMANCE WITH THE 2012 INTERNATIONAL RESIDENTIAL CODE, 2009 INTERNATIONAL BUILDING CODE AND ALL OTHER AGENCY REGULATIONS IN EFFECT AT THE TIME OF APPROVAL.
- THE GENERAL CONTRACTOR MUST SUBMIT A DETAILED PROJECT SCHEDULE AT THE BEGINNING OF THE PROJECT. ANY SIGNIFICANT CHANGES WHICH WOULD ALTER THAT INITIAL SCHEDULE MUST BE DOCUMENTED IN A REVISED SCHEDULE.
- THE GENERAL CONTRACTOR MUST OBTAIN ALL REQUIRED BUILDING PERMITS AND AGENCY APPROVALS.
- THE GENERAL CONTRACTOR MUST INSPECT THE SITE BEFORE BEGINNING WORK AND IDENTIFY CONFLICTS OR INCONSISTENCIES BETWEEN THE CONTRACT DOCUMENTS AND EXISTING CONDITIONS.
- THE GENERAL CONTRACTOR MUST VERIFY ALL EXISTING SITE DIMENSIONS AND CONDITIONS.
- THE GENERAL CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL DIMENSIONS, MATERIALS, SCHEDULES, ETC. WITHIN THE SCOPE OF THE PROJECT, AND REPORT ANY DISCREPANCIES TO THE ARCHITECT.
- THE GENERAL CONTRACTOR MUST NOTIFY THE ARCHITECT IMMEDIATELY OF CONDITIONS WHICH REQUIRE DEVIATION FROM CONSTRUCTING THE WORK AS INDICATED IN THE CONTRACT DOCUMENTS.
- DO NOT SCALE DRAWINGS IN ORDER TO DETERMINE DIMENSIONS. WRITTEN DIMENSIONS GOVERN AND LARGE SCALE DETAILS GOVERN OVER SMALL SCALE DETAILS. WALLS AND PARTITIONS ARE DIMENSIONED FROM FACE OF FRAMING, UNLESS OTHERWISE NOTED.
- ALL DIMENSIONS ARE MEASURED FROM FACE OF STUD AS INDICATED. ALL COLUMNS ARE MEASURED FROM CENTERLINE. CONTRACTOR TO BE AWARE OF ALL N.T.S. (NOT TO SCALE) DIMENSIONS, WRITTEN DIMENSIONS GOVERN OVER SCALE.
- THE PRESENCE OF THE ARCHITECT ON THE JOB SITE DOES NOT IMPLY APPROVAL OF THE WORK. THE GENERAL CONTRACTOR MUST CALL SPECIFIC ITEMS TO THE ATTENTION OF THE ARCHITECT IF HE WISHES TO OBTAIN THE ARCHITECT'S APPROVAL.
- THE GENERAL CONTRACTOR SHALL COORDINATE WITH THE LOCAL FIRE MARSHAL TO DETERMINE AND AGREE UPON THE EMERGENCY FIRE FIGHTING REQUIREMENTS DURING CONSTRUCTION.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR DOCUMENTING ALL ADJUSTMENTS MADE DURING CONSTRUCTION. RECORDS OF ALL FIELD ADJUSTMENTS SHALL BE GIVEN TO THE ARCHITECT UPON RECEIPT OF CERTIFICATE OF OCCUPANCY OR UPON ISSUANCE OF STATEMENT OF SUBSTANTIAL COMPLETION.
- THE GENERAL CONTRACTOR MUST SUBMIT ALL PROPOSED SUBSTITUTIONS IN WRITING TO THE ARCHITECT FOR APPROVAL WITH SUFFICIENT INFORMATION, SAMPLES, AND DIFFERENCE IN COST FOR EVALUATION. IF A REVISION OR SUBSTITUTION IS MADE IN ANY WAY TO ALTER THE WORK SO THAT IT DOES NOT CONFORM WITH THE CONTRACT DOCUMENTS WITHOUT THE ARCHITECT'S WRITTEN APPROVAL, SUCH ACTION WILL RELIEVE THE ARCHITECT OF ANY LIABILITY FOR THE RESULTING AESTHETIC EFFECT, SUBSEQUENT FAILURE, PROPERTY DAMAGE OR PERSONAL INJURY.
- THE GENERAL CONTRACTOR MUST PERFORM HIGH QUALITY PROFESSIONAL WORK. THE WORK OF EACH TRADE MUST MEET OR EXCEED ALL QUALITY STANDARDS PUBLISHED BY THE RESPECTIVE TRADES.
- THE GENERAL CONTRACTOR MUST ARRANGE TO ACCOMMODATE "NOT IN CONTRACT" WORK AND MUST REQUEST INSTRUCTIONS FROM THE ARCHITECT BEFORE PROCEEDING.
- THE GENERAL CONTRACTOR MUST TAKE CARE TO PROTECT NEWLY INSTALLED MATERIALS, FINISHES AND ASSEMBLIES.
- THE GENERAL CONTRACTOR MUST HALT THE WORK AFFECTED WHEN NOTIFIED OF A PROPOSED CHANGE AND PROCEED ONLY AFTER RECEIVING INSTRUCTIONS FROM THE ARCHITECT.
- THE GENERAL CONTRACTOR MUST PROVIDE ADEQUATE AND PROPER DRY STORAGE AND HANDLING OF ALL BUILDING MATERIALS, SUPPLIES, AND FINISHES IN ACCORDANCE WITH PRODUCT MANUFACTURER'S RECOMMENDATIONS.
- THE GENERAL CONTRACTOR MUST DETERMINE THAT ALL EQUIPMENT SPECIFIED WILL FIT THROUGH DOORWAYS AND CORRIDORS BEFORE EQUIPMENT IS PURCHASED OR SCHEDULE THE INSTALLATION SEQUENCE TO AVOID CONFLICTS.
- THE GENERAL CONTRACTOR MUST COMPLY WITH THE RULES OF THE SUBDIVISION AND THE COUNTY AND THE DIRECTIONS OF THE OWNERS FOR CONSTRUCTION FACILITIES, USE OF PREMISES, ACCESS TO THE PROJECT SITE, AND TRASH REMOVAL.
- ALL MECHANICAL, ELECTRICAL, AND CIVIL ENGINEERING SERVICES AND SYSTEMS WILL BE SPECIFIED AND INSTALLED BY THE RESPECTIVE TRADES. ALL SYSTEMS SHALL BE DESIGNED WITHIN THE RESPECTIVE CODES.
- EACH TRADE IS RESPONSIBLE FOR INSPECTION OF SERVICE AND TO ADVISE THE GENERAL CONTRACTOR, ARCHITECT, AND OWNER AS TO CURRENT CONDITION, POSSIBLE PROBLEMS AND POTENTIAL SOLUTIONS WITH RESPECT TO THEIR TRADES.

TETON COUNTY  
PARKS & RECREATION  
ADMINISTRATION & STORAGE  
MAINTENANCE BUILDINGS  
400 WEST SNOW KING AVENUE  
JACKSON, WYOMING

DUBBE MOULDER  
ARCHITECTS

JACKSON  
1160 Alpine Lane, Ste 2A  
PO BOX 9277  
JACKSON, WY 83002  
PHONE (307) 733-9551

DUBBO  
37 North First East  
PO BOX 169  
DRiggs, ID 83422  
PHONE (208) 354-0151

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Drawing Title

TITLE SHEET

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Plot Date: AUGUST 4, 2016

Sheet Number:

Scale:

Project Number: 1511

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T1.1

### OWNERS

Town of Jackson  
P.O. Box 1687  
Jackson, WY 83001

### ARCHITECT

Dubbe-Moulder Architects, P.C.  
1160 Alpine Lane, Suite 2A  
P.O. Box 9277  
Jackson, WY 83002  
(307) 733-9551  
(307) 733-4302 (fax)

### CIVIL ENGINEER

T.B.D.

### STRUCTURAL ENGINEER

T.B.D.

### MECHANICAL ENGINEER

T.B.D.

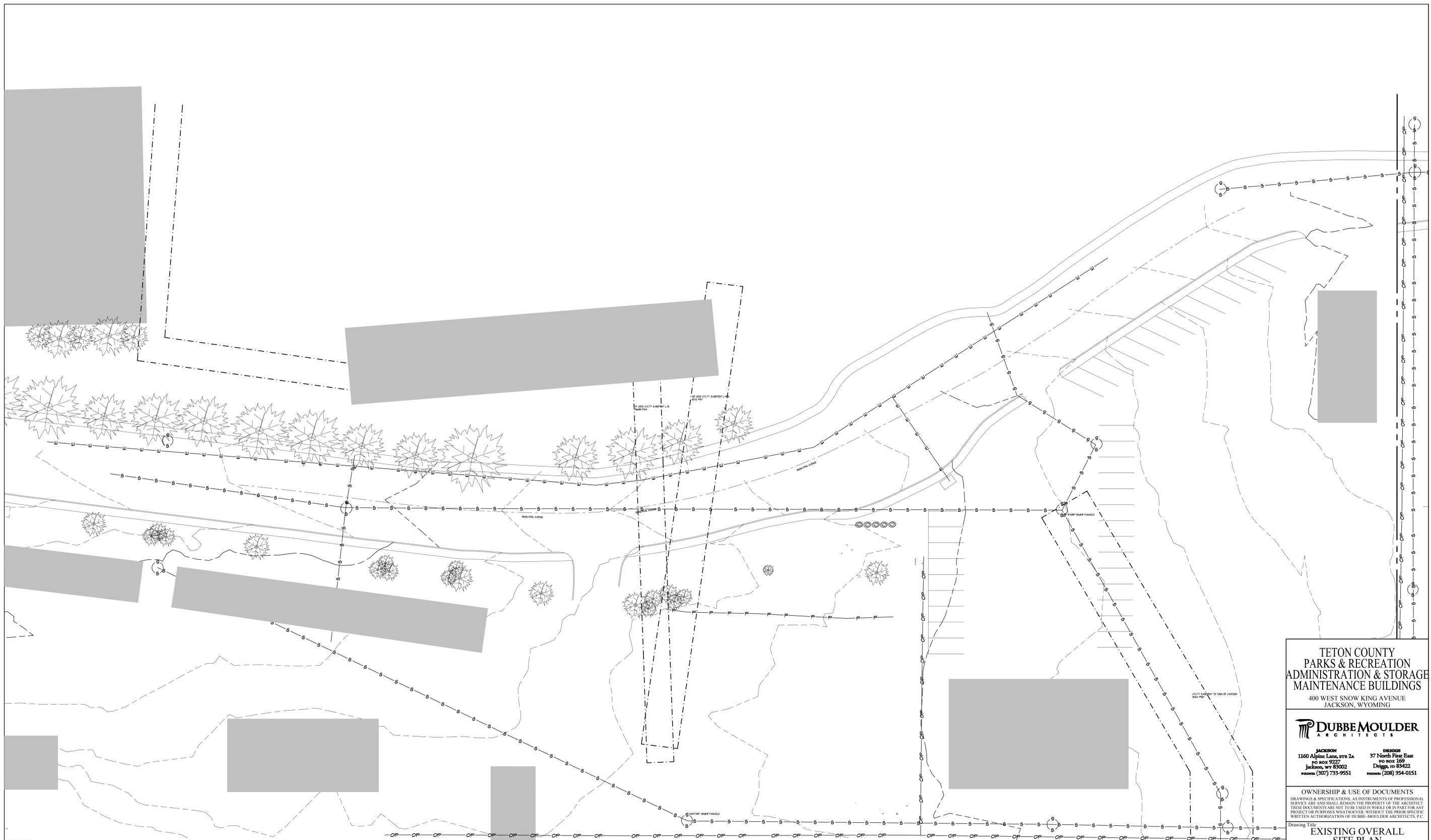
### ELECTRICAL ENGINEER

T.B.D.

### GENERAL CONTRACTOR

T.B.D.





TETON COUNTY  
 PARKS & RECREATION  
 ADMINISTRATION & STORAGE  
 MAINTENANCE BUILDINGS  
 400 WEST SNOW KING AVENUE  
 JACKSON, WYOMING

**DUBBE MOULDER**  
 ARCHITECTS

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Drawing Title  
**EXISTING OVERALL  
 SITE PLAN**

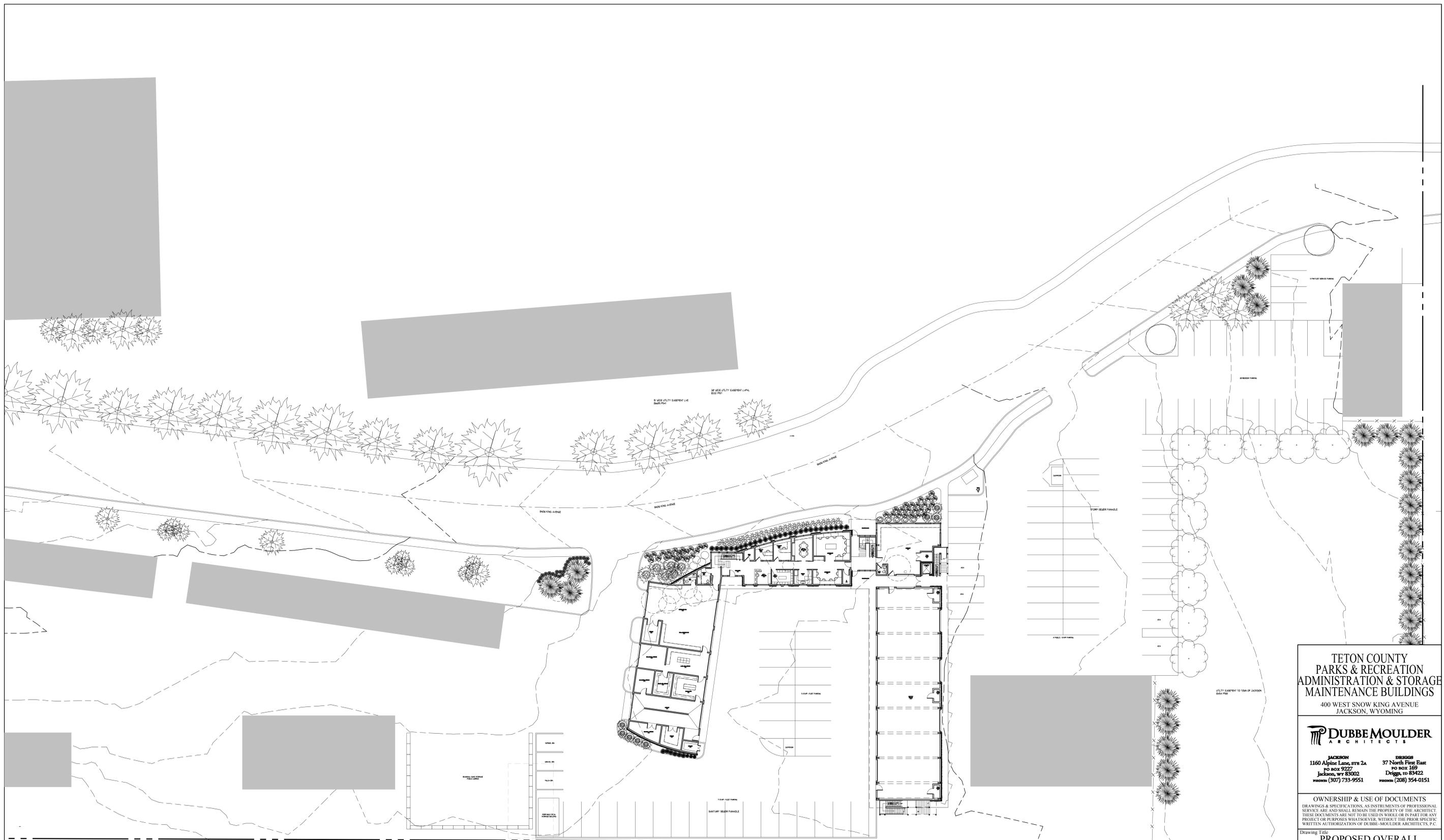
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C.U.P SUBMISSION	AUGUST 5, 2016

Drawn By:	Checked By:

Plot Date:	Sheet Number:
AUGUST 4, 2016	<b>A1.1</b>
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1" = 20'-0"	
Project Number:	
1511	

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 CONSTRUCTION  
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TETON COUNTY  
 PARKS & RECREATION  
 ADMINISTRATION & STORAGE  
 MAINTENANCE BUILDINGS  
 400 WEST SNOW KING AVENUE  
 JACKSON, WYOMING

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Drawing Title  
**PROPOSED OVERALL  
 SITE PLAN**

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Project Number: 1511	

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- TOPSOIL BN
- GRAVEL BN
- MULCH BN
- RETABLE METAL PIPE BUILDING

TETON COUNTY  
 PARKS & RECREATION  
 ADMINISTRATION & STORAGE  
 MAINTENANCE BUILDINGS  
 400 WEST SNOW KING AVENUE  
 JACKSON, WYOMING

**DUBBE MOULDER**  
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DUBBO 37 North First East PO BOX 169 Driggs, ID 83422 phone (208) 354-0151

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Drawing Title  
**ENLARGED SITE PLAN**

Set Title  
**COND. USE PERMIT**

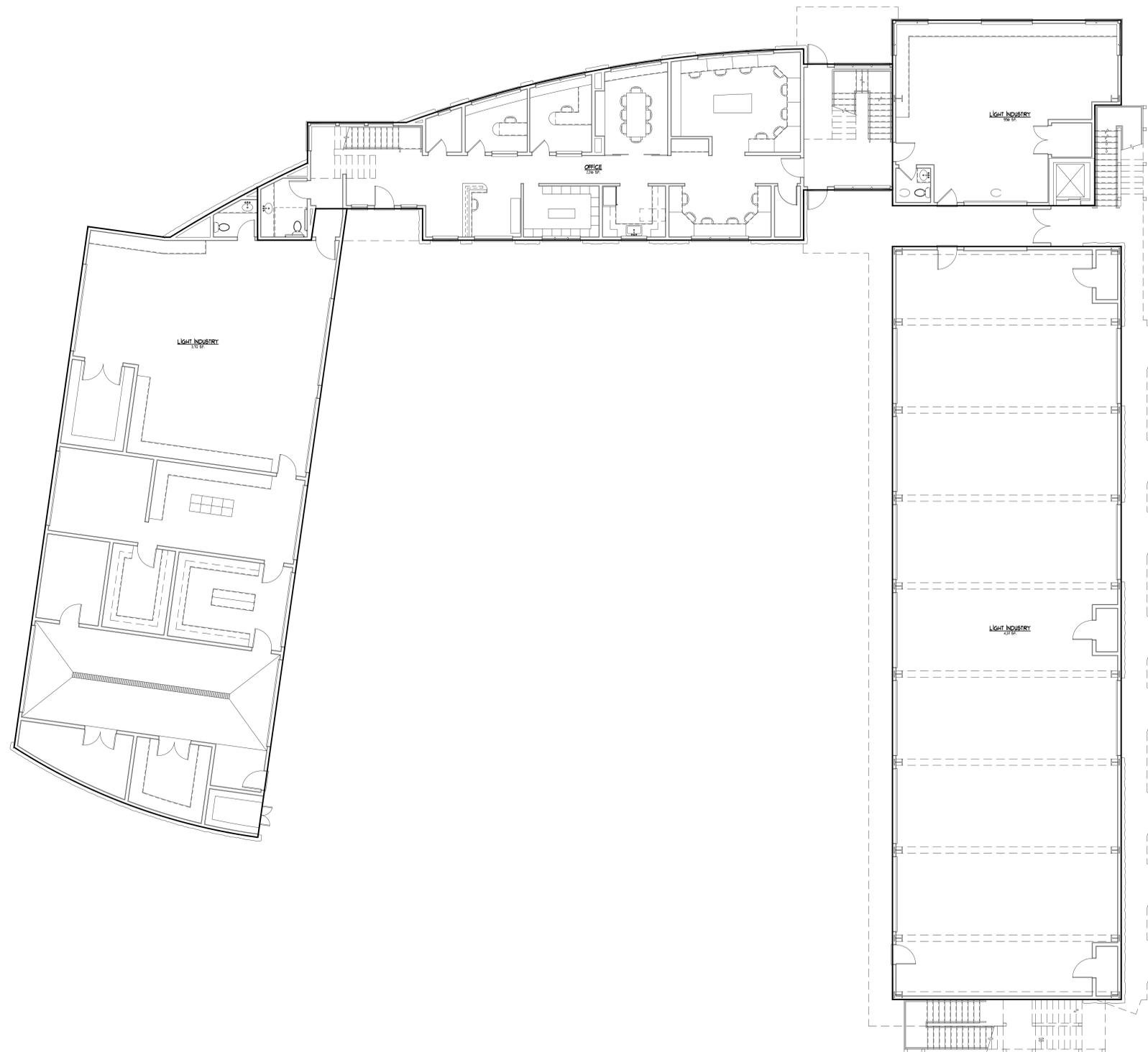
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C.U.P SUBMISSION	AUGUST 5, 2016

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Plot Date: AUGUST 4, 2016	Sheet Number: <b>A1.3</b>
Scale: 1" = 10'-0"	
Project Number: 1511	

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 CONSTRUCTION  
 PURPOSES  
 SET**

## AREA CALCULATIONS

SITE DEVELOPMENT		
AREA OF EXISTING BUILDING FOOTPRINT	0	5F.
AREA OF PROPOSED BUILDING FOOTPRINT	10239	5F.
PAVED OR UNPAVED PARKING AREAS	46516	5F.
OTHER SITE DEVELOPMENT	3100	5F.
COVERED PORCHES, DECKS, TERRACES, PATIOS, CORRALS, SIDEWALKS		
TOTAL SITE DEVELOPMENT	59,875	S.F.
GROSS SQUARE FOOTAGE TABULATION		
HABITABLE ABOVE GROUND	EXISTING	PROPOSED
HABITABLE ABOVE GROUND	0	24,195
HABITABLE BELOW GROUND	0	0
NON-HABITABLE ABOVE GROUND	0	0
NON-HABITABLE BELOW GROUND	0	0
TOTAL	24,195	S.F.



**1** FIRST FLOOR SQUARE FOOTAGE PLAN  
A1.4 1/8" = 1'-0"

**TETON COUNTY  
PARKS & RECREATION  
ADMINISTRATION & STORAGE  
MAINTENANCE BUILDINGS**  
400 WEST SNOW KING AVENUE  
JACKSON, WYOMING



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Drawing Title  
**FIRST FLOOR  
SQUARE FOOTAGE PLANS**

Set Title  
**COND. USE PERMIT**

Set Title	Set Issue Date
C.U.P SUBMISSION	AUGUST 5, 2016

Drawn By:	Checked By:

Plot Date: AUGUST 4, 2016	Sheet Number:
Scale: 1/8" = 1'-0"	<b>A1.4</b>
Project Number: 1511	

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CONSTRUCTION  
PROGRESS  
SET**



1 SECOND FLOOR SQUARE FOOTAGE PLAN  
A1.5 1/8" = 1'-0"

TETON COUNTY  
PARKS & RECREATION  
ADMINISTRATION & STORAGE  
MAINTENANCE BUILDINGS  
400 WEST SNOW KING AVENUE  
JACKSON, WYOMING

**DUBBE MOULDER**  
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DRAGON 37 North First East  
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Drawing Title  
SECOND FLOOR  
SQUARE FOOTAGE PLANS

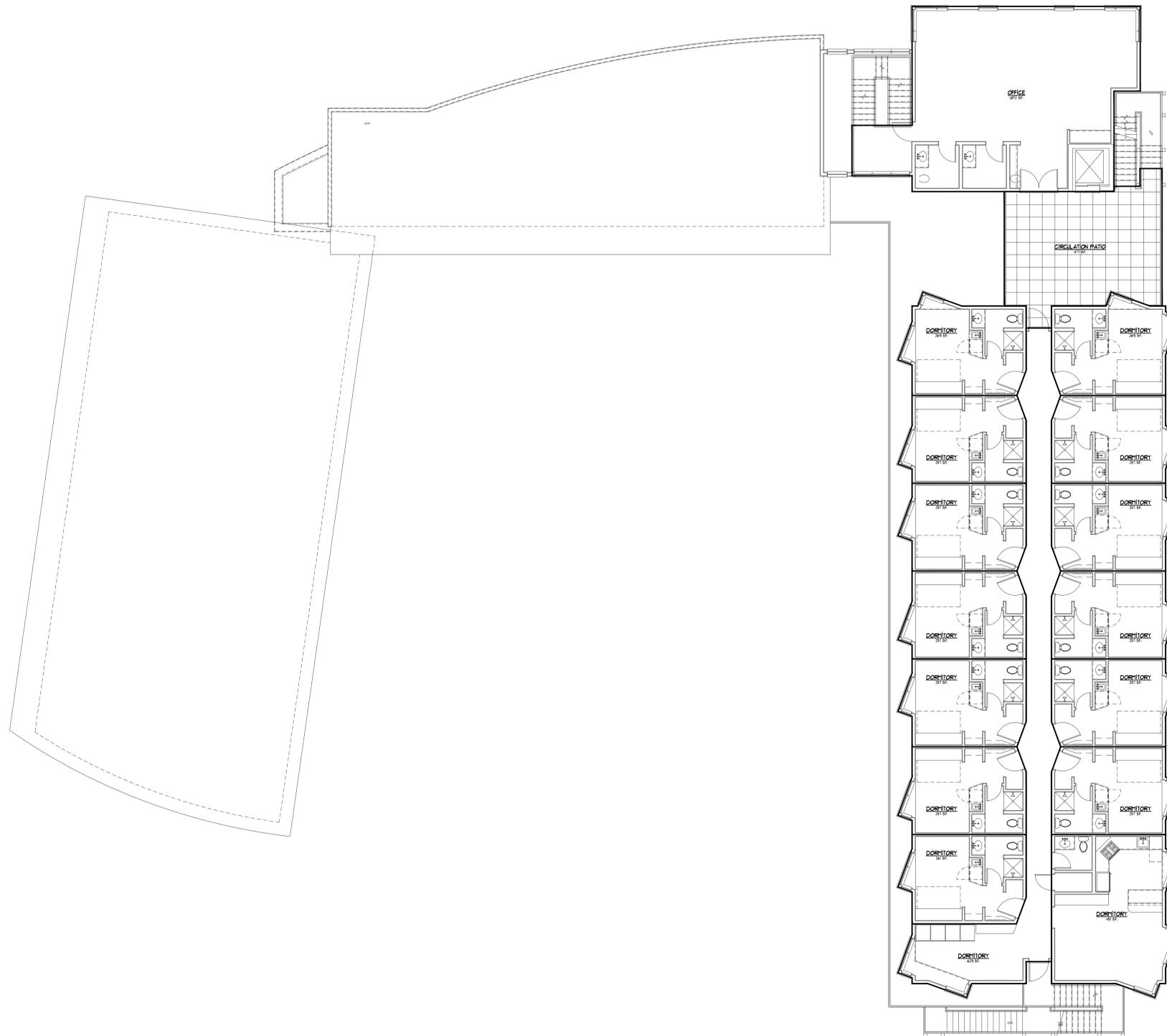
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Drawn By:	Checked By:

Plot Date: AUGUST 4, 2016	Sheet Number:
Scale: 1/8" = 1'-0"	<b>A1.5</b>
Project Number: 1511	

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CONSTRUCTION  
PROGRESS  
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1 THIRD FLOOR SQUARE FOOTAGE PLAN  
 A1.6 1/8" = 1'-0"

TETON COUNTY  
 PARKS & RECREATION  
 ADMINISTRATION & STORAGE  
 MAINTENANCE BUILDINGS  
 400 WEST SNOW KING AVENUE  
 JACKSON, WYOMING

**DUBBE MOULDER**  
 ARCHITECTS

JACKSON 1160 Alpine Lane, Ste 2A PO BOX 9227 Jackson, WY 83002 PHONE (307) 733-9551  
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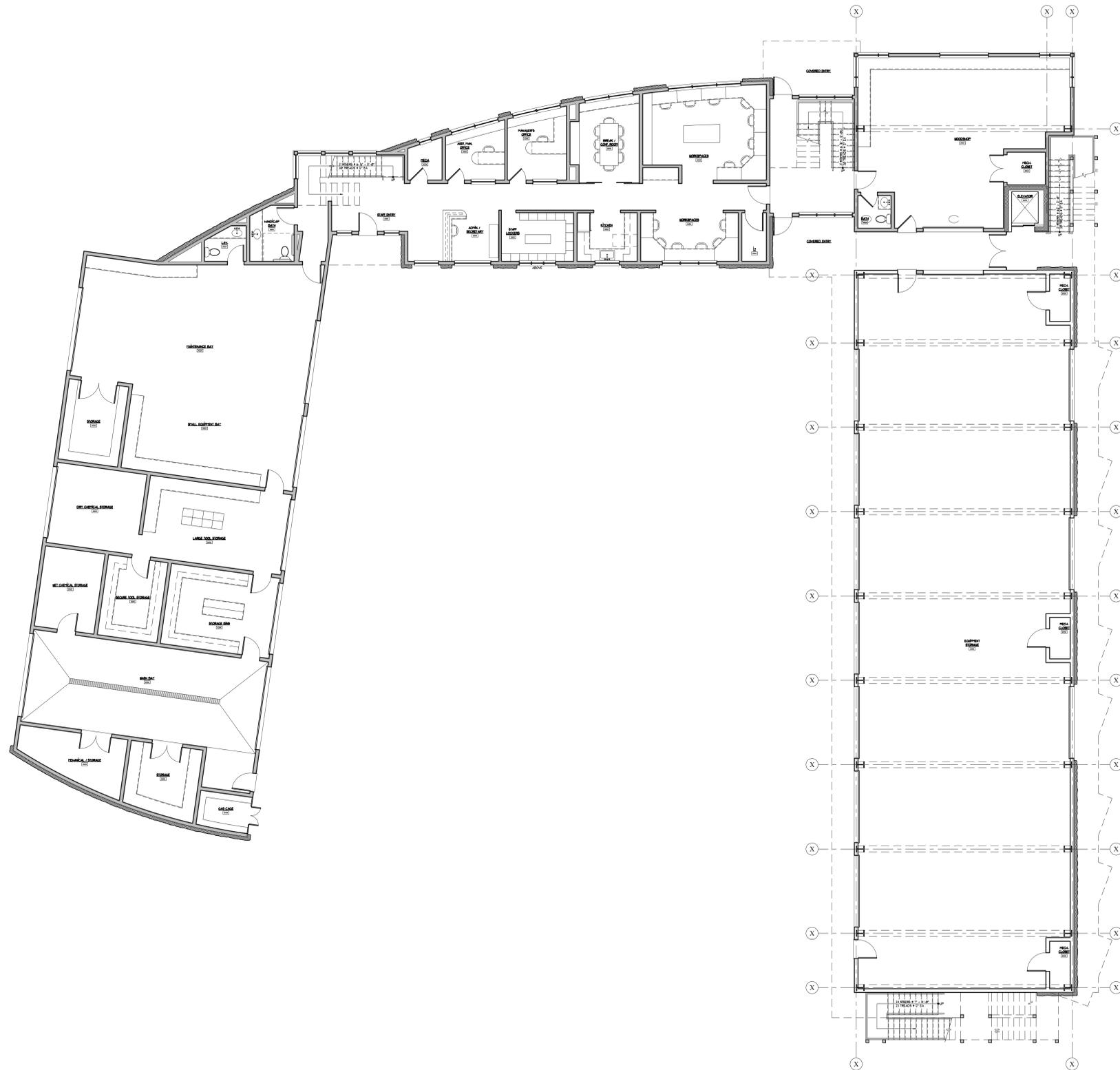
Drawing Title  
 THIRD FLOOR  
 SQUARE FOOTAGE PLANS

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Set Title	Set Issue Date
C.U.P SUBMISSION	AUGUST 5, 2016

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Plot Date: AUGUST 4, 2016	Sheet Number:
Scale: 1/8" = 1'-0"	A1.6
Project Number: 1511	

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1  
A2.1 COMPOSITE FIRST FLOOR PLAN  
1/8" = 1'-0"

TETON COUNTY  
PARKS & RECREATION  
ADMINISTRATION & STORAGE  
MAINTENANCE BUILDINGS  
400 WEST SNOW KING AVENUE  
JACKSON, WYOMING

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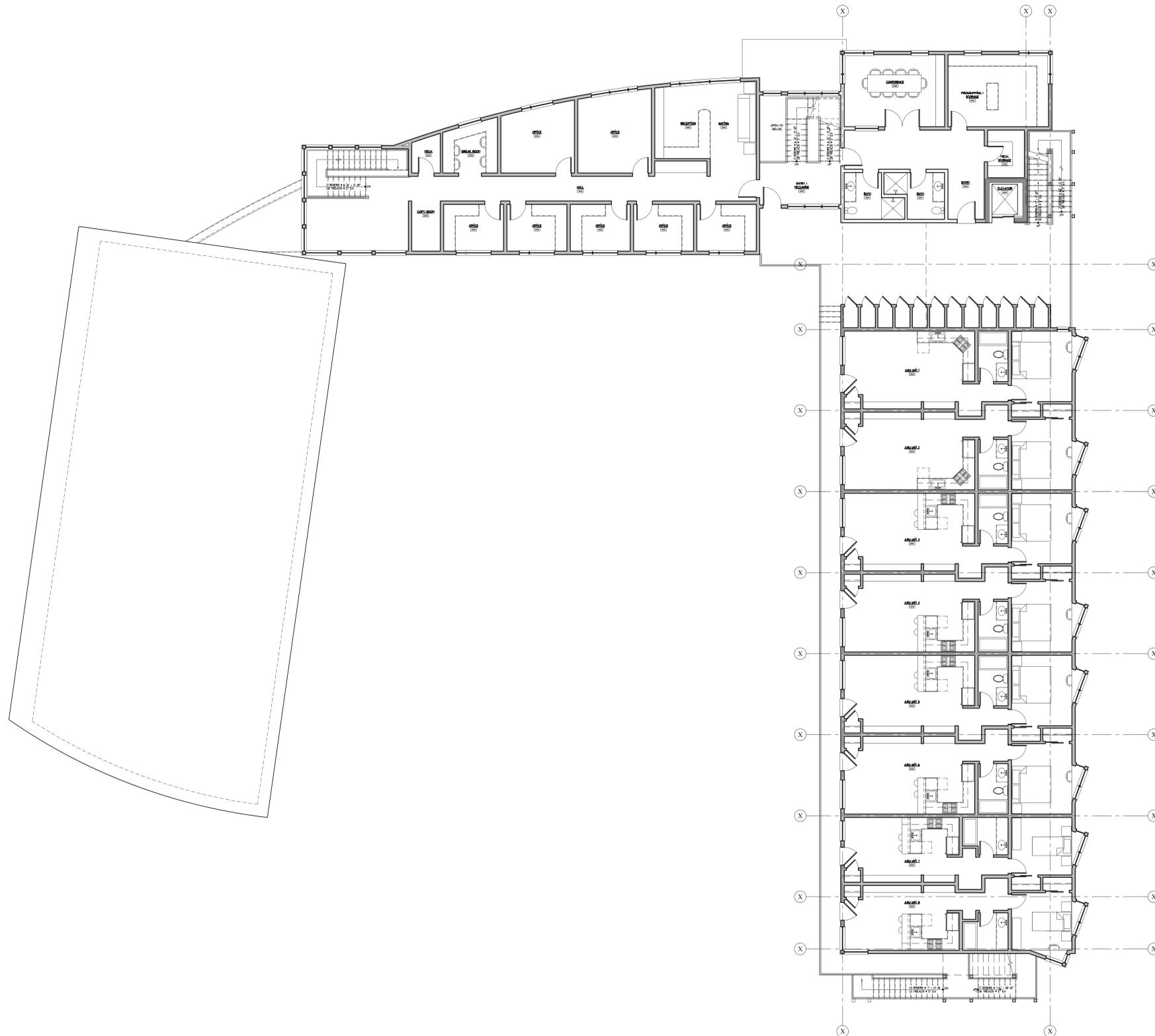
Drawing Title  
**COMPOSITE FIRST FLOOR PLAN**

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**COND. USE PERMIT**

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C.U.P SUBMISSION	AUGUST 5, 2016

Drawn By:	Checked By:
Plot Date: AUGUST 4, 2016	Sheet Number: <b>A2.1</b>
Scale: 1/8" = 1'-0"	
Project Number: 1511	

**NOT FOR CONSTRUCTION SET**



1  
A2.1 COMPOSITE SECOND FLOOR PLAN  
1/8" = 1'-0"

TETON COUNTY  
PARKS & RECREATION  
ADMINISTRATION & STORAGE  
MAINTENANCE BUILDINGS  
400 WEST SNOW KING AVENUE  
JACKSON, WYOMING

**DUBBE MOULDER**  
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Drawing Title  
**COMPOSITE SECOND FLOOR PLAN**

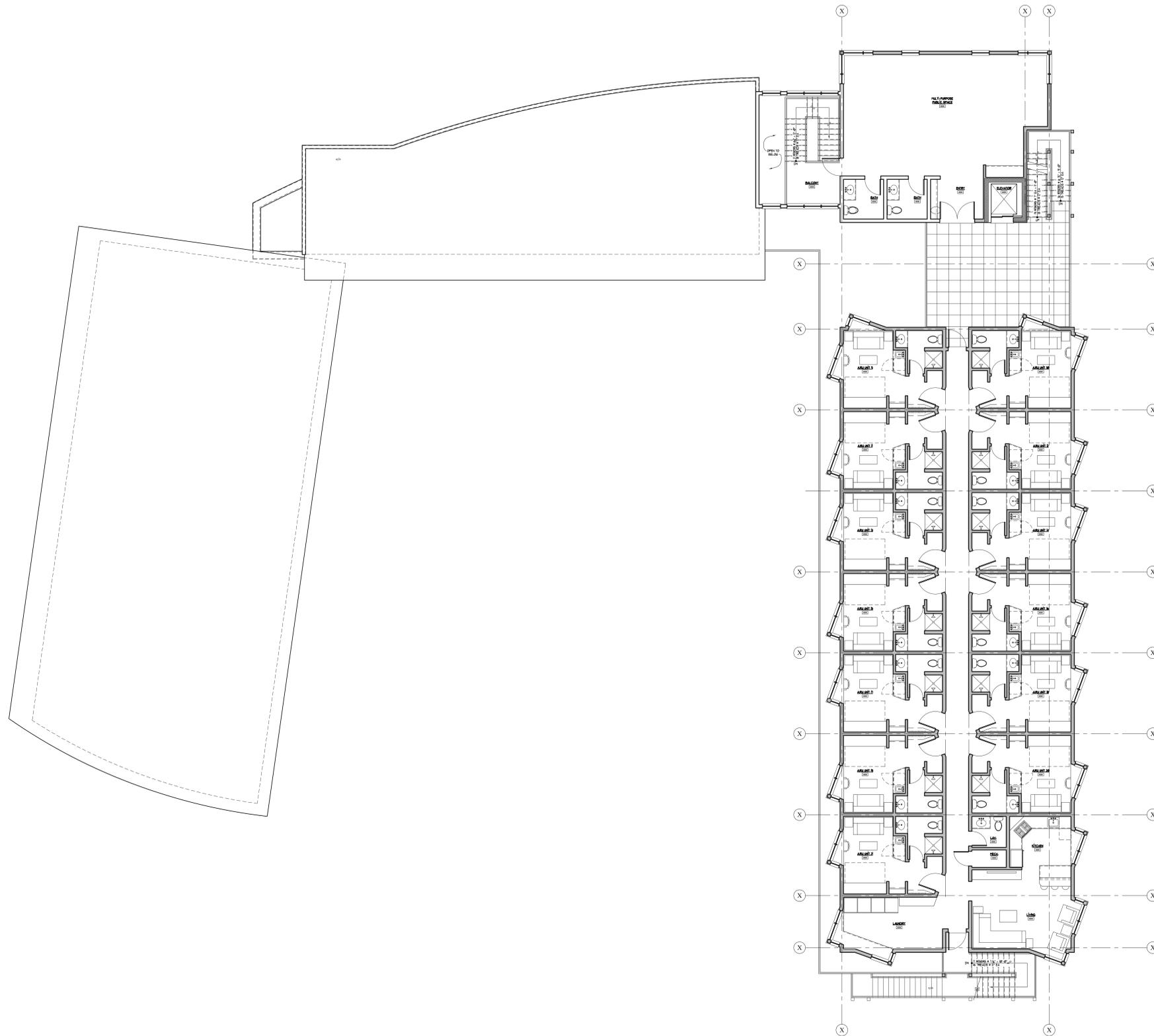
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C.U.P SUBMISSION	AUGUST 5, 2016

Drawn By:	Checked By:

Plot Date: AUGUST 4, 2016	Sheet Number:
Scale: 1/8" = 1'-0"	<b>A2.2</b>
Project Number: 1511	

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CONSTRUCTION  
PROGRESS  
SET**



1  
A2.1 COMPOSITE THIRD FLOOR PLAN  
1/8" = 1'-0"

TETON COUNTY  
PARKS & RECREATION  
ADMINISTRATION & STORAGE  
MAINTENANCE BUILDINGS  
400 WEST SNOW KING AVENUE  
JACKSON, WYOMING

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Drawing Title  
**COMPOSITE  
THIRD FLOOR PLAN**

Set Title  
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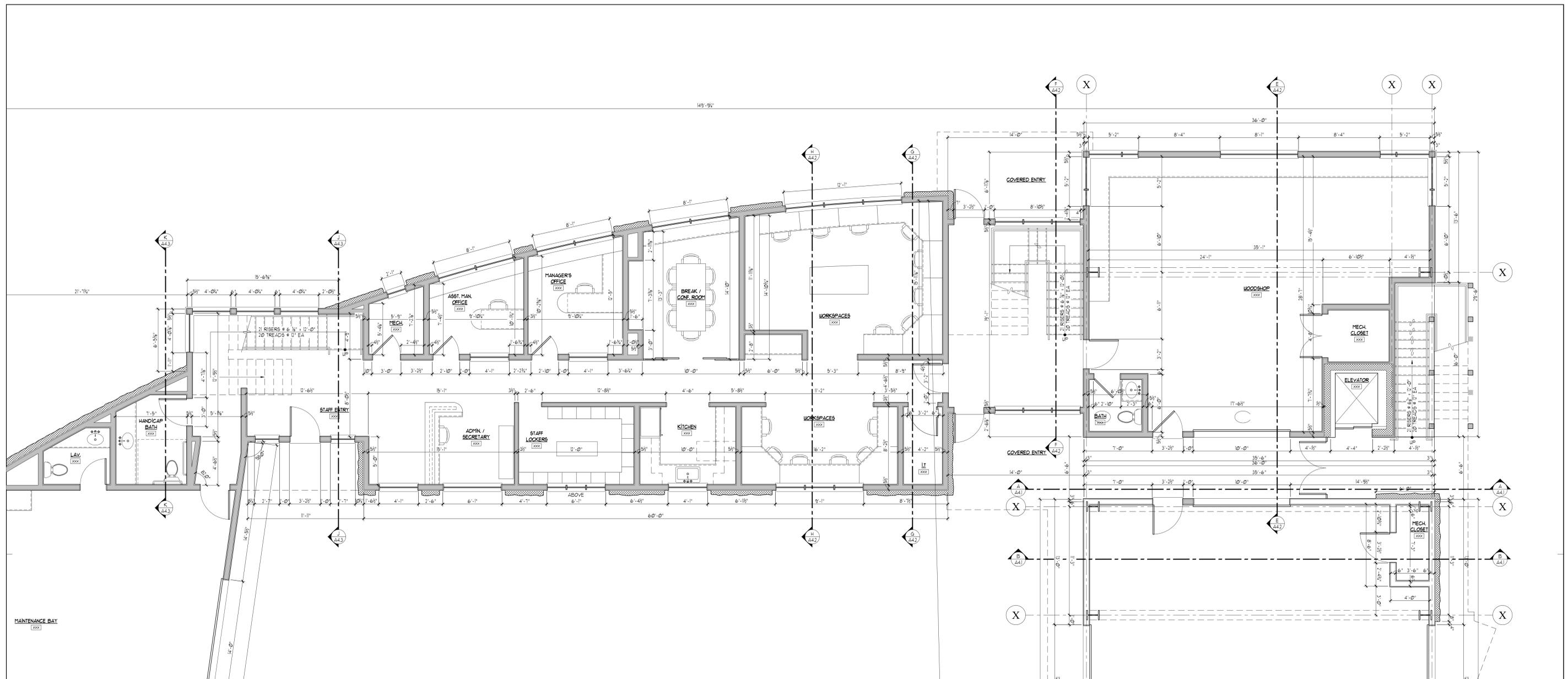
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Plot Date: AUGUST 4, 2016	Sheet Number:
Scale: 1/8" = 1'-0"	<b>A2.3</b>
Project Number: 1511	

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**1 ADMINISTRATION FIRST FLOOR PLAN**  
 A2.5 1/4" = 1'-0"

TETON COUNTY  
 PARKS & RECREATION  
 ADMINISTRATION & STORAGE  
 MAINTENANCE BUILDINGS  
 400 WEST SNOW KING AVENUE  
 JACKSON, WYOMING

**DUBBE MOULDER**  
 ARCHITECTS  
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Drawing Title  
**ADMINISTRATION FIRST FLOOR PLAN**

Set Title  
**COND. USE PERMIT**

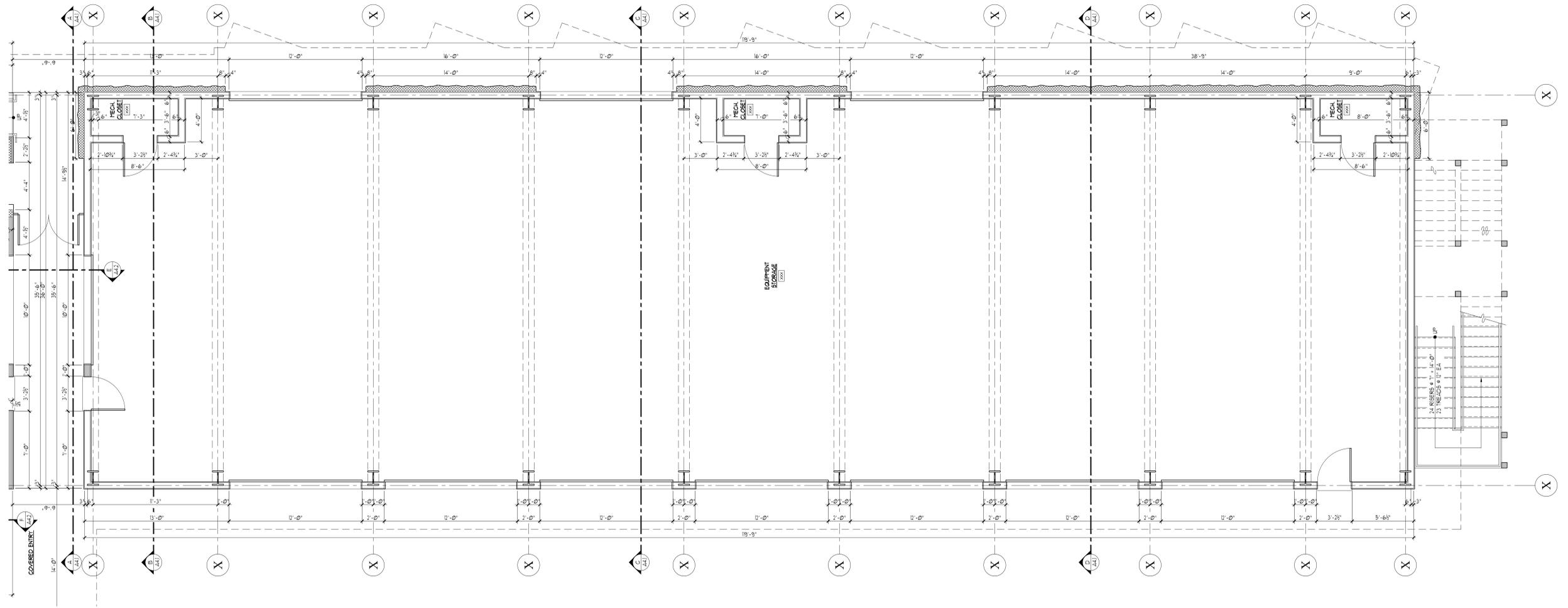
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Plot Date: AUGUST 4, 2016  
 Scale: 1/4" = 1'-0"  
 Project Number: 1511

Sheet Number:  
**A2.5**

**NOT FOR CONSTRUCTION SET**



1 PARKS & RECREATION FIRST FLOOR PLAN  
 A2.6 1/4" = 1'-0"

TETON COUNTY  
 PARKS & RECREATION  
 ADMINISTRATION & STORAGE  
 MAINTENANCE BUILDINGS  
 400 WEST SNOW KING AVENUE  
 JACKSON, WYOMING

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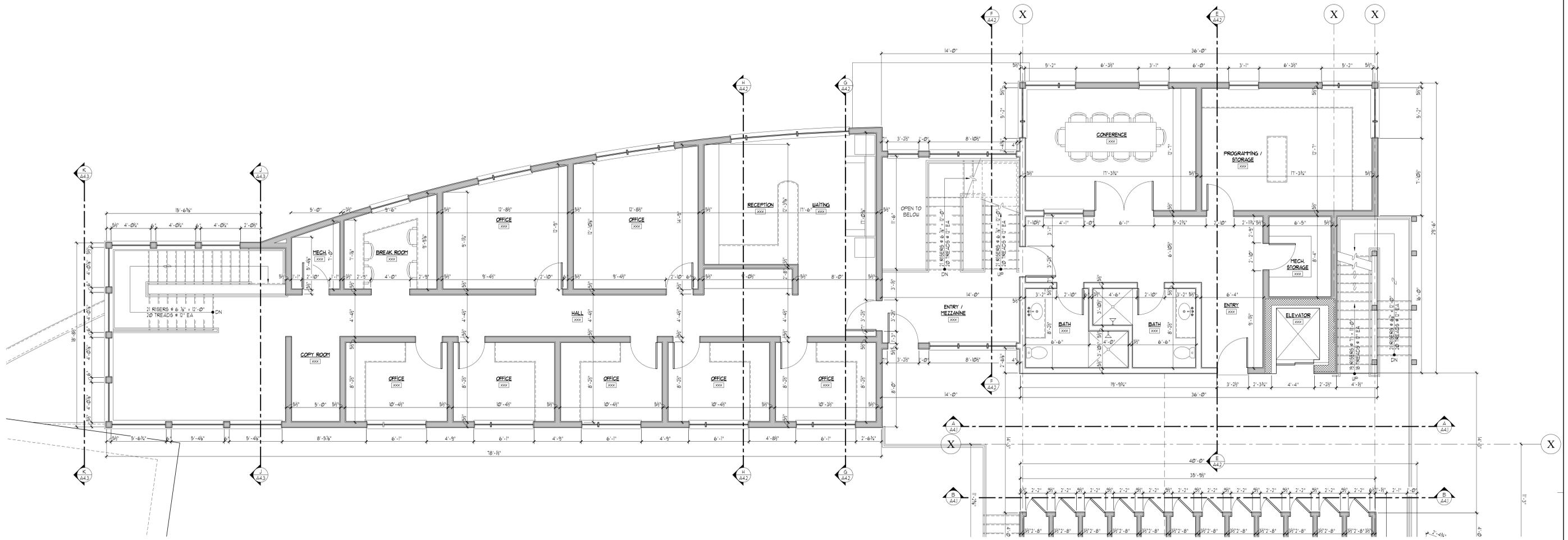
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**PARKS & RECREATION  
 STORAGE FIRST FLOOR PLAN**

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**COND. USE PERMIT**

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Drawn By:	Checked By:
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Scale: 1/4" = 1'-0"	
Project Number: 1511	

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 CONSTRUCTION  
 PROGRESS  
 SET**



**1** ADMINISTRATION SECOND FLOOR PLAN  
 A2.7 1/4" = 1'-0"

TETON COUNTY  
 PARKS & RECREATION  
 ADMINISTRATION & STORAGE  
 MAINTENANCE BUILDINGS  
 400 WEST SNOW KING AVENUE  
 JACKSON, WYOMING

**DUBBE MOULDER**  
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Drawing Title  
**ADMINISTRATION SECOND FLOOR PLAN**

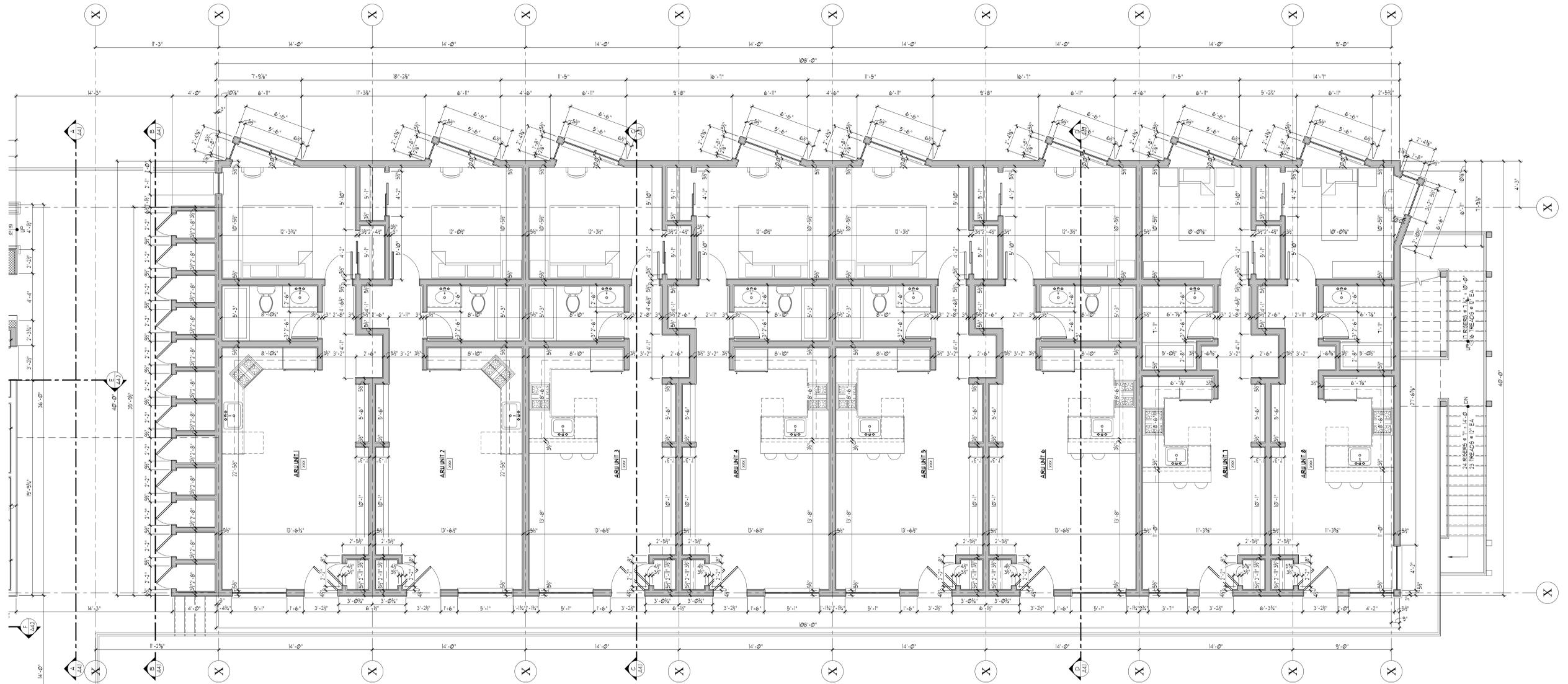
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 C.U.P SUBMISSION AUGUST 5, 2016

**NOT FOR CONSTRUCTION SET**

Drawn By: \_\_\_\_\_  
 Checked By: \_\_\_\_\_  
 Plot Date: AUGUST 4, 2016  
 Scale: 1/4" = 1'-0"  
 Project Number: 1511

**A2.7**



1  
A2.8  
PARKS & RECREATION  
STORAGE SECOND FLOOR PLAN  
1/4" = 1'-0"

TETON COUNTY  
PARKS & RECREATION  
ADMINISTRATION & STORAGE  
MAINTENANCE BUILDINGS  
400 WEST SNOW KING AVENUE  
JACKSON, WYOMING

**DUBBE MOULDER**  
ARCHITECTS

JACKSON 1160 Alpine Lane, Ste 2A  
PO BOX 9227  
Jackson, WY 83002  
PHONE (307) 733-9551

DORRIS 37 North First East  
Driggs, ID 83422  
PHONE (208) 354-0151

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Drawing Title  
**PARKS & RECREATION  
STORAGE SECOND  
FLOOR PLAN**

Set Title  
**COND. USE PERMIT**

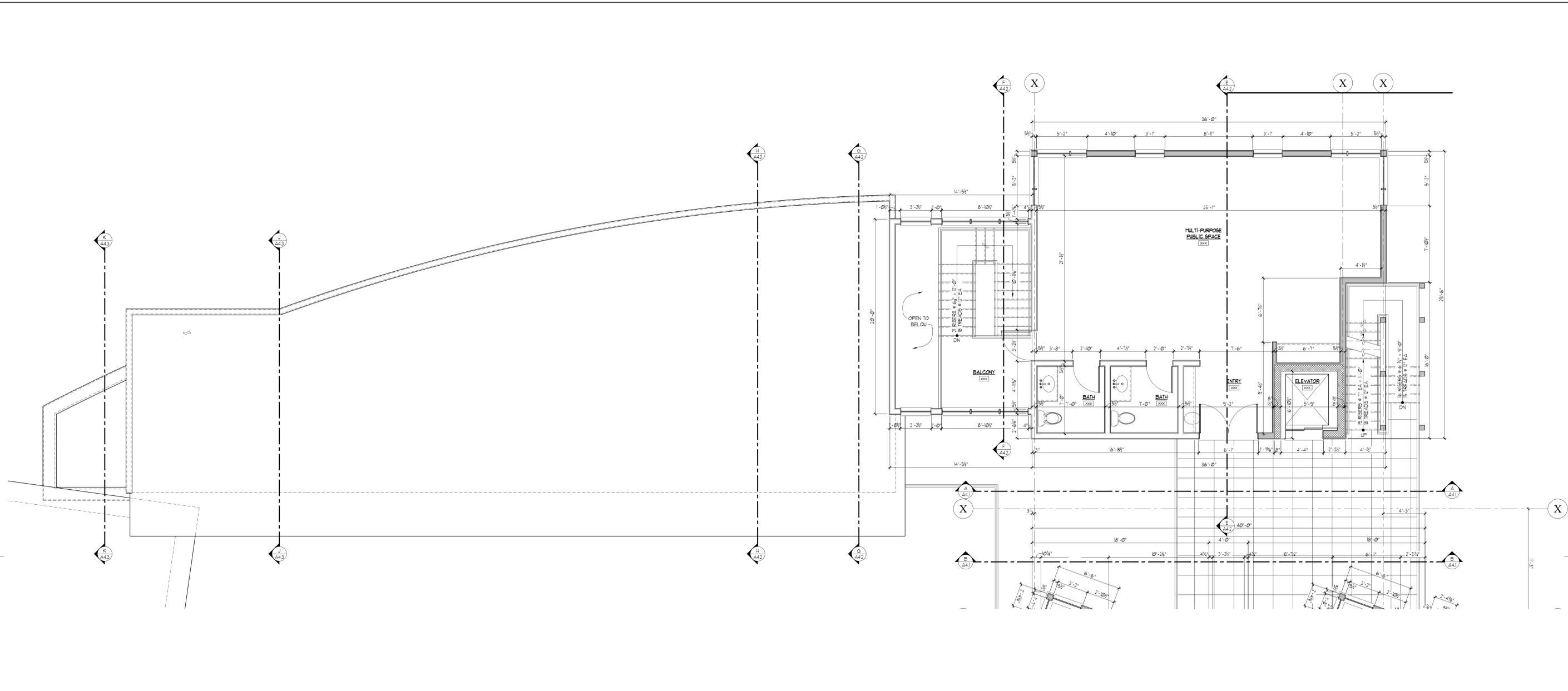
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C.U.P SUBMISSION	AUGUST 5, 2016

Drawn By:	Checked By:

Plot Date:	Sheet Number:
AUGUST 4, 2016	A2.8

Scale:	Project Number:
1/4" = 1'-0"	1511

**NOT FOR  
CONSTRUCTION  
PROGRESS  
SET**



1 ADMINISTRATION THIRD FLOOR PLAN  
 A2.9 1/4" = 1'-0"

TETON COUNTY  
 PARKS & RECREATION  
 ADMINISTRATION & STORAGE  
 MAINTENANCE BUILDINGS  
 400 WEST SNOW KING AVENUE  
 JACKSON, WYOMING

**DUBBE MOULDER**  
 ARCHITECTS

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Drawing Title  
**ADMINISTRATION  
 THIRD FLOOR PLAN**

Set Title  
**COND. USE PERMIT**

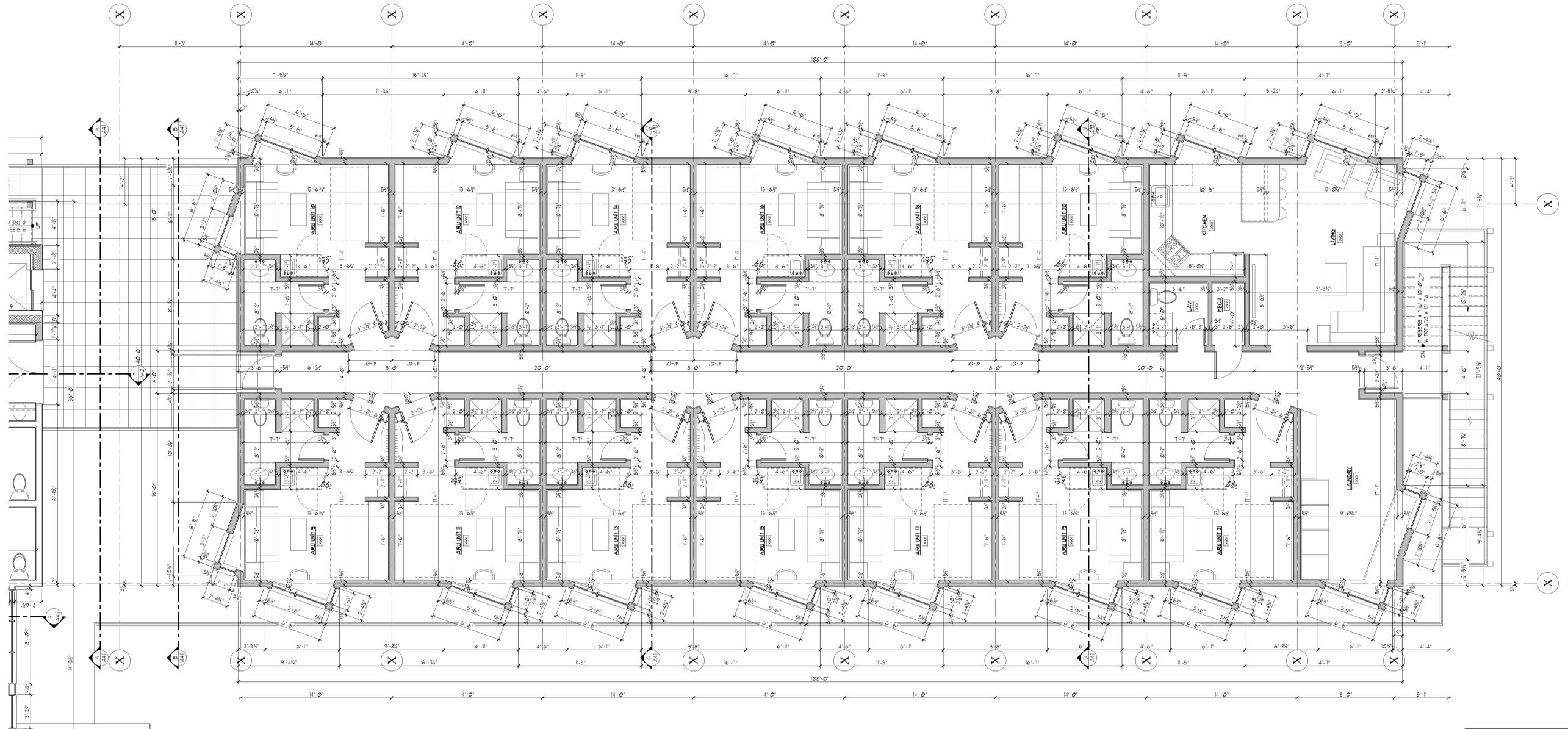
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 C.U.P SUBMISSION AUGUST 5, 2016

Drawn By: \_\_\_\_\_  
 Checked By: \_\_\_\_\_

Plot Date:  
 AUGUST 4, 2016  
 Scale:  
 1/4" = 1'-0"  
 Project Number:  
 1511

Sheet Number:  
**A2.9**

**NOT FOR  
 CONSTRUCTION  
 PROGRESS  
 SET**



**1** PARKS & RECREATION THIRD FLOOR PLAN  
 A2.10 1/4" = 1'-0"

TETON COUNTY  
 PARKS & RECREATION  
 ADMINISTRATION & STORAGE  
 MAINTENANCE BUILDINGS  
 400 WEST SNOW KING AVENUE  
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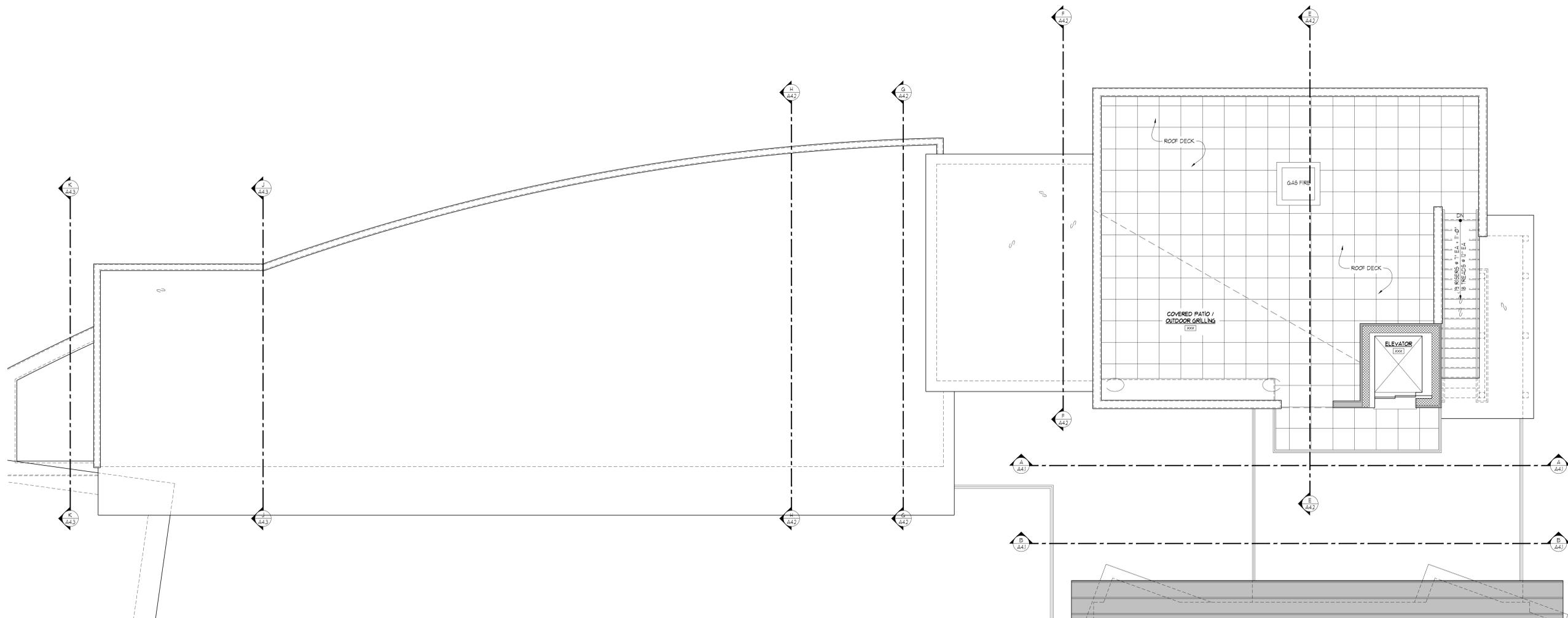
Drawing Title  
**PARKS & RECREATION  
 STORAGE THIRD FLOOR PLAN**

Set Title  
**COND. USE PERMIT**

Set Title	Set Issue Date
C.U.P SUBMISSION	AUGUST 5, 2016

Drawn By:	Checked By:
Plot Date: AUGUST 4, 2016	Sheet Number: <b>A2.10</b>
Scale: 1/4" = 1'-0"	Project Number: 1511

**NOT FOR  
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 PROGRESS  
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**1 ADMINISTRATION ROOF PLAN**  
 A2.11 1/4" = 1'-0"

TETON COUNTY  
 PARKS & RECREATION  
 ADMINISTRATION & STORAGE  
 MAINTENANCE BUILDINGS  
 400 WEST SNOW KING AVENUE  
 JACKSON, WYOMING

**DUBBE MOULDER**  
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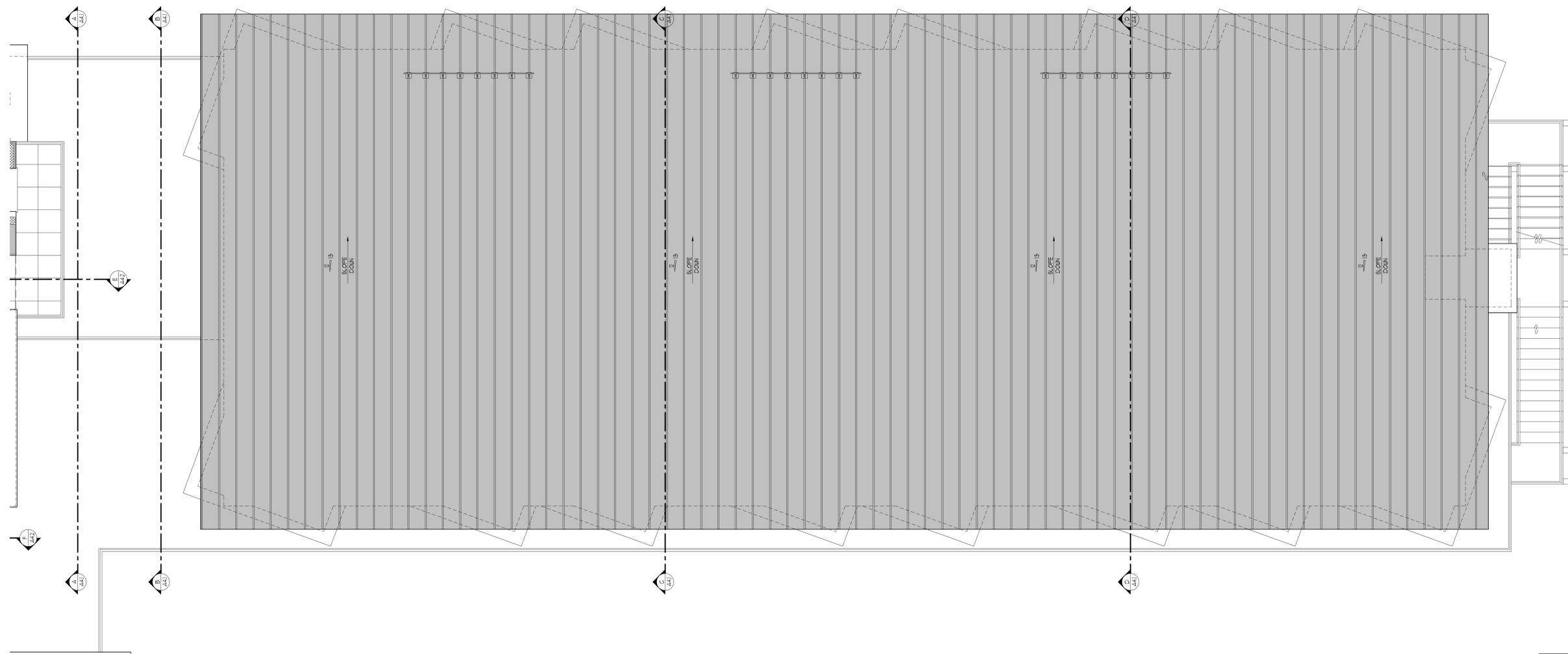
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**ADMINISTRATION ROOF PLAN**

Set Title  
**COND. USE PERMIT**

Set Title	Set Issue Date
C.U.P SUBMISSION	AUGUST 5, 2016

Drawn By:	Checked By:
Plot Date: AUGUST 4, 2016	Sheet Number: <b>A2.11</b>
Scale: 1/4" = 1'-0"	Project Number: 1511

**NOT FOR CONSTRUCTION PROGRESS SET**



**1** PARKS & RECREATION STORAGE ROOF PLAN  
 A2.12 1/4" = 1'-0"

TETON COUNTY  
 PARKS & RECREATION  
 ADMINISTRATION & STORAGE  
 MAINTENANCE BUILDINGS  
 400 WEST SNOW KING AVENUE  
 JACKSON, WYOMING

**DUBBE MOULDER**  
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DUBBOE 37 North First East  
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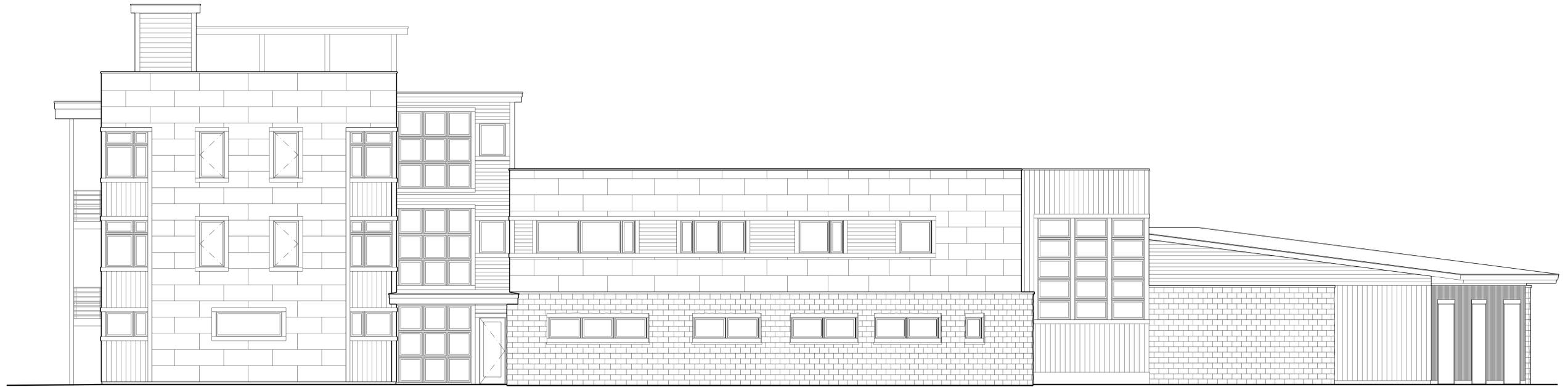
Drawing Title  
**PARKS & RECREATION STORAGE ROOF PLAN**

Set Title  
**COND. USE PERMIT**

Set Title	Set Issue Date
C.U.P SUBMISSION	AUGUST 5, 2016

Drawn By:	Checked By:
Plot Date: AUGUST 4, 2016	Sheet Number: <b>A2.12</b>
Scale: 1/4" = 1'-0"	Project Number: 1511

**NOT FOR  
 CONSTRUCTION  
 PROGRESS  
 SET**



1 NORTH ELEVATIONS  
A3.1 3/16" = 1'-0"



2 EAST ELEVATIONS  
A3.1 3/16" = 1'-0"

TETON COUNTY  
PARKS & RECREATION  
ADMINISTRATION & STORAGE  
MAINTENANCE BUILDINGS  
400 WEST SNOW KING AVENUE  
JACKSON, WYOMING

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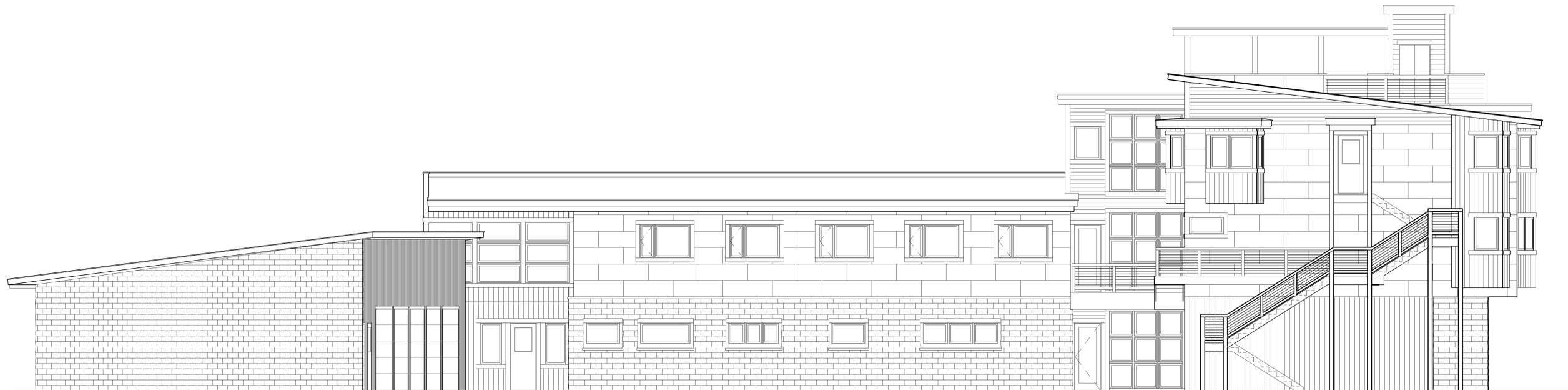
Drawing Title  
EXTERIOR ELEVATIONS

Set Title  
COND. USE PERMIT

Set Title	Set Issue Date
C.U.P SUBMISSION	AUGUST 5, 2016

Drawn By:	Checked By:
Plot Date: AUGUST 4, 2016	Sheet Number: <b>A3.1</b>
Scale: 3/16" = 1'-0"	
Project Number: 1511	

**NOT FOR  
CONSTRUCTION  
SET**



1 SOUTH ELEVATIONS  
A3.2 3/16" = 1'-0"



2 WEST ELEVATIONS  
A3.2 3/16" = 1'-0"

TETON COUNTY  
PARKS & RECREATION  
ADMINISTRATION & STORAGE  
MAINTENANCE BUILDINGS  
400 WEST SNOW KING AVENUE  
JACKSON, WYOMING

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Drawing Title  
EXTERIOR ELEVATIONS

Set Title  
COND. USE PERMIT

Set Title C.U.P SUBMISSION Set Issue Date AUGUST 5, 2016

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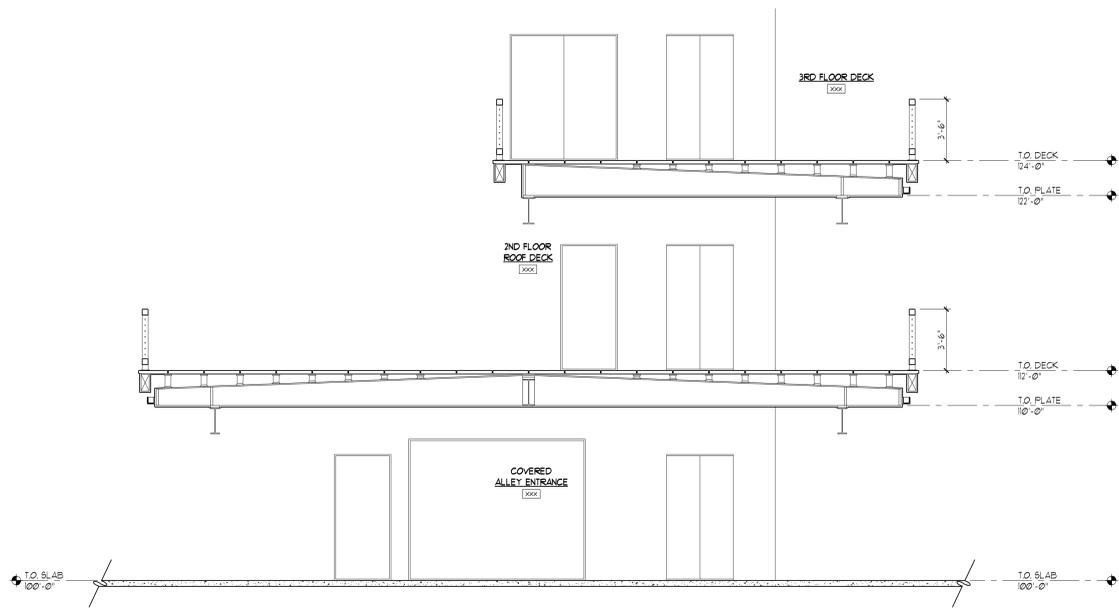
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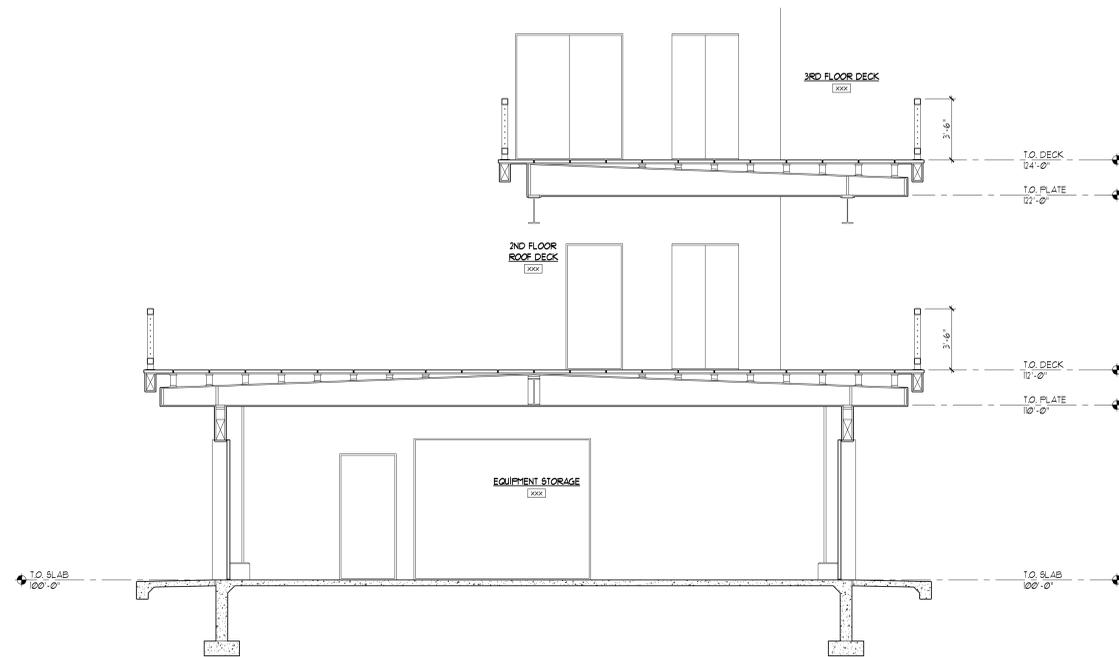
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PROGRESS  
SET**

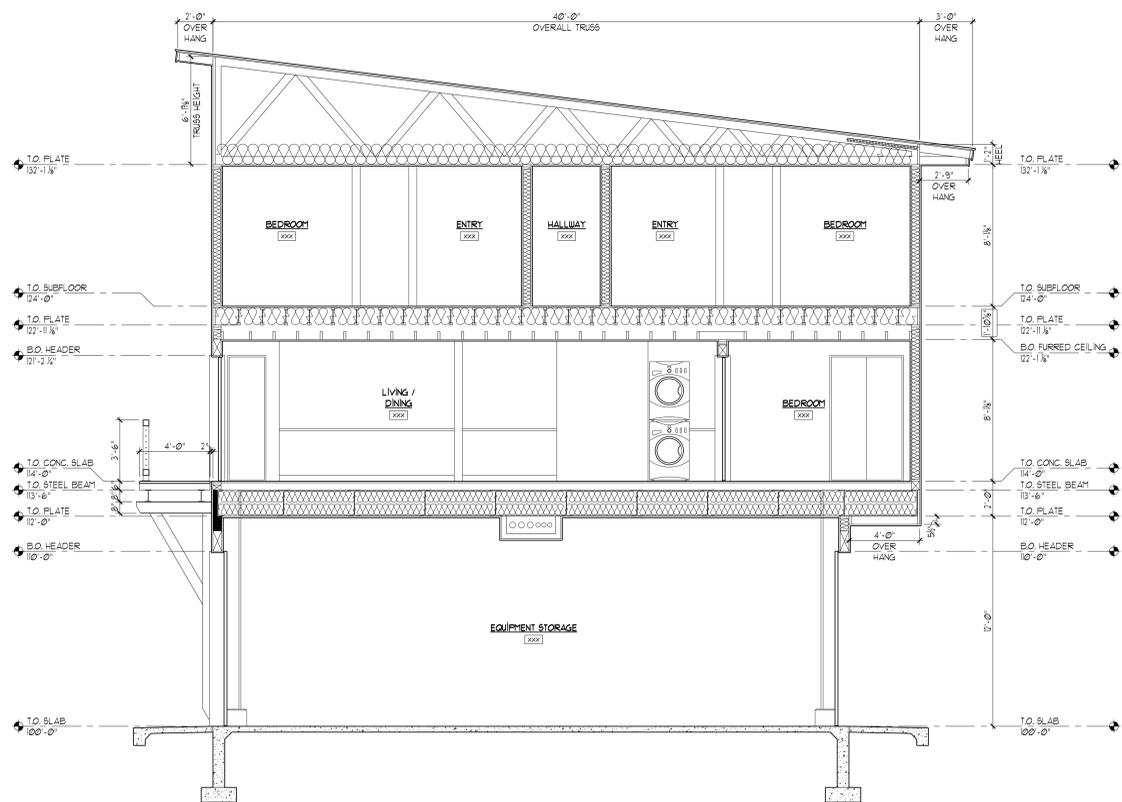
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Project Number: 1511



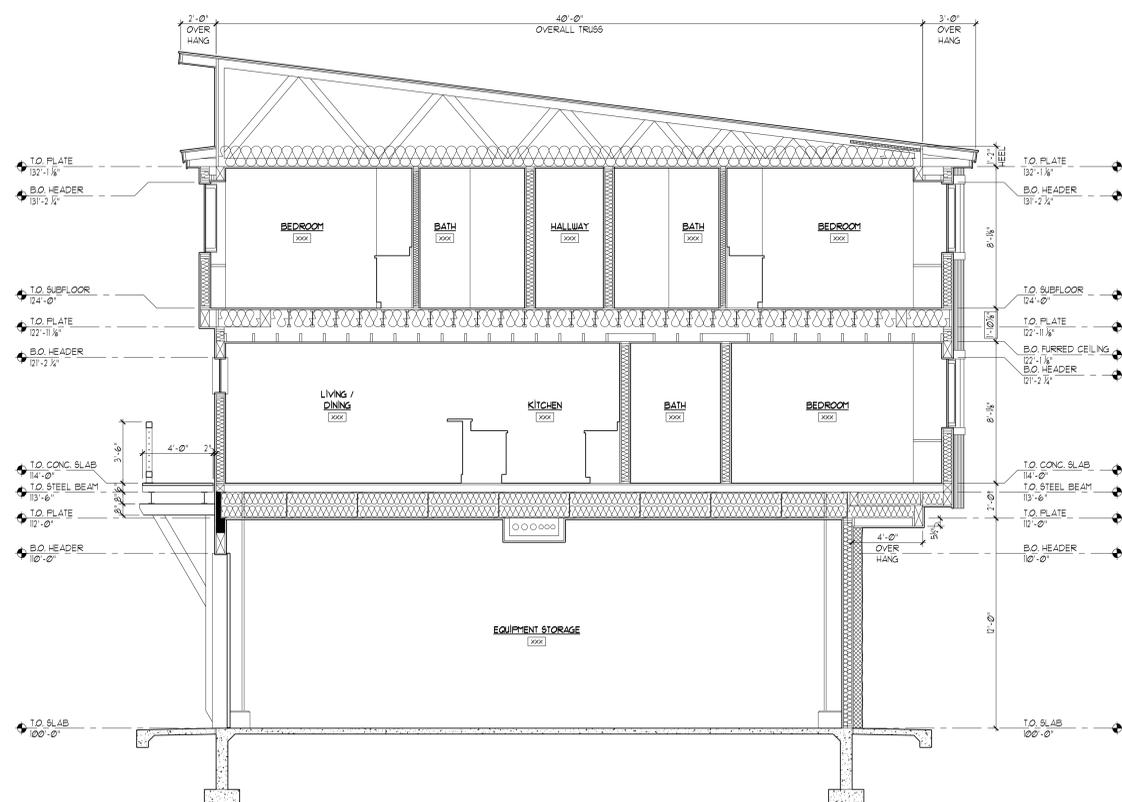
1 BUILDING SECTION A  
A4.1 1/4" = 1'-0"



2 BUILDING SECTION B  
A4.1 1/4" = 1'-0"



3 BUILDING SECTION C  
A4.1 1/4" = 1'-0"



4 BUILDING SECTION D  
A4.1 1/4" = 1'-0"

TETON COUNTY  
PARKS & RECREATION  
ADMINISTRATION & STORAGE  
MAINTENANCE BUILDINGS  
400 WEST SNOW KING AVENUE  
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Drawing Title

BUILDING SECTIONS

Set Title

COND. USE PERMIT

Set Title

C.U.P SUBMISSION

Set Issue Date

AUGUST 5, 2016

Drawn By:

Checked By:

Plot Date:

AUGUST 4, 2016

Sheet Number:

Scale:

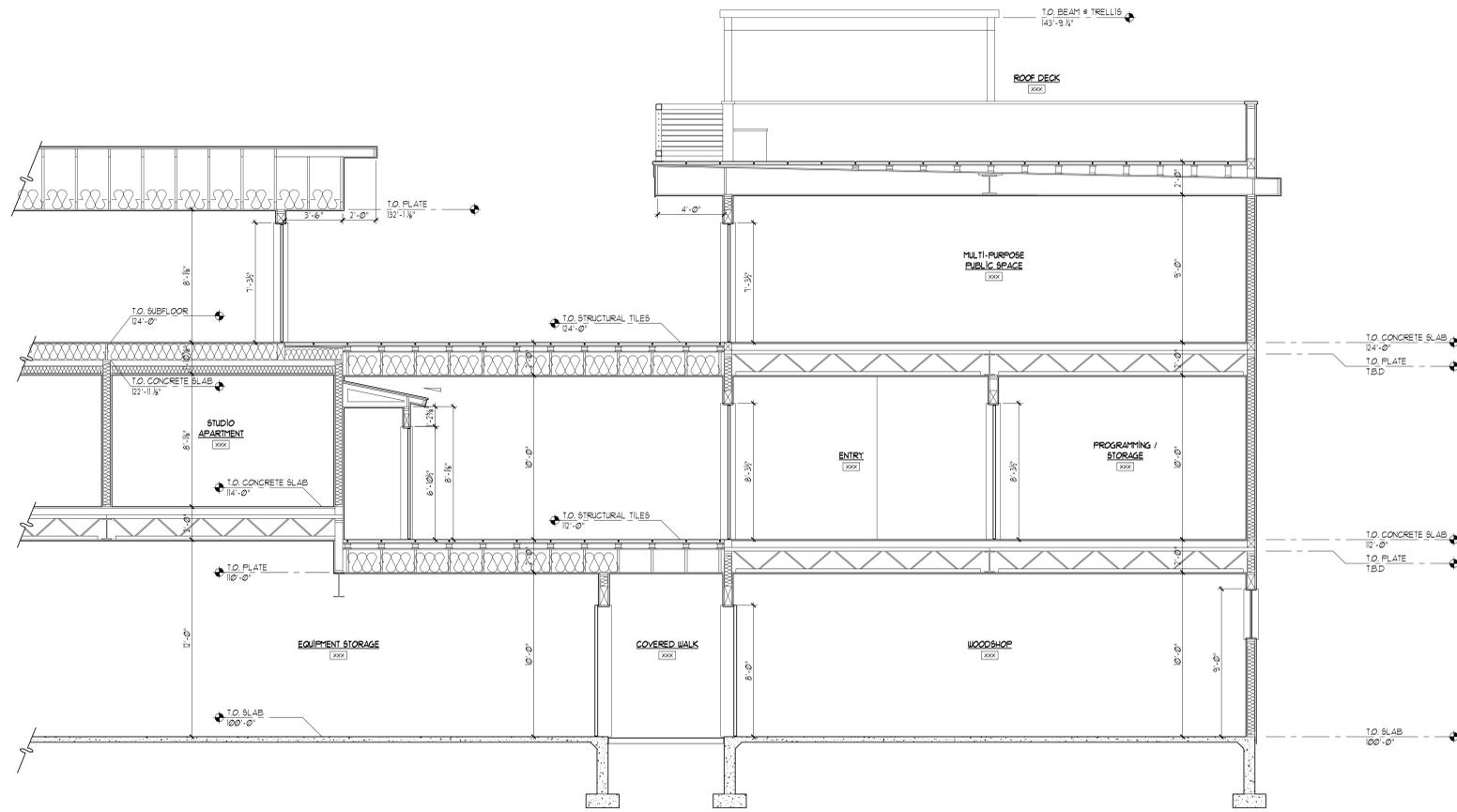
1/4" = 1'-0"

Project Number:

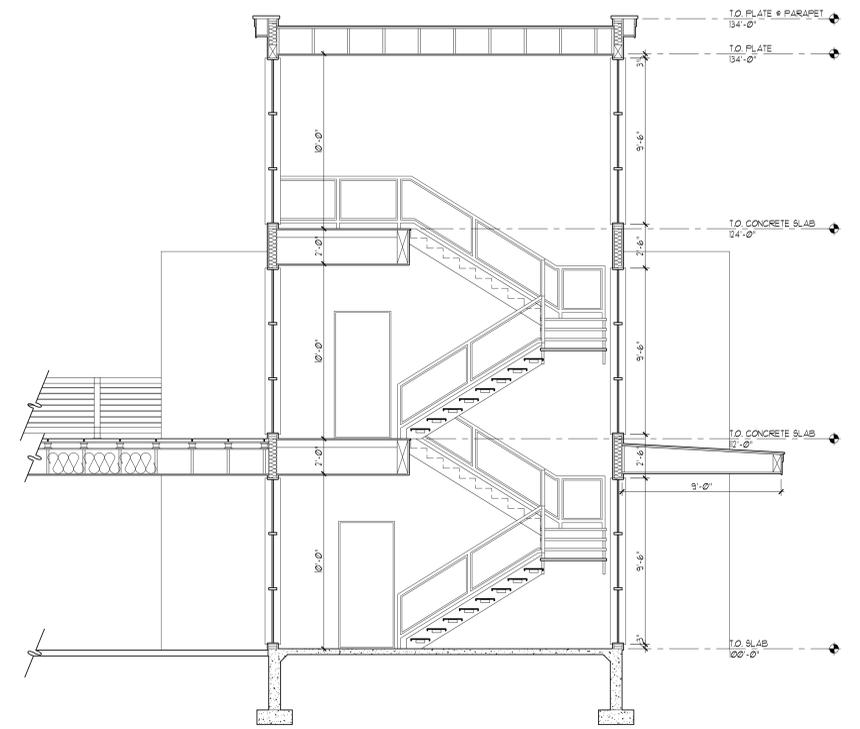
1511

**A4.1**

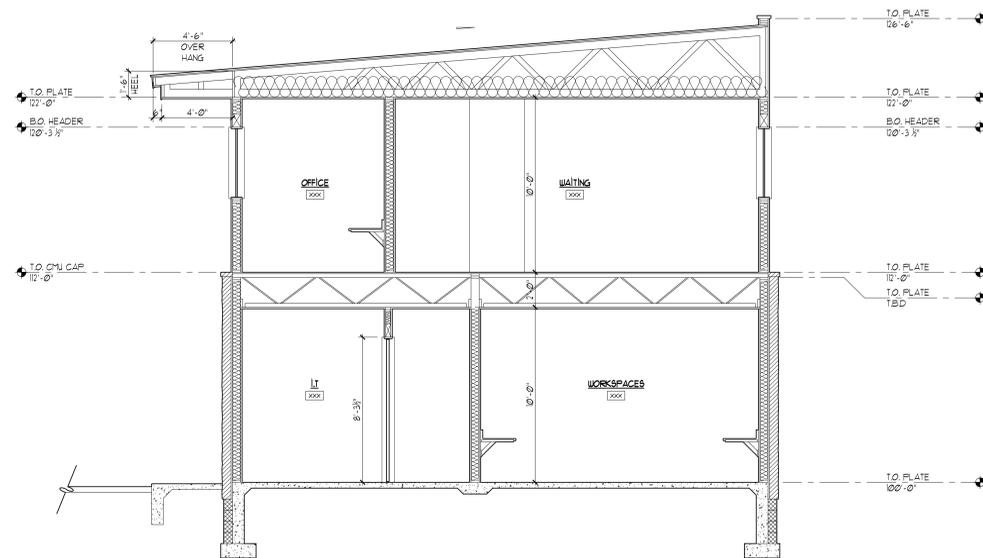
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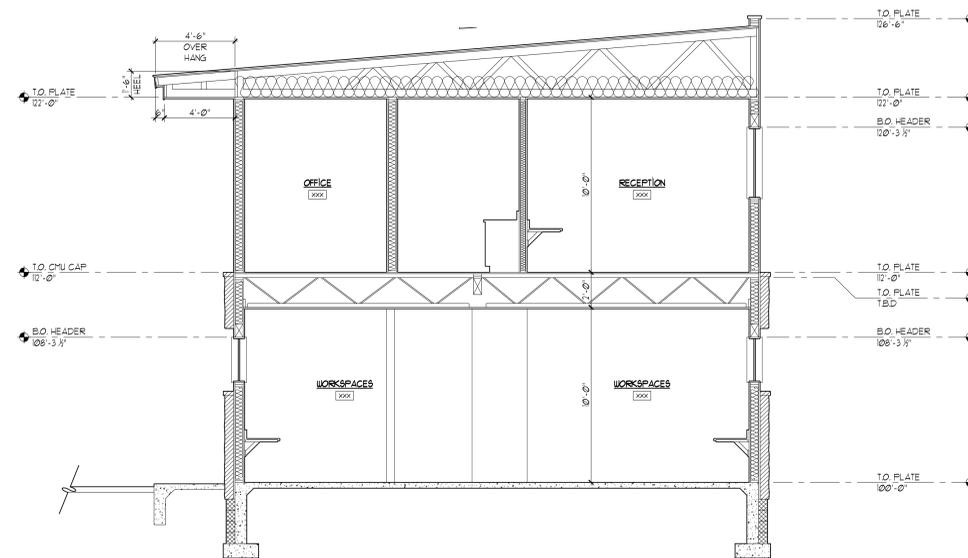
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A4.2 1/4" = 1'-0"



2 BUILDING SECTION F  
A4.2 1/4" = 1'-0"



3 BUILDING SECTION G  
A4.2 1/4" = 1'-0"



4 BUILDING SECTION H  
A4.2 1/4" = 1'-0"

TETON COUNTY  
PARKS & RECREATION  
ADMINISTRATION & STORAGE  
MAINTENANCE BUILDINGS  
400 WEST SNOW KING AVENUE  
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Drawing Title

BUILDING SECTIONS

Set Title

COND. USE PERMIT

Set Title C.U.P SUBMISSION

Set Issue Date AUGUST 5, 2016

Drawn By:

Checked By:

Plot Date: AUGUST 4, 2016

Sheet Number:

Scale: 1/4" = 1'-0"

Project Number: 1511

A4.2

**NOT FOR  
CONSTRUCTION  
PROGRESS  
SET**



## **Jackson Public Works-**

Town of Jackson Public Works and Police Operations and Administration Facility  
Sketch Plan and Conditional Use Permit

### **Project Description:**

Public Works is a Town of Jackson funded local government agency. The department employs approximately 2829 fulltime staff, 24 of which operate out of Snow King Ave. facility. The department is responsible for providing streets, parking facility and right of way maintenance, water and sewer services, fleet maintenance & fueling services, town public buildings maintenance, winter street snow plowing, and public infrastructure engineering and project management.

The proposed parks and recreation project utilizes the east end of the current public works facility. As a result, public works proposes to modify their site plan to better accommodate the shared use, along with continued enhancements to safety and operational efficiency. Additionally, the current site also houses storage and staging for the Jackson police, which the plan also addresses for continued and improved use on the facility.

The proposed overall site plan looks at two primary phases. The first phase makes minor modifications to layout and use areas, primarily to accommodate the addition of parks and recreation to the site. Phase one plan estimates completing modifications between a five and ten year period. This plan can be expedited by the further development of the START facility, primarily the fleet maintenance and fuel island components. At such time of this development, phase two, or the long-range master plan can begin.

Phase two development sees the greatest changes to the site. The following are key changes or relocations of activities on the property:

- Winter sand storage to be relocated to the west approximately at the current fuel island location. The sand pile will be recessed into the ground, and covered by a tension fabric structure;
- With the relocation of fleet maintenance, the western most garage bays will be converted into large equipment storage;
- Within the middle of the site, dedicated space and buildings will be provided to house police vehicles, specialized equipment, evidence, and misc. equipment.
- The Fair/Expo building will be relocated within the fairgrounds primary facility space on the north side of Snow King Ave.
- Public, staff, and resident parking for the parks and recreation facility will be consolidated and condensed immediately to the east of the P&R facility.
- The current park shop will be removed, clearing the eastern edge of the property for future development. This development may include employee or community affordable housing, however this not been fully determined, and other civic uses may be developed.

**Sketch Plan Findings:**

1. The property is located within current use type, and is zoned Public/Semi-public. The project meets the current neighborhood character, is immediately adjacent to a START bus stop, and is consistent with the Comp Plan by concentrating development within the Town of Jackson.
2. The site is not located in either the Natural Resource Overlay or Scenic Resource Overlay. Given the similarities between the existing and proposed re-development plan, natural wildlife habitat both on the property and surround the property on all sides, and lack of native and/or natural wildlife habitat both on and surrounding the property there will be little to no impact, adverse or otherwise, on any wildlife as a result of the proposed project.
3. The master plans do not have significant impact on transportation, as the re-development matches existing use. Additionally, the access to the project will utilize existing driveway points at the Public Works yard and current fair expo, and directly access to Know King Ave. Existing START bus facilities are within 10' of the proposed re-development, and public sidewalks currently existing along the project frontage.
4. The sketch plan complies with all relevant standards of the LDRs, and consistent with adjacent approved uses such as the Public Works facility, Teton County Fairgrounds, Teton County Fair Expo facility and the existing TCJPR maintenance facility.

**Conditional Use Permit Findings:**

The project parcel is zoned Public/Semi-public, and thus dimensional limitations, employee housing, and like LDR standards are non-applicable. The site redevelopment is consistent with existing use, as well as neighboring use. However, Town of Jackson believes it is appropriate to evaluate and apply relevant LDR standards to the project to ensure quality and compatible development is being proposed.

1. **Impacts on Public Utilities-** Water, sewer and storm drainage are available on site. All light industrial uses will be equal to current levels. Future development on the east edge of the property will need to complete water and sewer analysis to confirm capacity. The sewer division of public works will complete significant sewer line improvements from the eastern edge of the parks and recreation building west through the fairgrounds facility, improving quality and capacity.

Existing power service is located on site and adequate for the re-development. There is a current twenty foot easement running along the south property line that corresponds with existing overhead 3-phase power service.

The site already has an existing sidewalk and bike lane along Snow King Ave. A START facility bus stop is within 10' of the proposed entrance and is serviced by the existing Town Shuttle service.

2. **Impacts from Nuisances-**

Lighting: All facility lighting shall be down pointing and compliant with currently proposed LDR lighting text amendments. Yard lighting will be placed on a timer to only be lit during operating hours. (April-October- 7:00AM to 6:00PM, November-March- 2:30AM to 6:00PM). Additionally, yard lights as well office exterior lights will have motion detectors to reduce lumens during low activity.

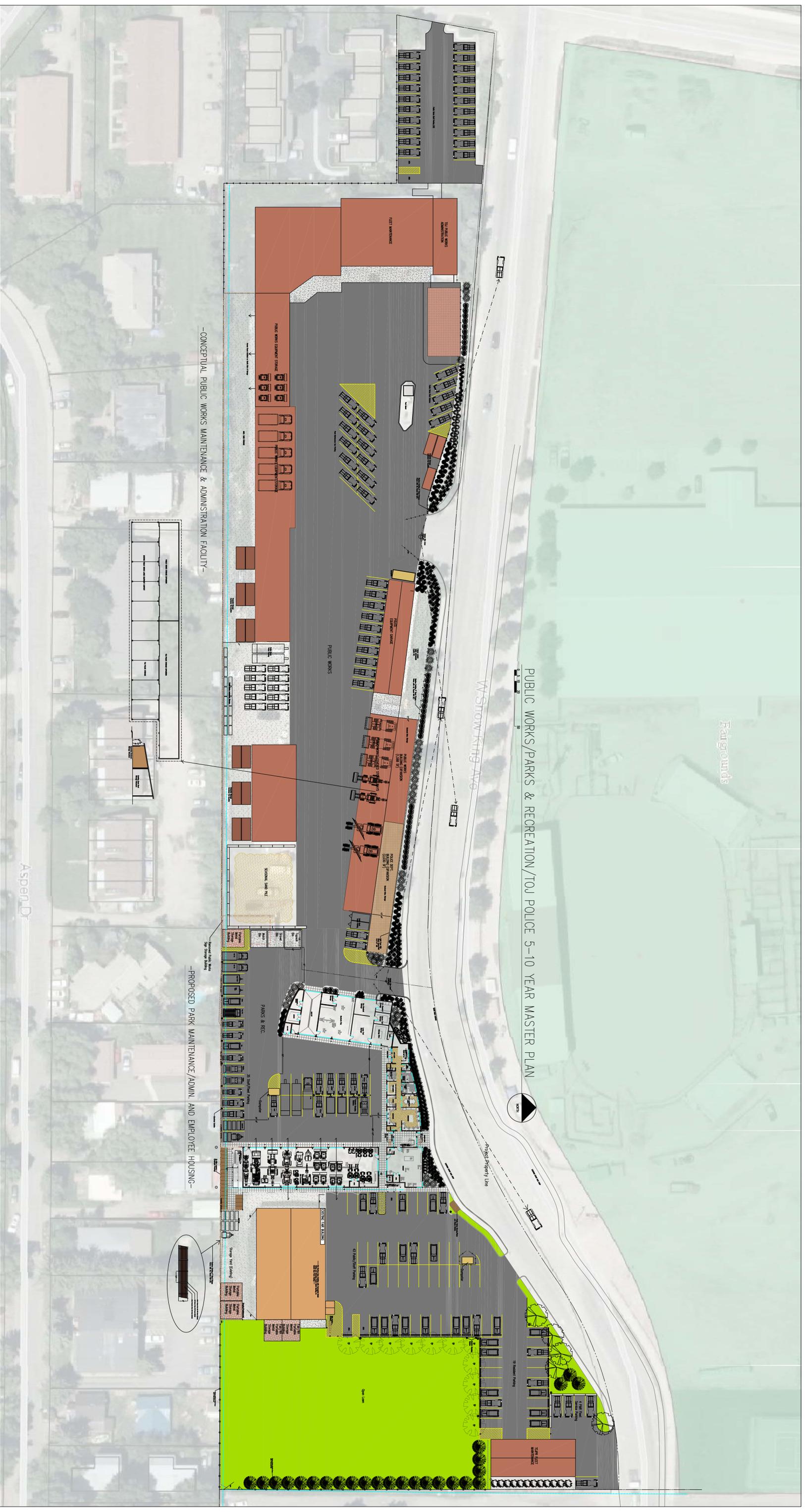
Noise: The re-development will reduce existing noise of operations by storing additional maintenance equipment inside. As a result, winter starting and warm-up of equipment will be greatly reduced. Relocation of sand pile will also reduce overall noise by placing the pile north of the existing storage buildings.

Trash: Trash collection containers for will remain within the fenced yard. No yard waste, compositing or manure storage will take place on site. Containers shall have lids, and maintained in clean condition.

Visual Impact: There is an existing 6' wooden privacy fence along the south property line. This existing fence is a state of disrepair, and the project will replace the fence from the east edge of the property west to the Public Works street operation building. The fence shall be a 6-8' composite privacy and sound barrier type.

3. **Commercial Use Hours of Operation-**

Public Works maintenance operations will remain the same as existing. Summer operations will be approximately April through ~~October~~ November from ~~7~~5:00am to 6:00pm seven days a week. Winter operations will be approximately November through March from 2:30am to ~~6~~9:00pm seven days a week. Noise and activity use in early morning will be reduced due to the additional storage of equipment inside, reducing start-up time and idling.



Fairgrounds

PUBLIC WORKS/PARKS & RECREATION/TOU POLICE 5-10 YEAR MASTER PLAN

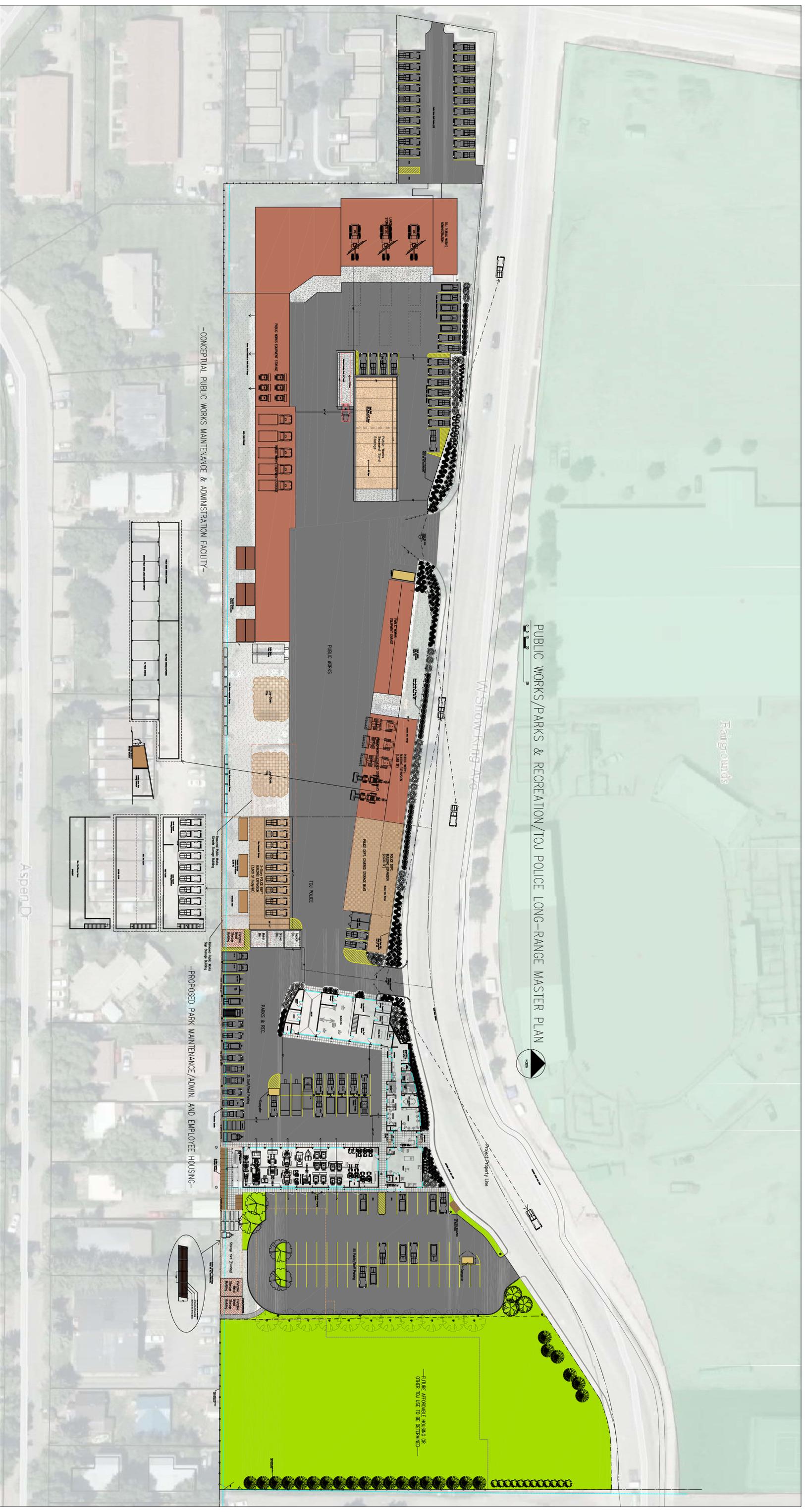
W. SHOW-KING AVE

Project Property Line

-CONCEPTUAL PUBLIC WORKS MAINTENANCE & ADMINISTRATION FACILITY-

-PROPOSED PARK MAINTENANCE/ADMIN. AND EMPLOYEE HOUSING-

Aspen Dr



Fairgrounds

PUBLIC WORKS/PARKS & RECREATION/TOJ POLICE LONG-RANGE MASTER PLAN

W SNOW KING AVE

Project Property Line

PUBLIC WORKS

TOJ POLICE

PARKS & REC

-CONCEPTUAL PUBLIC WORKS MAINTENANCE & ADMINISTRATION FACILITY-

-PROPOSED PARK MAINTENANCE/ADMIN. AND EMPLOYEE HOUSING-

Aspen Dr

OTHER APPLICABLE ZONING OR OTHER TO USE TO BE REVIEWED



Town of Jackson, Wyoming  
Design Review Committee Presentation

November 9th, 2016

Teton County Parks & Recreation

ADMINISTRATION &  
STORAGE &  
MAINTENANCE  
BUILDINGS



 DUBBE MOULDER  
ARCHITECTS

Client Teton County / Town of Jackson  
Parks & Recreation Department (TCJPR)

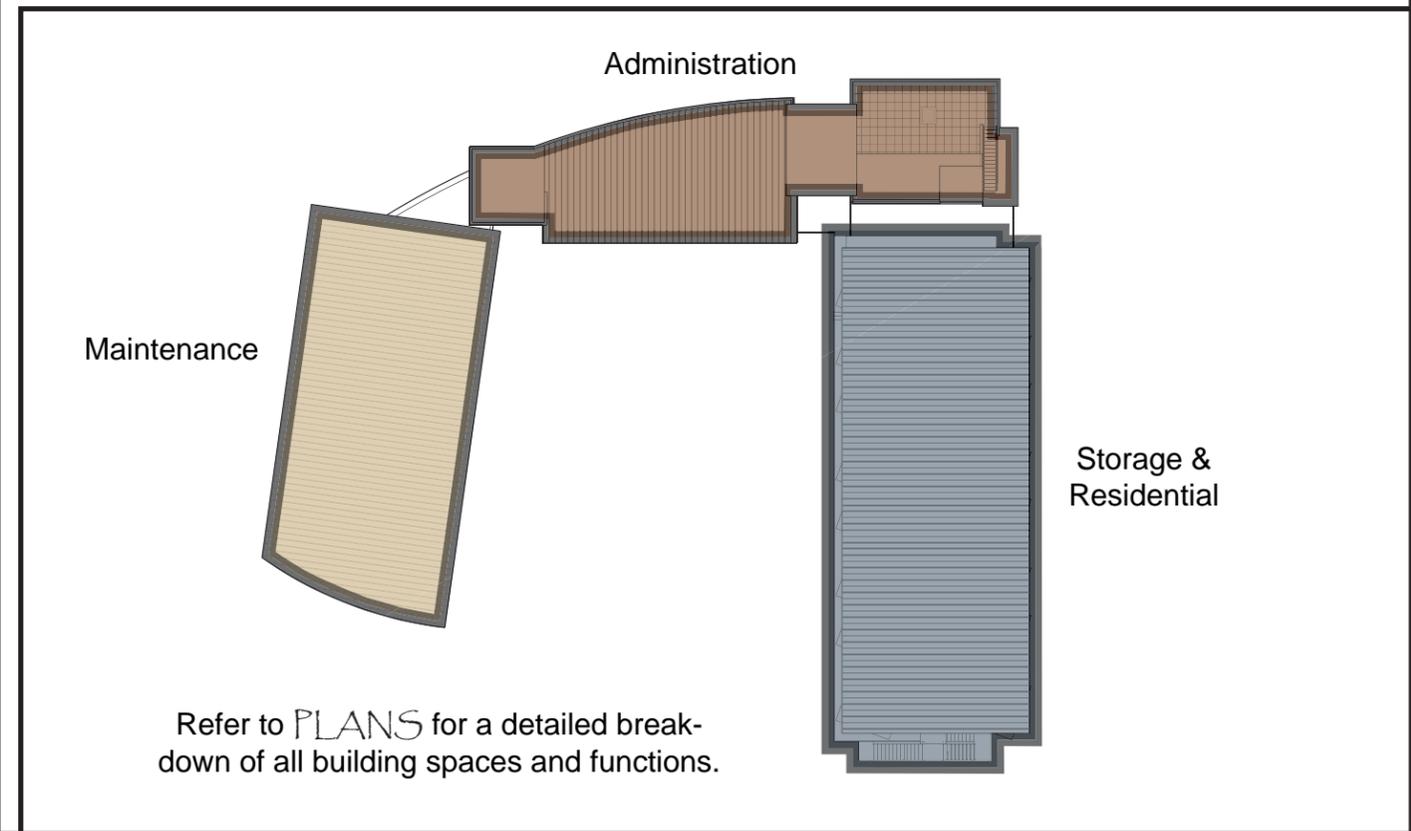
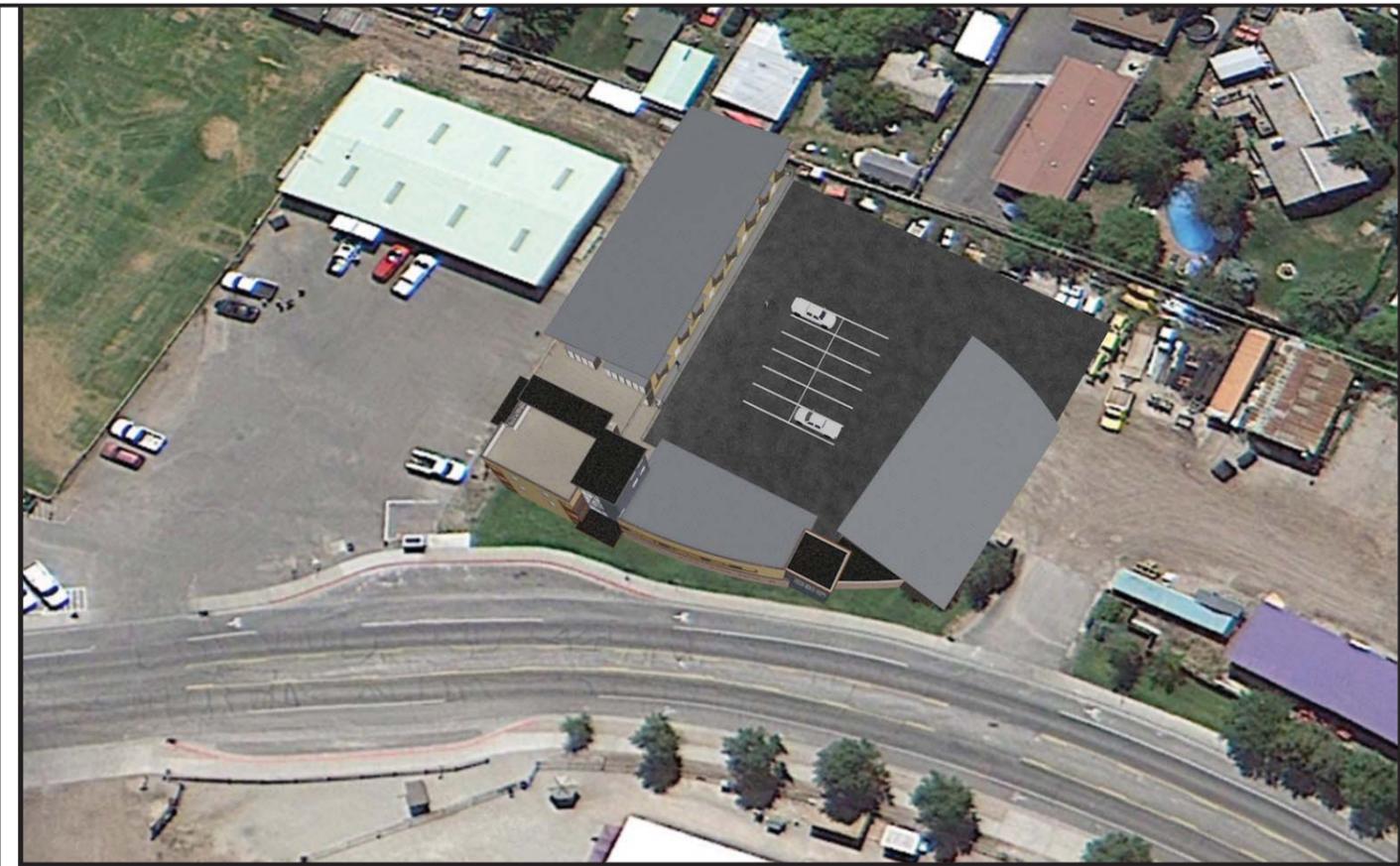
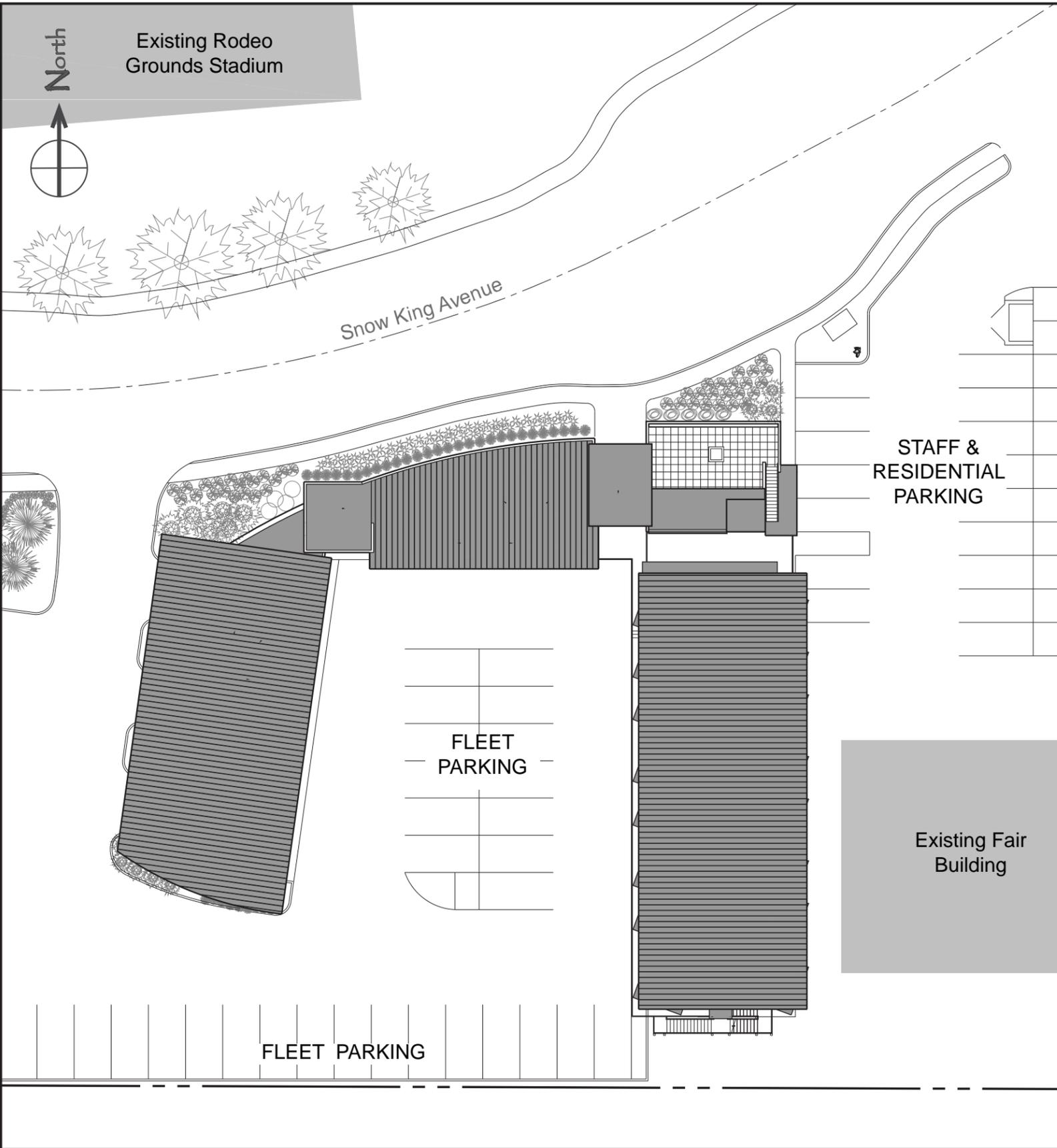
Architect Dubbe-Moulder Architects

Civil Engineer	Y2 Consultants
Landscape Architect	Steve Ashworth, Director of TCJPR
Structural Engineer	G&S Structural Engineers
Mechanical Engineer	T.B.D.
Electrical Engineer	T.B.D.
Surveyor	Nelson Engineering
General Contractor	T.B.D.

PROJECT TEAM

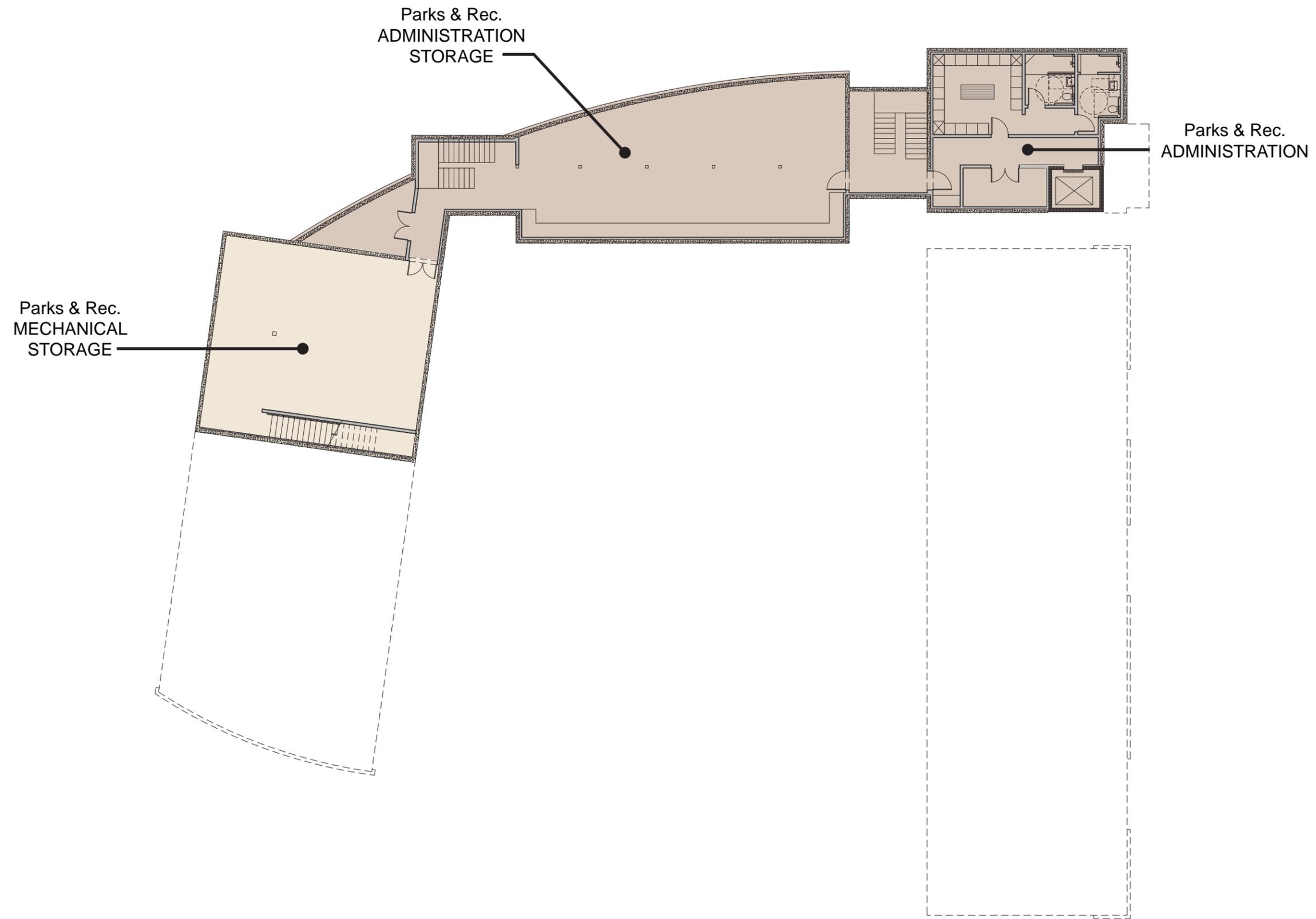


# 1.1 PROJECT SITE



## 1.2 PROJECT SITE

DRC Presentation - November 9, 2016



## 2.1 BASEMENT FLOOR PLAN

DRC Presentation - November 9, 2016

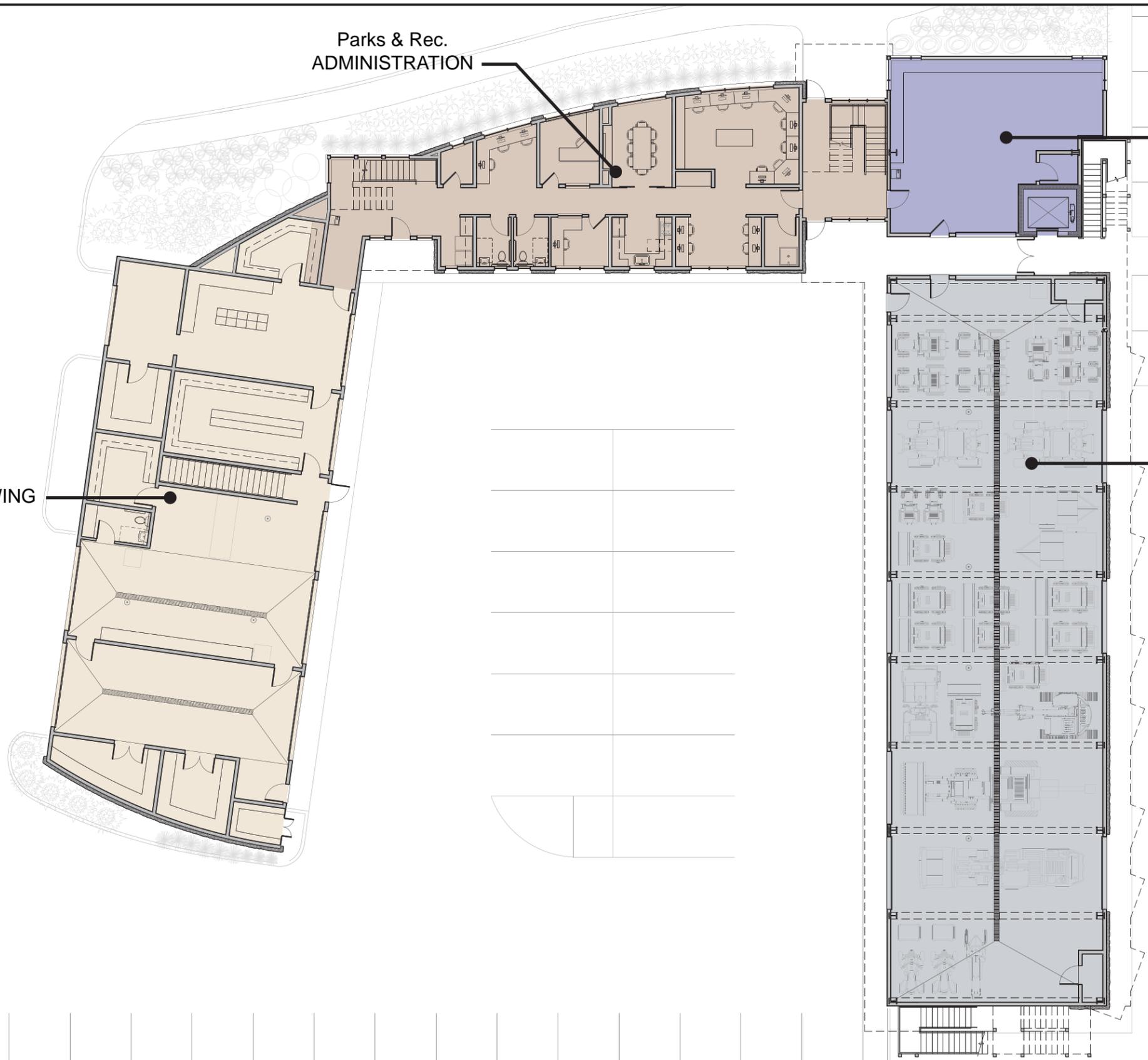


Parks & Rec.  
ADMINISTRATION

Parks & Rec.  
WOOD SHOP

Parks & Rec.  
MAINTENANCE WING

Parks & Rec.  
EQUIPMENT  
STORAGE WING



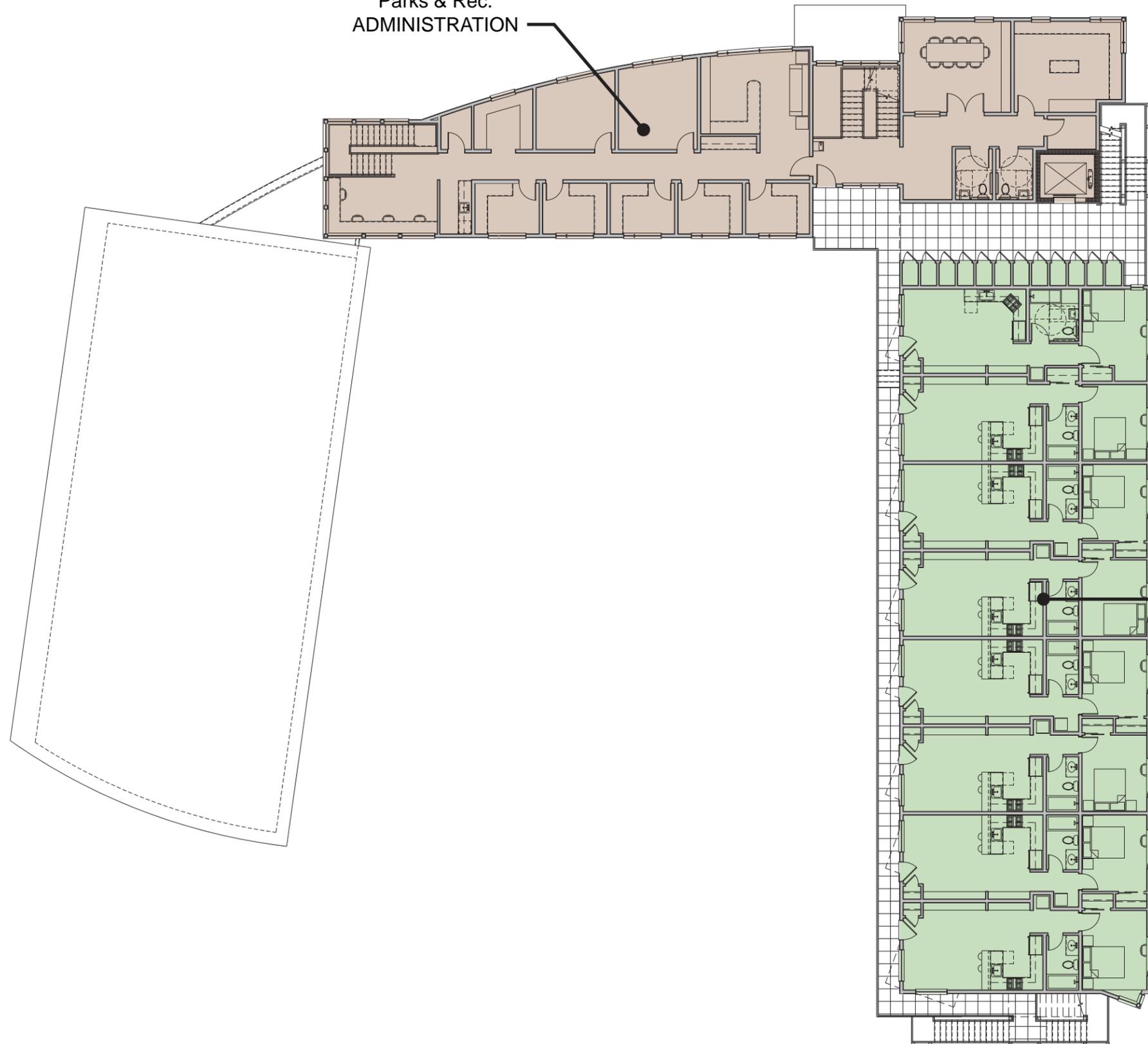
## 2.2 FIRST FLOOR PLAN

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Parks & Rec.  
ADMINISTRATION



Teton County / Town of Jackson  
EMPLOYEE HOUSING

## 2.3 SECOND FLOOR PLAN

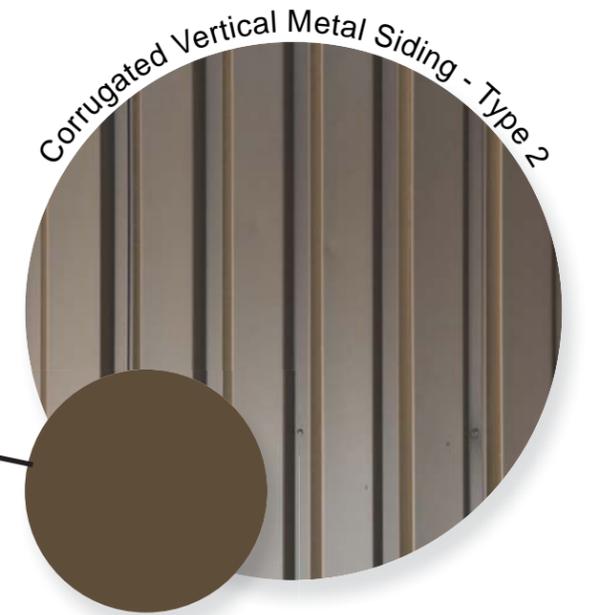
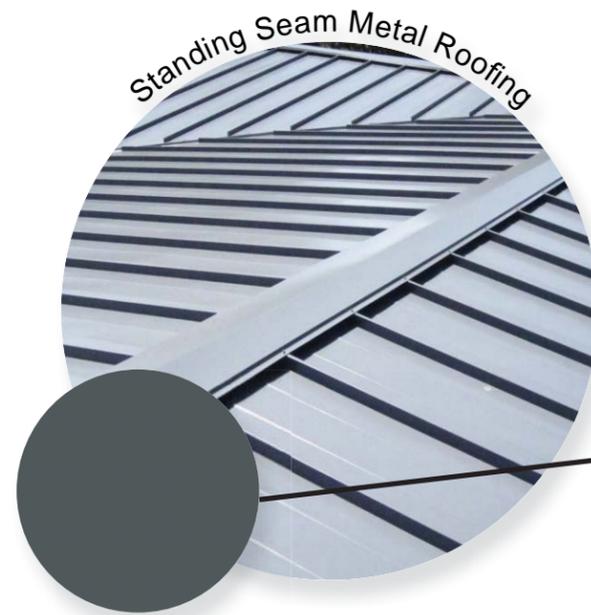
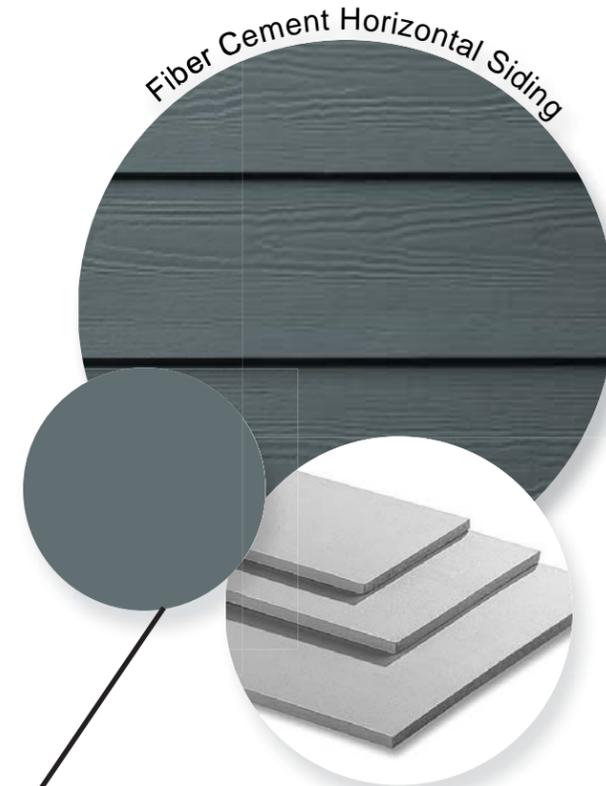
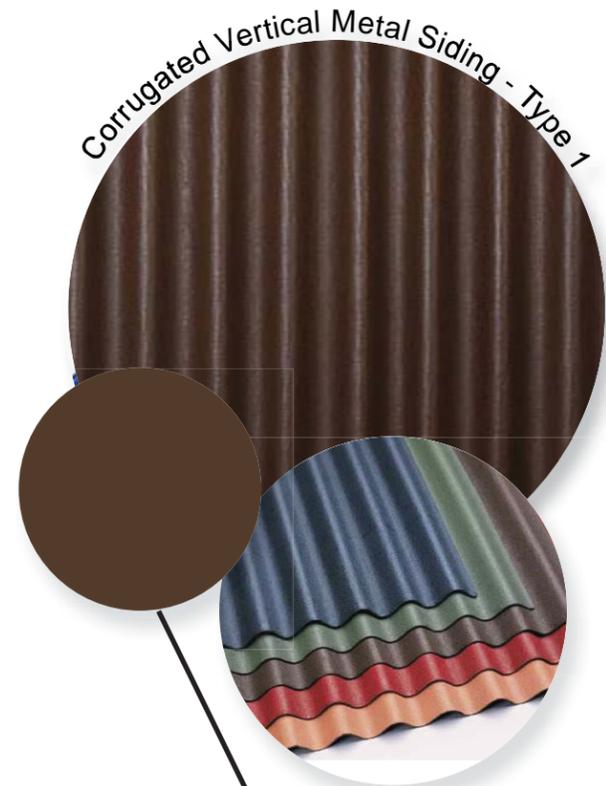
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## 2.4 THIRD FLOOR PLAN

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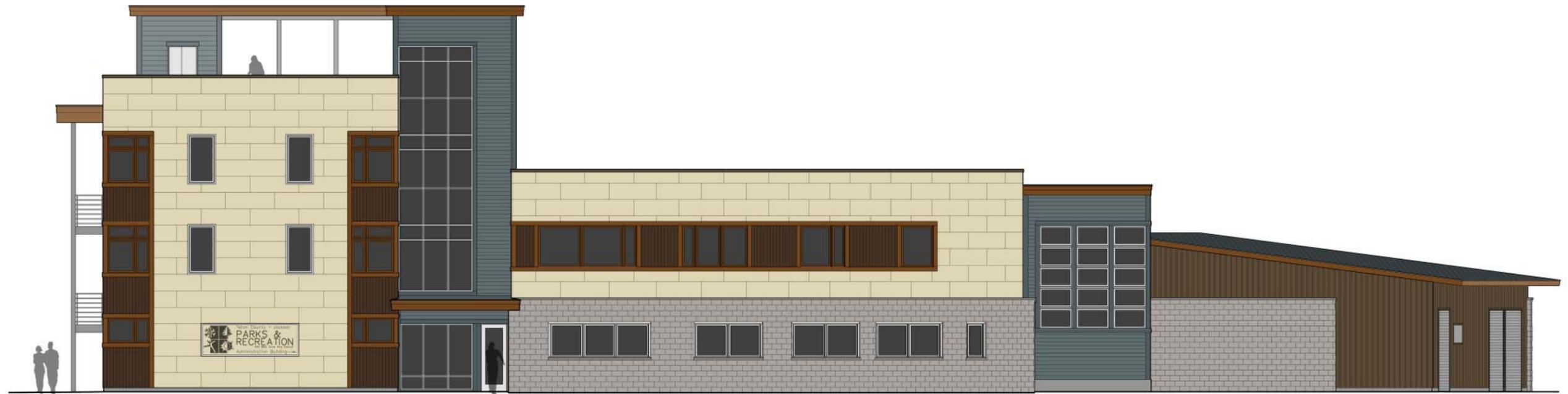




### 3.1 EXTERIOR MATERIALS

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North Elevation

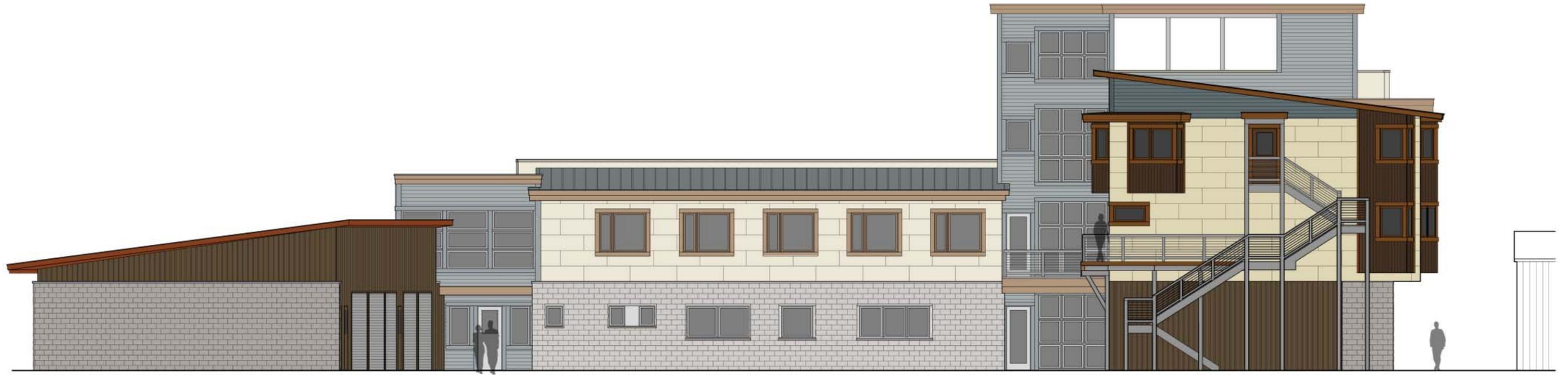


East Elevation

## 3.2 EXTERIOR ELEVATIONS

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ARCHITECTS



South Elevation

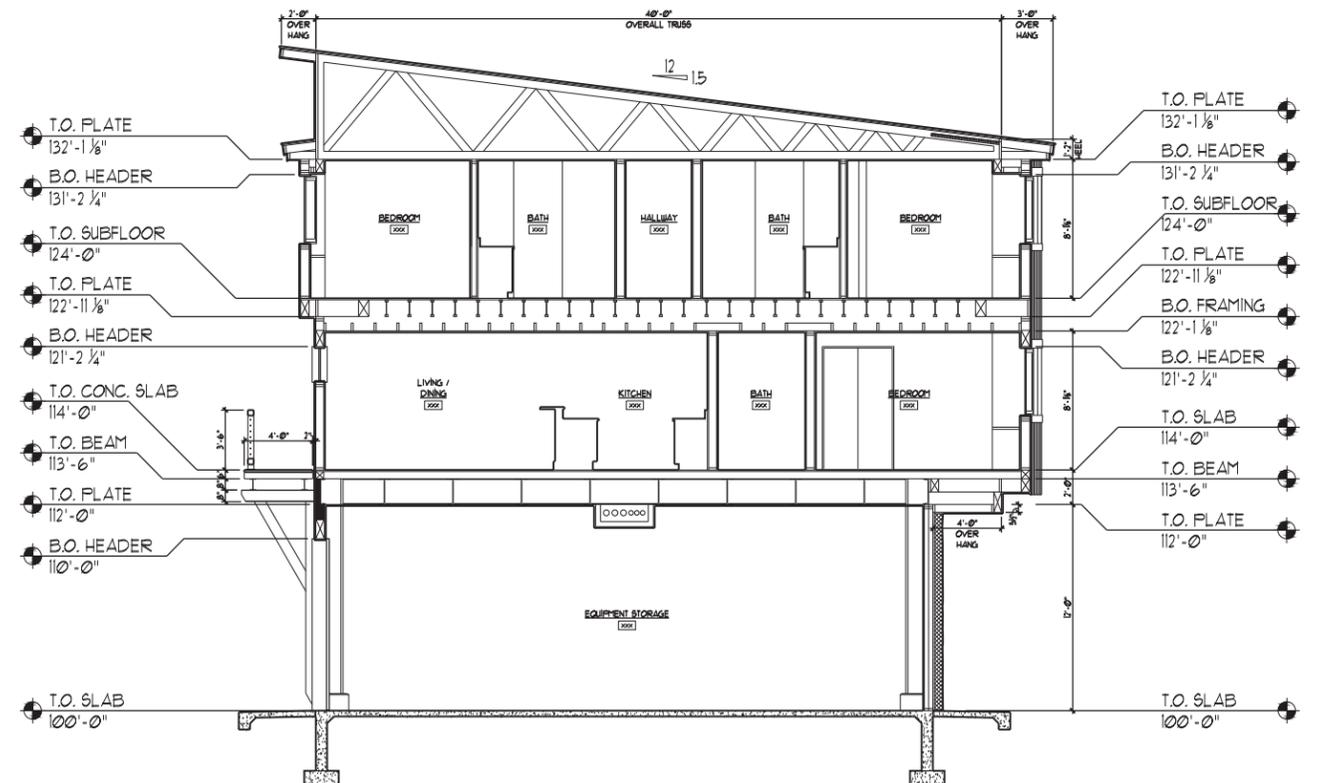
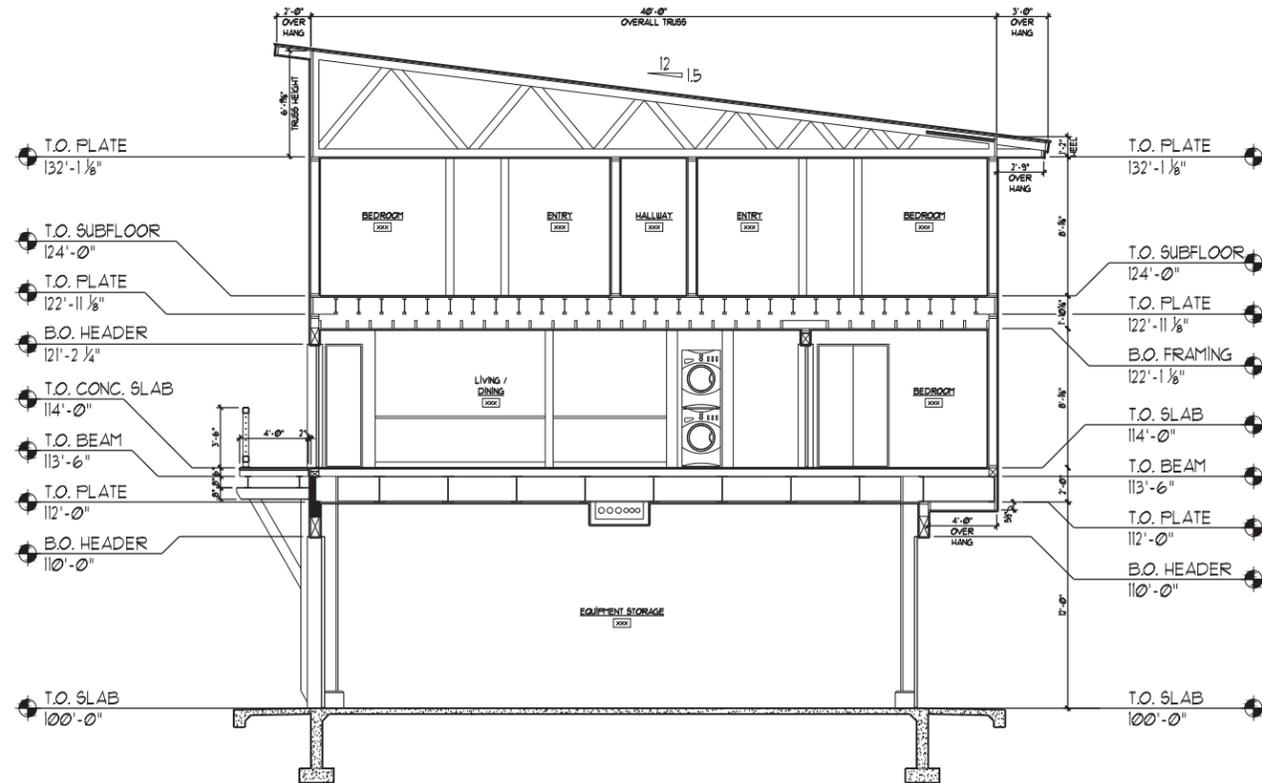
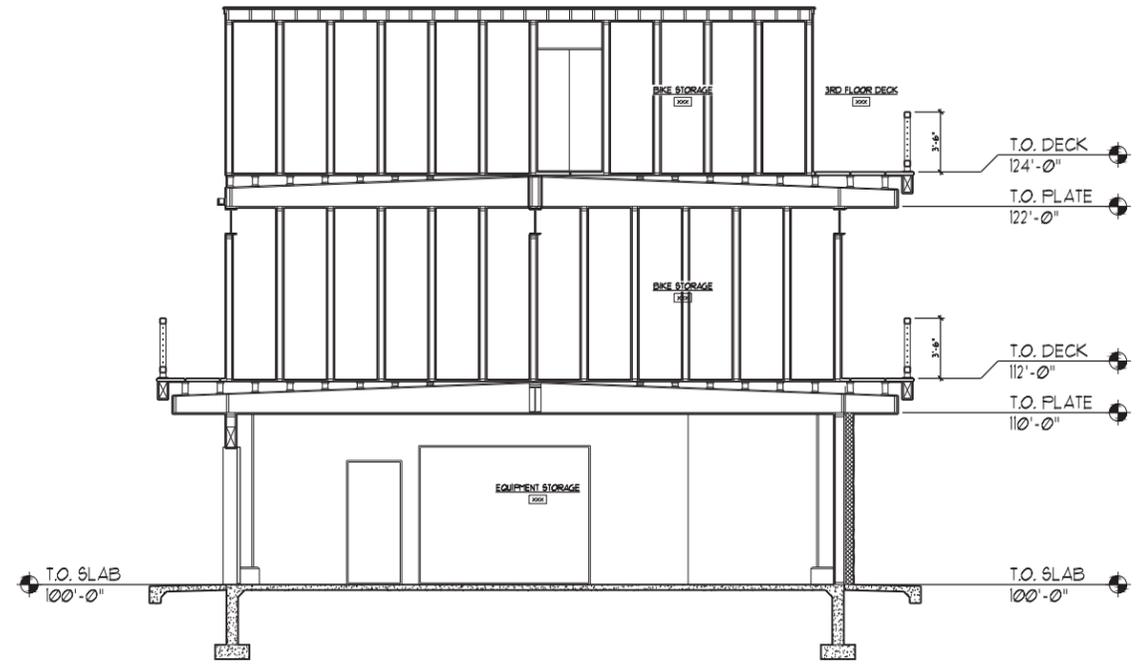
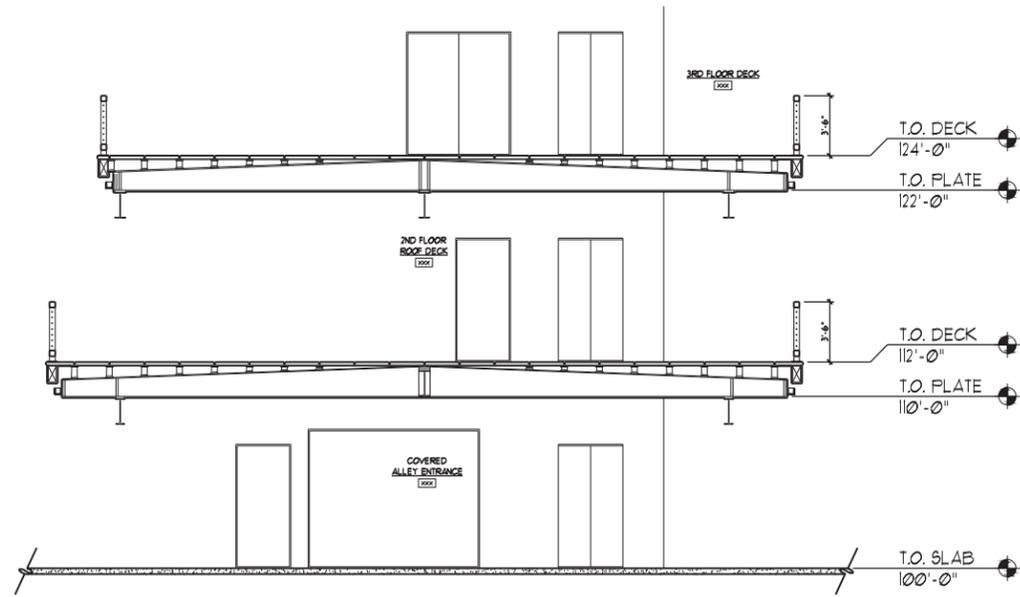


West Elevation

### 3.3 EXTERIOR ELEVATIONS

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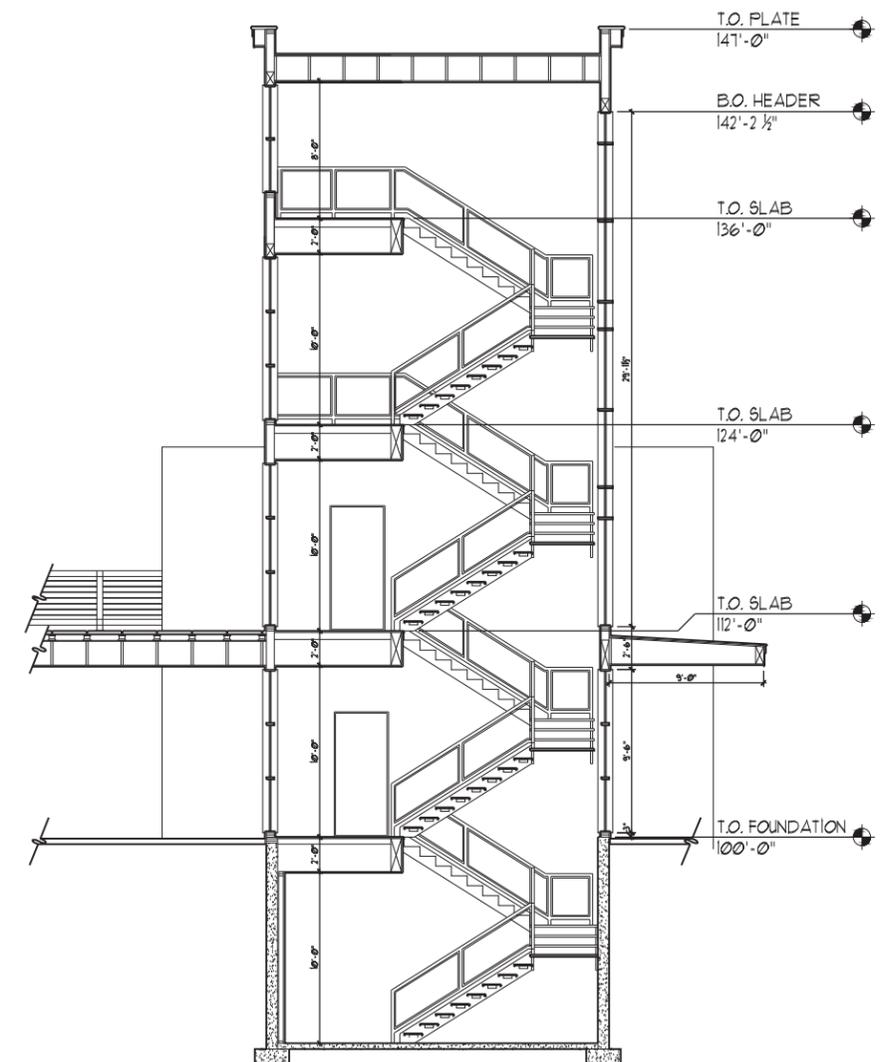
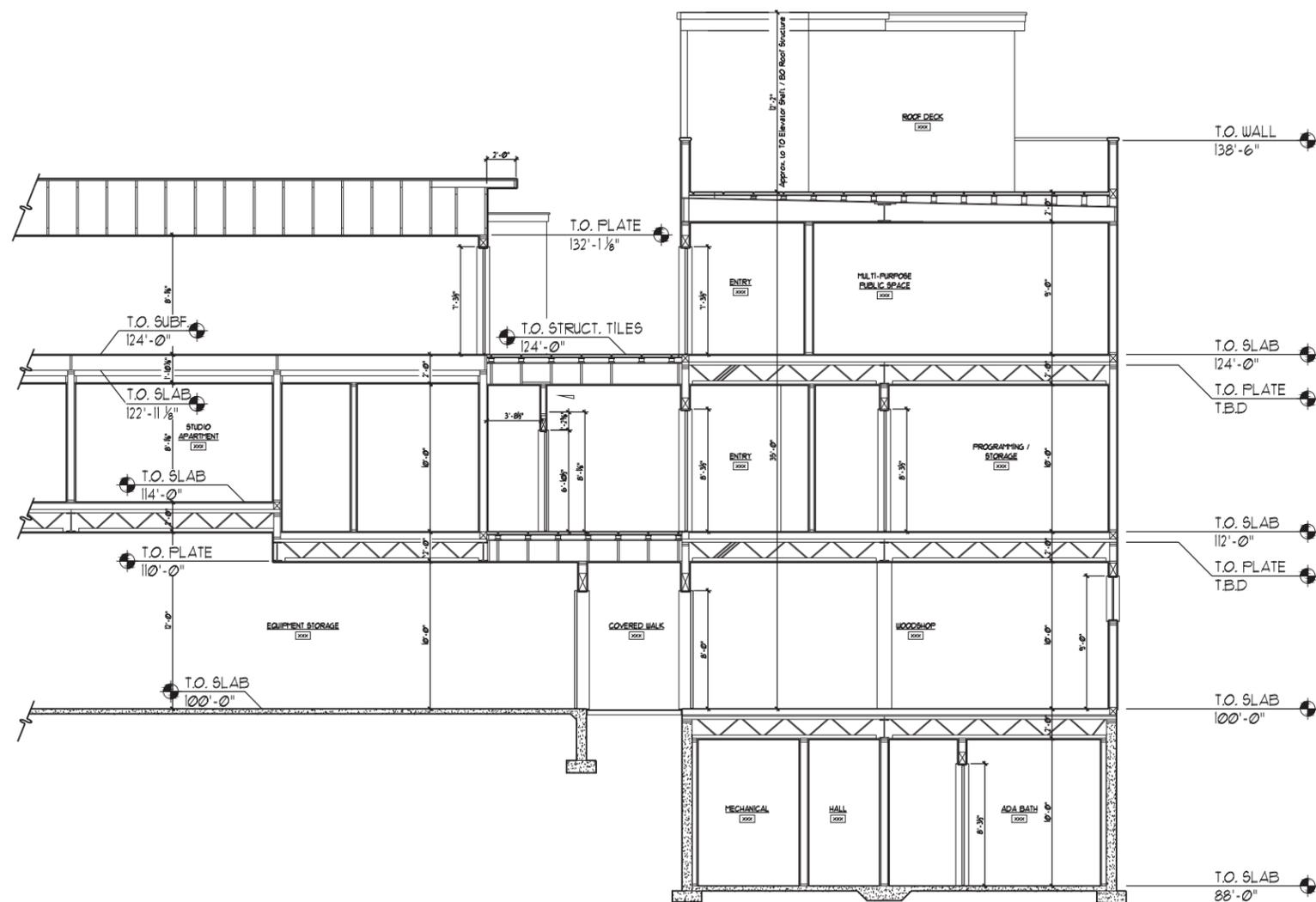




# 4.1 BUILDING SECTIONS

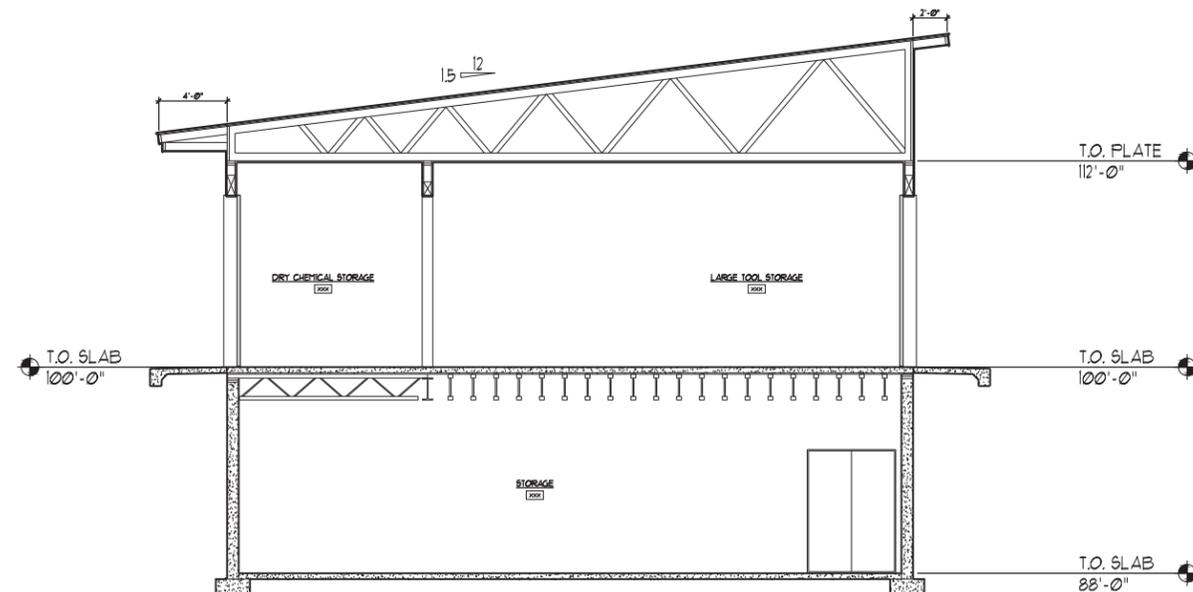
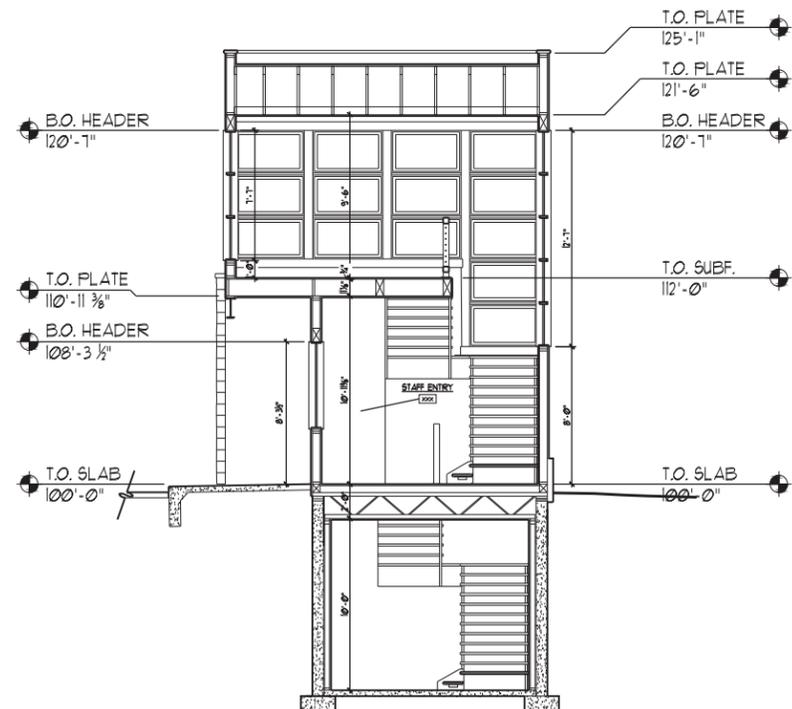
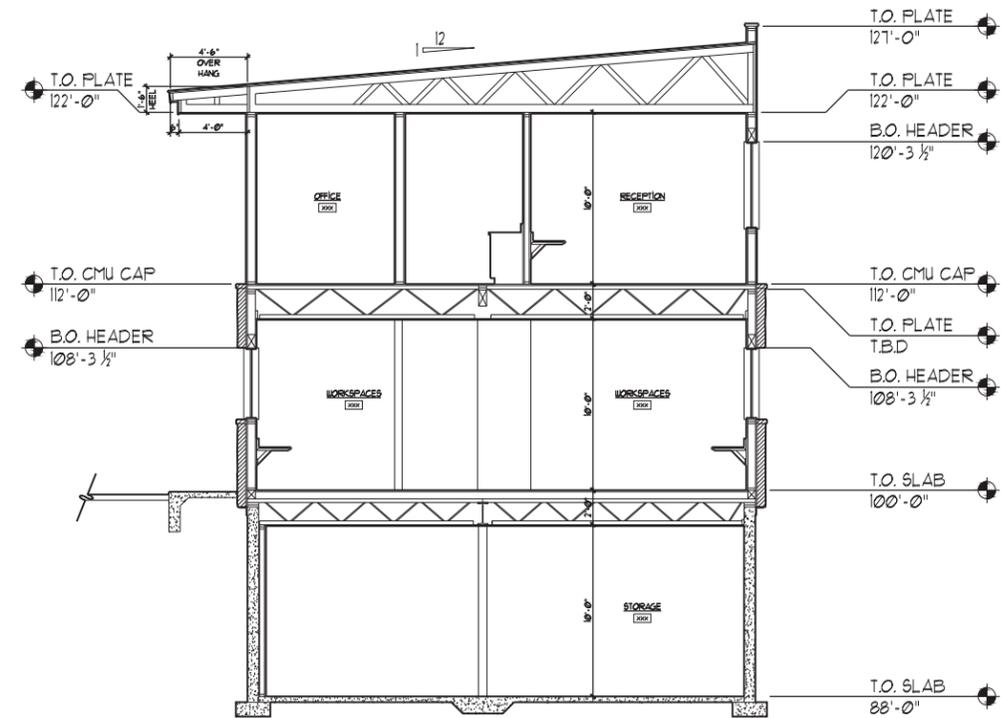
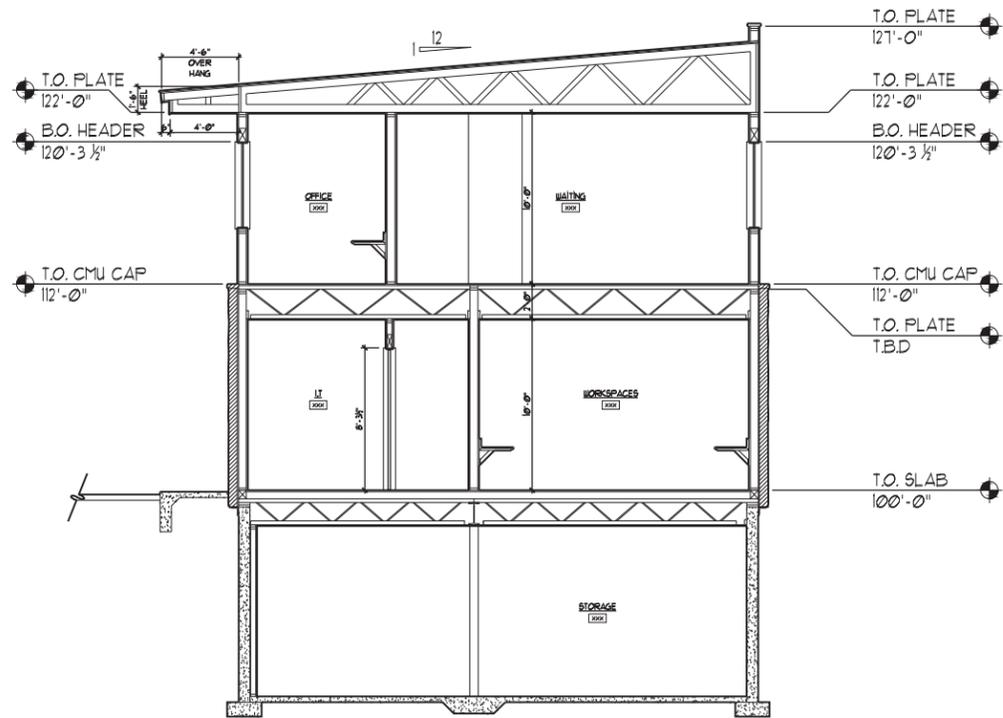
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## 4.2 BUILDING SECTIONS

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## 4.3 BUILDING SECTIONS

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## 5.1 RENDERINGS

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## 5.2 RENDERINGS

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## 5.3 RENDERINGS

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