

Final Development Plan

For

Westview Town Homes

Applicants:

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Charlie Schwartz & Eric Grove

Prepared by:



JORGENSEN

It's About People. Trust and Know How

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Town of Jackson

Initial Submittal Date: TBD, 2016

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Project No. 09040.00

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SECTION 1 - COVER LETTERS, APPLICATION & CHECKLISTS

SECTION 2- TITLE REPORT

SECTION 3 - PROJECT BACKGROUND, OVERVIEW, FINDINGS AND RESPONSE TO SUBMITTAL CHECKLIST

A. PROJECT BACKGROUND

Westview townhomes is a 20-unit workforce housing project located in the Town of Jackson, Wyoming. The project is being proposed by FSD Investments (Applicant), owned by Eric Grove and Charlie Schwartz. Eric and Charlie have been long time residents of Teton County although Eric has recently returned to his home state of Minnesota. The Applicant has a track record of working in this community in jobs ranging from fishing guide, builder, to auto-broker and truly understands the needs of Jackson and Teton County's working people. They have owned 1255 West WY 22 since 2008, and have leased the property to a rental car company and most recently a local transit provider (Alltrans). With the uptick in market conditions and the unprecedented housing crisis, the Applicant has chosen to convert the use of the property from commercial to residential and develop a workforce housing development. The project consists of a unique concept whereby 16 of the units will be deed restricted rentals and the remaining four units will be sold at market rate to assist in funding the development. The deed restricted rentals will be retained by the Applicant and leased to Teton County employers for rental to their employees at rates no higher than the employer is renting from the Applicant. The Sketch Plan approval was obtained by Town Council on May 16, 2016. A Conditional Use Permit (CUP) was also applied for and was continued by the Town council at that same meeting pending the preparation and approval of a detailed geotechnical investigation.

Converting this parcel, which is ripe for redevelopment, from commercial to residential is an excellent opportunity to address the community's housing crisis head on. The project and ownership teams have put forth the effort to answer as many questions as possible in this application, and look forward to moving this project through process as quickly as possible in order to bring much needed housing units to this community.

B. OWNER & PROJECT TEAM INFORMATION

PROPERTY OWNERS & APPLICANTS:

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Charlie Schwartz & Eric Grove
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Jackson, WY 83001
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C. DEVELOPMENT PROPOSAL

Using the Urban Residential Planned Unit Development (UR-PUD) tool in the Town of Jackson Land Development Regulations (LDRs), the applicant proposes to build 20 dwelling units or (units) on this 1.1 acre parcel of land. This project will provide a much needed solution to the current workforce housing shortage in the Town of Jackson. Four of these units will be free market single-family townhomes and will be sold to fund the vision for this project. These units are located in 2 building pods on the upper bench. One unit will be retained by the Applicant as “manager unit and fifteen units will be deed restricted as “free market” rental units with a Teton County Employer restriction.

Any Teton County Employer(Employer) wishing to rent these units to their employees will be bound to this Employment Based deed restriction, ensuring all 15 units will be rented to the local workforce in perpetuity. These units will be rented at a rate lower than or not to exceed the free market rate set by the Teton County Housing Department Annually. The rate may be lower should the Employer choose to further subsidize the unit for their employees for affordability.

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However, the Employer would rent these units via a Master Lease that will be at the free market rate, not lower or higher. The applicant would remain the owner of all 16 units placed on the lower pad in four building pods this concept is the first of its kind, and will provide a much needed supply of rental workforce housing.

Located approximately 850 feet from the Y-Intersection, this particular location provides close, convenient access to grocery shopping, banking, restaurants, and other local convenience for basic goods and services. The development proposal for this property is consistent with the Teton County Comprehensive Plan's (Comp Plan) vision for subarea 4.2 – Northern Hillside including gateway considerations.

The lower bench of the property is currently accessed by two accesses from WY 22, and the upper bench is accessed via Batch Plant Road (Teton County Road No. 22-14). The lower units will be placed into the existing slope such that the back wall will be approximately 10-feet into the slope and will act as a retaining wall. The upper units will be placed just at the edge of the top of the slope. The units will be placed as near to existing ground elevation as practical. A goal of the project is to minimize site grading, and all work will be performed under the recommendations of the geotechnical investigation attached in Section 6

The Applicant is in discussions with Teton County employers who are intrigued and interested in the concept of entering into a leasing arrangement to secure housing for their employees. The current housing situation has employers seeking options to provide housing, and Westview Townhomes is certainly going to provide a viable option.

D. FINDINGS FOR APPROVAL

I. 8.3.2.C. Development Plan - Findings for Approval

1. *Is consistent with the desired future character described for the site in the Jackson/Teton County Comprehensive Plan.* Complies.

The proposed Westview Townhomes are in Character District 4 – Midtown, Subarea 4.2 – Northern Hillside of the Comprehensive Plan. It meets the Complete Neighborhood definition of defined character and high quality design for the future of providing two to three stories with single family townhomes. The location offers access to multi-modal choices including START and pathways and close access to grocery shopping, restaurants and bars, banking, and the post office. The proposal will enhance the aesthetic quality of this parcel located at the western gateway to Jackson.

2. *Achieves the standards and objective of the Natural Resource Overlay (NRO) and Scenic Resources Overlay (SRO), if applicable.* Not Applicable

The Hidden Hollow property is not located within the Natural Resource overlay or the Scenic Resource Overlay, and this finding is therefore not applicable.

3. Does not have significant impact on public facilities and services, including transportation, potable water and wastewater facilities, parks, schools, police, fire, and EMS facilities;

It is not anticipated that the Westview Townhomes will have adverse impacts on public facilities. The site is served by Town sewer. The applicant is coordinating with the Town Engineer to ensure adequate downstream capacity and identify the necessary water service improvements to ensure available capacity to serve the development. Storm water will be managed in accordance with Town requirements. The location of the development will minimize traffic impacts as the site is served by pathways and is a walkable distance from START service and several basic services such as grocery store, restaurant and bar, banks, etc. One of the existing accesses is being eliminated to reduce impacts on WY 22 from the project site. Structures will meet all required codes and will not have adverse impacts on police, fire, and EMT facilities.

4. Complies with the Town of Jackson Design Guidelines, if applicable. Not Applicable

The project is a residential development and thus, the Design Guidelines do not apply.

5. Complies with all relevant standards of these LDRs and other Town Ordinances as can be determined by the level of detail of a sketch plan. Complies

At the current level of detail developed for this PUD the applicant has addressed all relevant standards of the LDRs and other known Town Ordinances. If through the Sketch Plan or the forthcoming Final Development Plan process, there are other standards or ordinances that have not been identified and complied with; the applicant is prepared to make the necessary adjustments to the PUD in order to comply appropriately.

6. Is in substantial conformance with all standards or conditions of any prior applicable permits or approvals. Complies

This FDP application is consistent with the approved Sketch Plan, and addresses the five conditions of approval included in the Sketch Plan.

E. PROPOSED DEVELOPMENT PROGRAM

I. Development Summary/Dimensional Limitations

Westview Townhome Dimensional Limitations			
	PUD: Allowed/Required	Proposal	Complies?
FAR	0.65 or 28,207 SF	0.48 or 20,934 SF	Yes
LSR	0.3 or 13,019 SF	0.55 or 23,879 SF	Yes
Plant Units	1 per unit & 1 per 12 parking spaces (201)	28 ¹	Yes
Maximum Lot Coverage	0.5 or 21,698 SF	0.24 or 10,496 SF	Yes
Minimum Lot Size	15,000 SF	47,916 SF (gross) 43,396 SF (adjusted)	Yes
Height	35'	Max at 35'	Yes
Density	no limit	20 units	Yes
Parking	Flexible	55 spots	Yes
Front Yard Setback	Flexible	20'	Yes
Rear Yard Setback	Flexible	24' min.'	Yes
Lower Side Yard Setback (both sides)	Flexible	5'-15'	Yes
Upper Side Yard Setback (north)	Flexible	16'	Yes
Upper Side Yard Setback (south)	Flexible	5' min.	Yes

1. Will be addressed using a "value based approach"

II. Maximum Scale of Development

1. The largest floor area of the units is 2,592 square feet.

III. Structure Location and Mass

1. All structure locations can be found on the Civil Utility Plan (C2.1) found in Section 6.
2. The massing of the structures is shown in the schematic floor plans and elevations found in Section 5.

IV. Building Design

Schematic designs with floor plans and elevations can be found in Section 5

V. Other Information: Not applicable.

VI. Site Development/ Lot Coverage

1. Shown on the Proposed Grading and Stormwater Plan (C3.1) in Section 6

F. PHASING PLAN

The proposed Westview Townhome project will be completed in one phase.

G. ENVIRONMENTAL STANDARDS

An Environmental Analysis was prepared by Biota Research and Consulting and included in the Conditional Use Permit Application. The analysis concludes that the Natural Hazard Protection Standards of the Jackson Land Development Regulations classify the Westview Town Homes project area as a qualifying “Steep Slope” and proposed development requires an assessment of wildlife use and potential adverse impacts to wildlife. The project area falls within mapped crucial winter range for mule deer. Elk and moose crucial winter ranges are absent. The project area occurs in the vicinity of an active bald eagle nest but outside of the 660-foot nest setback. The site has been almost entirely disturbed as a result of historic and existing commercial use and development; only about 5% of the land area supports native, xeric shrub vegetation.

The proposed development is confined almost exclusively to previously disturbed areas bordering Wyoming Highway 22, but falls within Wyoming Game and Fish Department mapped mule deer crucial winter range. The determination of potential impacts to mule deer involved both mapping and evaluating foraging opportunities, as well as reviewing several observational datasets that span the years from 1979 through 2011 (including 14 winter seasons). Review of each of these studies provided empirical support for a conclusion that no negative impacts to mule deer, their crucial habitat, or crucial movement corridors are expected to result from the proposed action. In addition, no negative impacts are expected to affect other protected natural resources including wetlands, watercourses or associated setbacks, wildlife species of special concern, or species with Federal protected status.

H. SCENIC STANDARDS

I. Exterior Lighting Standards –

All exterior lighting will be downcast and abide by the standards in Division 5.3 Scenic Standards and will be more specifically analyzed during building permit.

II. Scenic Resource Overlay (SRO) Standards –

This site is not within the mapped areas of the Scenic Resource Overlay and therefore this standard is not applicable.

I. NATURAL HAZARD PROTECTION STANDARDS

Hillside Development – The development has slopes in excess of 15% and therefore requires a Conditional Use Permit (CUP). A CUP has been submitted and was continued at the May 16, 2016 Town Council meeting pending the completion of a geotechnical investigation. A geotechnical investigation has been completed and submitted for review by a third-party independent engineer (Landslide Technology) and approval by the Town Engineer.

J. LANDSCAPING STANDARDS

A landscaping plan prepared by David Weaver and Associates is included in this FDP submittal. The landscape plan shows the required 23 plant units consisting of trees and shrubs, bike racks, benches and a public art sculpture, all equal to a value of \$59,800, or \$2,600 per plant unit, as shown on the plant unit information chart on the drawing.

A wall is shown to help screen the buildings from the highway. Plantings are shown on both sides of the wall and around the dwelling units. The site will be seeded with native grasses and wildflowers. Plantings will be watered with an automatic irrigation system.

K. SIGNS

Signage for the townhome development will be in conformance with the Land Development Regulations.

L. GRADING, EROSION CONTROL, STORM WATER

See subsequent Engineer's report in **Section 4** of this application for discussion on these items.

M. ALLOWED USES & REQUIREMENTS

The proposed uses within the Westview Townhome development include single townhome uses. These are all either by right or basic uses allowed within the UR zone district.

N. PARKING AND LOADING STANDARDS

See subsequent Engineer's report in **Section 4** of this application for discussion on these items.

O. SUBDIVISION STANDARDS

1. Standards applicable to all Subdivisions –

Westview Townhomes will adhere to all standards provided in Section 7.2.2 of the LDRs which include Developer responsibilities, required permits, installation, working with a professional engineer, oversizing and off-site improvements, and acceptance by Town.

2. Land Division Standards –

Will comply with Section 7.2.4 below

3. Condominium and Townhouse Subdivision –

Westview Townhomes will adhere to all standards provided in Section 7.2.4 of the LDRs which include recordation of a Final Plat, adhering to Building and Fire Code, Tenant Notification, Site Compliance, and Townhouse Subdivision which includes common lots, maximum lot sizes and building official review.

P. AFFORDABLE HOUSING MITIGATION

A draft of the Special Restrictions for Employee Housing Located at Westview Townhomes, Town of Jackson is located in Section 5. The owner continues negotiations with the Housing Authority.

Q. TRANSPORTATION FACILITIES

- I. Access to Roads, Streets and Highways - See plan sheets provided in Section 6.
- II. Streets Alleys, and Easements- See plan sheets provided in Section 6.

R. REQUIRED UTILITIES

- I. Potable Water Supply – See Engineer's Report and plan sheets located in Section 6
- II. Sanitary Sewer Systems - See Engineer's Report and plan sheets located in Section 6
- III. Irrigation Ditch Systems and Design – No irrigation ditches are currently planned as part

of this development.

IV. Fuel Storage Tank – No Fuel storage is currently planned for this project

S. OPERATIONAL STANDARDS

I. Refuse and Recycling

All refuse and recycling will be handled on site .

SECTION 4 – ENGINEER’S REPORT

A. INTRODUCTION

This Final Development Plan Engineer’s Report for the Westview Townhome project is intended to provide the engineering basis for design and to discuss engineering related issues for the development of the 20 town home units. Supporting infrastructure will include connections to the Town of Jackson water and sewer mains as well as cable utility mains that serve this portion of the Town of Jackson. The basic layout and design elements are shown on the plan set attached in Section 8 and the general engineering items are discussed here.

B. SETTING

Historically the site was created by excavating this portion of East Gros Ventre Butte. According to the Teton County GIS, excavation began on the lower pad sometime between 1945 and 1955 and was expanded to generally its current configuration by 1999. The upper pad or deck and Batch Plant Road were excavated sometime between 1955 and 1967 and also expanded to close to its current condition by 1999. The site has been used for a variety of commercial uses including a gas station and convenience store, a small market specializing in meat (Choice Meats), a rental car agency, and most recently a transit operation (Alltrans).

C. GRADING, EROSION CONTROL, DRAINAGE, & STORMWATER

Currently, the lower portion of the site consists mostly of impervious surfaces of pavement and concrete and building rooftops that drain to the stormwater facilities on WY 22. The slope is vegetated with grasses and sagebrush and stormwater generally percolates into the soil. The upper deck is a gravel parking area sloping to the northwest. The stormwater that does runoff from this area flows to the vegetated slope.

According to the Town of Jackson Land Development Regulations Division 5.7 Grading, Erosion Control, and Stormwater Management Section 5.7.4 Stormwater Management Standards, post-development stormwater flows may be released from a proposed development at a rate equal to or lower than the pre-development runoff rate. Any additional stormwater generated from the post development conditions must be stored on site and released at the pre-development rate. The existing and proposed surface runoff conditions are similar and it is not expected that the development will generate an appreciable increase in stormwater runoff.

Pre and post development stormwater runoff calculations for the lower and upper pad surface areas were analyzed for 10, 25, and 100 year storm events. The stormwater design calculations show a 100-year storage volume requirement to be approximately 525 gallons utilizing a 100-year pre-development discharge of 2.46 cfs. The 25-year storage volume of 350 gallons is generated with a 25-year pre-development discharge of 1.55 cfs. The storage volume may be accommodated in various scenarios. It is expected that the use of roof collection piping, drainage swales, and

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detention ponds will provide the required volume and additional treatment and mitigation. An overflow on the detention pond discharge will balance the volume and discharge to the adjacent stormwater facilities.

Preliminary stormwater runoff calculations for pre and post development are included in the Appendix. These calculations and the grading and stormwater management plans will be refined through the Grading and Erosion Control Permit process as the project develops and as alternative volume solutions are explored.

D. SOILS AND SITE CONDITIONS

The project site is situated on the west slope of East Gros Ventre Butte. During the Sketch Plan and Conditional Use Permit submittals, Jorgensen Geotechnical prepared a preliminary slope stability analysis for the proposed Westview Townhomes development. This analysis was reviewed by Landslide Technologies, Inc. on behalf of the Town of Jackson. Landslide Technologies generally concurred with the approach with the understanding that a complete geotechnical analysis would be completed as part of the Final Development Plan as required in the LDR's. The proposed development seeks to limit additional cut on the existing slope to the extent possible. Historically, the cut slope has remained stable and there is relatively low risk of destabilizing the slope with the proposed layout. A detailed geotechnical investigation has been conducted to evaluate the ground conditions relative to the proposed development. In summary, six boreholes were drilled to depths ranging from 31 to 71.5 feet below the existing ground surface in order to analyze the subsurface conditions. Three vibrating wire piezometers were installed to monitor groundwater in the weeks following the investigation. In general, the site stratigraphy is made up of wind-blown loess, gravel and clay colluvium interbedded with older loess, alluvial lean clays, and stony glacial outwash deposits. The report describes the geological site conditions and includes a site location and geologic map, borehole logs, laboratory test results, and generalized geologic cross sections. The report provides engineering analyses (including slope stability, settlement, bearing capacity, lateral pressures, and soil friction) and offers recommendations for construction of foundation elements.

A copy of the geotechnical investigation has been submitted to Landslide Technologies for review as required by condition of the Sketch Plan approval. For additional detail, the geotechnical investigation report prepared by Jorgensen Geotechnical is included in Appendix of this report.

E. ROADS AND ACCESS

The lower pad is presently served by two accesses directly off of WY 22. The proposed site plan eliminates the eastern access and adjusts the western access approximately 40-feet to the east and reduced from 24-feet in width to 20-feet.

The upper bench is accessed by Batch Plant Road (Teton County Road No. 22-14). Batch Plant Road accesses the Teton County Search and Rescue facility and the Westview Townhome parcel. A Roadway Standards Exception Request (RER 09-0007 Batch Plant County Road) was approved on January 4, 2010 as part of the Teton County Search & Rescue Development Application (DEV2009-0009, CUP2009-0002/03, VAR2009-0007/08/09). The RER was requested to address the substandard width of approximately 450-feet of batch plant road. Teton County Land Development Regulations require a minimum road width of 20-feet whereas this portion of Batch Plant Road is approximately 14-feet. The RER was approved and indicated that Batch Plant Road would require additional width and improvements to the intersection with WY 22.

The proposed development and use of this road by residents of Westview Townhomes has been reviewed with Teton County Engineering and improvements to the intersection have been identified that balance improving the width and turning radius with hillside impacts. The road width will remain unchanged and a 20-foot road configuration has been established at the top of Batch Plant Road to allow downhill motorists to wait and allow vehicles to travel up the road. A RER has been submitted to address the substandard width.

F. TRAFFIC

A Traffic Impact Statement was prepared as part of the Sketch Plan. The statement concluded that the traffic generation of the residential townhome development is significantly less than the previous commercial land uses and therefore traffic impacts will be reduced. WYDOT has indicated that they have no objections to the project in their Sketch Plan review comments dated January 29, 2016.

Mr. Ed Ahlum/Teton County School District No. 1 Transportation Director was consulted regarding school bus access to Westview Townhomes. Mr. Ahlum indicated that he had a request for a school bus stop at the antique shop across WY22 from Westview about 2 years ago. He coordinated with the Wyoming Highway Patrol. The Highway Patrol agreed to allow the stop. He said they have had no calls of motorists running the red bus signal – which he indicated is a bit rare. He said that he did not think placing a northbound stop would be an issue based upon this precedent and track record. Ed noted that it is state law that the buses must stay in the travel lane (as opposed to using a pullout) in order to stop traffic). The stop on West Broadway is an exception. A school bus stop will be coordinated with TCSD No. 1 and WYDOT.

A WYDOT Access Permit and Encroachment Permit are being submitted.

G. PARKING

The required number of parking spaces for Westview is 50 spaces as per the base UR Zoning in the LDRs which requires 2.5 spaces per unit. The proposed parking for the Westview in the approved Sketch Plan is 64 spaces. These spaces include:

- 32 spaces parked tandem in the garages on the lower level
- 8 spaces parked in the garages in the upper level
- 12 spaces parked in front of select garages that comply the LDRs

3 spaces located on site, one of which is ADA compatible

After Sketch Plan approval, additional detail mapping was conducted with the spring snowmelt and the ground was visible over the entire site. With this detail mapping, the lower pad units were pushed further out of the hillside to achieve the desired maximum of 10-foot of grading at the back of the units, and the upper units were pulled back from the edge of the upper bench slope to avoid grading onto the slope. This scenario minimizes the amount of grading on the slope, but resulted in reducing the amount of tandem parking in front of the garages and some site parking. The total number of spaces resulting from these modifications is 55, which still exceeds the amount of required parking. The spaces include:

- 32 spaces parked tandem in the garages on the lower level
- 8 spaces parked in the garages on the upper level
- 12 spaces parked in front of the garages

3 spaces located on site

These modifications strike a good balance between minimizing the hillside grading while still providing parking in excess of that required.

H. PATHWAYS

A new cycle track was constructed along the WY 22 corridor from the Y-intersection to the Spring Gulch intersection. This facility provides service to westbound cyclists. During Sketch Plan approval, Jackson Hole Community Pathways and Planning Staff included a condition that states “The applicant shall provide a 6-foot wide detached sidewalk, separated by 4-feet from the existing cycleway, on the frontage of the property”. The purpose of this sidewalk is to provide connectivity for the Westview residents to the West Broadway sidewalks for pedestrian connectivity to local services (banking, groceries, etc.). The connection to West Broadway from 1255 West WY 22 to West Broadway will be facilitated by Jackson Hole Community Pathways.

The FDP has included the requested 6-foot sidewalk. As 1255 West WY 22 will be the terminus of

the sidewalk, it has been designed in a manner that accesses a public space that will include benches and public art opportunities. This public space is then connected to the Westview Townhomes.

I. WATER SUPPLY AND DISTRIBUTION SYSTEM

The proposed water distribution system for the development consists of water mains and fire hydrants with individual service connections to the buildings. The maximum domestic water demand for the development is estimated based on the current building program and expected irrigation to be approximately 19,600 gallons per day. This equates to a peak hour flow of approximately 82 gallons per minute (Peak Factor 6). This is based upon Wyoming DEQ standards by bedroom count and an average of 0.25" per square foot per day for irrigation. The expected water demand for the buildings was also calculated based on fixture counts using the AWWA M22 method and estimated at 68 gpm. The lower value of the M22 is likely due to the peak factor 6 being above average and the irrigation demand not included in the M22 calculation. Water demand calculations are included in the Appendix.

The required fire flow demand is calculated to be 1500 gpm for 2 hours from Appendix B, Table 105.1 of the 2006 International Fire Code based on the proposed building area and Type V-B construction. Although the code allows the required fire flow value to be reduced with an approved automatic sprinkler system installed, the 1500 gpm value is considered to be a minimum flow. Based on preliminary discussions with the Fire Marshall, 1000 gpm at the hydrant may be acceptable in an interim state for this site given all buildings have an automatic sprinkler system which complies with current regulations.

The Town of Jackson water system does not currently extend to the boundary of the proposed development. Presently the terminus of the TOJ system is located approximately 500 feet south of the property. In addition, there is approximately 1000 feet of 6" main that extends from the terminus to the 12" line from the future pump house on Karns hillside. The section of 6" line creates a pressure drop in the main under fire flow demands.

A water model analysis was performed for the above criteria. A 12" water main, 500 feet in length was included in the model from the end of the existing 6" line to the property boundary. In addition, an 8" water main was included within the property to a proposed hydrant on the upper lot near the Search and Rescue Facility as shown on the plans. The expected maximum demand for the proposed development was added to the new line, including an estimate for an automatic sprinkler system for one building. The model was run under this scenario with the maximum daily demand included for all properties connected to the proposed line based on recent data collected by TOJ. The model calculates a residual pressure of 99 psi at the SAR hydrant and 116 psi at the property boundary. Using an additional demand of 1000 gpm at the SAR hydrant, the model calculates a pressure of 44 psi. As previously stated, the velocity in the existing 6" line creates the

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majority of the pressure drop in the line as the velocity approaches 13 fps under the maximum day plus 1000 gpm fire flow. Based on preliminary discussions with TOJ, the 6" line is planned to be replaced with a 12" line in the future which would significantly increase the available water flow to the project. As the project advances, Westview will continue to work with the Town to identify the best alternative for providing water service to this property to ensure adequate fire protection measures and equipment are in place.

The connection to the TOJ system will require an encroachment permit and a coordinated effort with the TOJ Public Works Department to identify the appropriate arrangement. A permit to construct will also be required through the Wyoming DEQ. Ultimately, the new water main within the property will likely be owned and operated by the development and all maintenance will be the responsibility of the development.

J. WASTEWATER COLLECTION AND TREATMENT

The proposed wastewater collection system for the development consists of sanitary sewer mains and sewer manholes throughout the site with service lines connecting the buildings. The maximum sanitary sewer demand is estimated based on the current building program to be approximately 6,600 gallons per day with a peak hour flow of approximately 15 gallons per minute (Peak Factor 3). These values are based upon Wyoming DEQ standards for the bedroom count within the project. The design plan incorporates the Town of Jackson Standards for construction. Wastewater demand calculations are included in the Appendix.

There are currently alternatives to be evaluated for wastewater connection from the proposed development to the Town of Jackson Treatment Plant. A wastewater service connection from the proposed development is potentially available via a connection to the Spring Creek Ranch pressurized sewer main that passes along the property in the WY 22 right-of-way. The main is currently owned and maintained by the Spring Creek Homeowners Association. The Spring Creek HOA has expressed a concern with the amount of development other than Spring Creek Ranch that is served by the line and is hesitant to allow Westview to connect. The properties along WY 22 that lie within the Town of Jackson limits are not served by a Town of Jackson sewer main as is required by state statute. In coordination with the Town and Spring Creek Ranch, two other alternatives exist.

The first involves the Town of Jackson assuming ownership of the Spring Creek Ranch line from the air release manhole adjacent to 1255 West Highway 22 to the Town main in West Broadway, a length of approximately 1,200 feet. Spring Creek Ranch is providing the Town with video of this portion of main to ensure the main is in good condition. This connection would require Westview to provide a holding tank, pump, and check valve for the connection to the pressure main. There would be an operation and maintenance cost associated with this alternative.

A second alternative involves extending approximately 850 feet of gravity sewer main from the

westerly limits of the Town of Jackson sewer line that serves the Cutty's property to the proposed development. This alternative would also provide service to the properties on the south side of West Broadway that are currently applying for annexation into the Town of Jackson. The Town is currently reviewing the condition of this line to confirm the viability of this option. Westview will continue to work with the Town to identify the best alternative for providing wastewater service to this property.

K. CABLE UTILITIES AND GAS

Power and Communications lines will be run to each of the Westview Townhomes. Lower Valley Energy, Century Link, and Charter lines will be run to serve these units. An easement currently exists for overhead lines from the upper bench to lower pad. These overhead lines and the associated easement will be abandoned as part of serving the townhomes.

L. SNOW STORAGE

A snow storage area of 1000 square feet has been designated on the southwest corner of the development.

M. REFUSE, GARBAGE, TRASH, AND RECYCLING

Refuse, garbage, trash, and recycling will be kept in covered containers at all times, and any such container will be kept at the location designated on the site plan appropriately screened from view. All containers will not be accessible to or attract wildlife.

SECTION 5 – ADDITIONAL SUPPORTING INFORMATION

- **BUILDING DESIGNS**
- **STORM WATER CALCULATIONS**
- **WATER AND UTILITY CALCULATIONS**
- **PARK AND SCHOOL EXACTIONS**
- **SPECIAL RESTRICTIONS DRAFT**

SECTION 6 – ADDITIONAL SUPPORTING INFORMATION

- **GEOTECHNICAL REPORT**

SECTION 7 - FDP DRAWING SET 11" X 17' FORMAT

- **LANDSCAPE PLAN**
- **EXISTING CONDITIONS**
 - **UTILITY PLAN**
- **GRADING AND STORMWATER PLAN**
 - **BATCH PLANT ROAD**
 - **ROAD DETAILS**
 - **WATER DETAILS**
 - **SEWER DETAILS**
 - **STORM WATER DETAILS**



JORGENSEN
It's About People, Trust and Know How

PO Box 9550 · 1315 HWY 89 S., Suite 201
Jackson, WY 83002
PH: 307.733.5150
www.jorgeng.com

July 20, 2016

Mr. Paul Anthony, Senior Planner
Town of Jackson

Re: Westview Townhomes Final Development Plan
Project No. 09040.03

Dear Mr. Anthony:

On behalf of FSD Investments, LLC, Jorgensen Associates, P.C. (Jorgensen) is pleased to submit the enclosed Final Development Plan (FDP) application for Westview Townhomes. The development includes 20 townhouse units in 6 building pods on the property located at 1255 West WY 22.

Included with this transmittal you will find the following:

- Planning Permit Application Final Development Plan.
- A check for \$2,500.
- A binder containing all pertinent information and Site Plans.

Thank you for your consideration. Please contact me if you have any comments or questions.

Sincerely,
JORGENSEN ASSOCIATES, P.C.

Reed Armijo, P.E.
Principal



PLANNING PERMIT APPLICATION
Planning & Building Department
Planning Division

150 E Pearl Ave. | ph: (307) 733-0440
 P.O. Box 1687 | fax: (307) 734-3563
 Jackson, WY 83001 | www.townofjackson.com

For Office Use Only

Fees Paid _____
 Check # _____ Credit Card _____ Cash _____
 Application #s _____

PROJECT.

Name/Description: Westview Town Homes
 Physical Address: 1255 W HIGHWAY 22
 Lot, Subdivision: _____ PIDN: 22-41-16-32-1-00-008

OWNER.

Name: F.S.D. INVESTMENTS, LLC Phone: (307)413-4088
 Mailing Address: P.O. BOX 9879, JACKSON, WY ZIP: 83002
 E-mail: ericgrovemn@gmail.com

APPLICANT/AGENT.

Name: Jorgensen Associates P.C. Phone: 307-733-5150
 Mailing Address: P.O. Box 9550, Jackson, Wyoming ZIP: 83002
 E-mail: rarmijo@jorgensenassociates.com

DESIGNATED PRIMARY CONTACT.

_____ Owner Applicant/Agent

TYPE OF APPLICATION. *Please check all that apply; see Fee Schedule for applicable fees.*

Use Permit	Physical Development	Interpretations
_____ Basic Use	_____ Sketch Plan	_____ Formal Interpretation
_____ Conditional Use	<input checked="" type="checkbox"/> Development Plan	_____ Zoning Compliance Verification
_____ Special Use		
Relief from the LDRs	Development Option/Subdivision	Amendments to the LDRs
_____ Administrative Adjustment	_____ Development Option Plan	_____ LDR Text Amendment
_____ Variance	_____ Subdivision Plat	_____ Zoning Map Amendment
_____ Beneficial Use Determination	_____ Boundary Adjustment (replat)	_____ Planned Unit Development
_____ Appeal of an Admin. Decision	_____ Boundary Adjustment (no plat)	

PRE-SUBMITTAL STEPS. Pre-submittal steps, such as a pre-application conference, environmental analysis, or neighborhood meeting, are required before application submittal for some application types. See Section 8.1.5, Summary of Procedures, for requirements applicable to your application package. If a pre-submittal step is required, please provide the information below. If you need assistance locating the project number or other information related to a pre-submittal step, contact the Planning Department. **If this application is amending a previous approval, indicate the original permit number.**

Pre-application Conference #: P15-084 Environmental Analysis #: _____
Original Permit #: _____ Date of Neighborhood Meeting: _____

SUBMITTAL REQUIREMENTS. Twelve (12) hard copies and one (1) digital copy of the application package (this form, plus all applicable attachments) should be submitted to the Planning Department.. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant.

Have you attached the following?

- Application Fee.** Fees are cumulative. Applications for multiple types of permits, or for multiple permits of the same type, require multiple fees. See the currently adopted Fee Schedule in the Administrative Manual for more information.
- Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. If the owner is a partnership or corporation, proof that the owner can sign on behalf of the partnership or corporation is also required. Please see the Letter of Authorization template in the Administrative Manual for a sample.
- Response to Submittal Checklist.** All applications require response to applicable review standards. These standards are outlined on the Submittal Checklists for each application type. If a pre-application conference is held, the Submittal Checklists will be provided at the conference. If no pre-application conference is required, please see the Administrative Manual for the applicable Checklists. The checklist is intended as a reference to assist you in submitting a sufficient application; submitting a copy of the checklist itself is not required.

FORMAT.

The main component of any application is demonstration of compliance with all applicable Land Development Regulations (LDRs) and Resolutions. The submittal checklists are intended to identify applicable LDR standards and to outline the information that must be submitted to sufficiently address compliance with those standards.

For some submittal components, minimum standards and formatting requirements have been established. Those are referenced on the checklists where applicable. For all other submittal components, the applicant may choose to make use of narrative statements, maps, drawings, plans and specifications, tables and/or calculations to best demonstrate compliance with a particular standard.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.


Signature of Owner or Authorized Applicant/Agent
Reed Armijo
Name Printed

July 15, 2016
Date
Chief Executive Officer · Principal Engineer
Title



PRE-APPLICATION CONFERENCE SUMMARY

**Planning & Development Department
Planning Division**

150 E Pearl Ave. | ph: (307) 733-0440
 P.O. Box 687 | fax: (307) 734-3563
 Jackson, WY 83001 | www.townofjackson.com

This Summary will be prepared by Planning Staff. The applicant, or the applicant's agent, shall receive a copy of this summary for their reference in submitting a sufficient application.

Staff may request additional materials during review as needed to determine compliance with the LDRs.

PRE-APPLICATION MEETING BASICS.

PAP#: P15-084
 Date of Conference: 9/30/15
 Planning Staff: Tyler Valentine & Paul Anthony

PROJECT.

Name/Description: Westview Townhomes
 Physical Address: 1255 West Highway 22
 Lot, Subdivision _____ PIDN: 22-41-16-32-1-00-008
 Zoning District(s): AC (Auto-Urban Commercial)
 Overlay(s): N/A

STAKEHOLDERS.

Applicant: FSD Investments, LLC
 Owner: Charlie Schwartz & Eric Grove
 Agent: Charlie Schwartz & Eric Grove

REQUIRED APPLICATIONS. (See B.12, C.1, D.4 of applicable zone in Article 2, 3 or 4) *This project will require the following applications:*

Application	Reason	Fee
Neighborhood meeting	Required for Sketch Plan & PUD	No fee
Sketch Plan	Physical development greater than 10 dwelling units & greater than 15,000 SF	\$2,500
Planned Unit Development (PUD): LDR & Text Amendment	At request of applicant	\$1,500
Conditional Use Permit	Physical development on slopes greater than 10%	\$500
Administrative Adjustment (maybe)	Physical development on slopes greater than 25% and less than 30%	\$500
Development Plan	Required with Sketch Plan approval	\$2,500

MEETING ATTENDEES:

Name	Company	Phone/Email
Charlie Schwartz	FSD Investments, LLC	307-413-4088 & 413-4902
Eric Grove	FSD Investments, LLC	Same as above
Paul Anthony	Town Planning Department	307-733-0440 x 1303
Tyler Valentine	Town Planning Department	307-733-0440 x 1305
Kathy Clay	Town Fire Department	307-733-4732 x8506
Steve Haines	Town Building Department	307-733-0440 x1350
Valerie Adams	Teton County Housing Authority	307-732-0867
Todd Smith	Town Police Department	307-733-1430 x1234

TIMELINES. This table is intended to provide general information regarding the review process and timing of decisions. See Article 8 for a complete explanation of the review process.

For administrative decisions made by the Planning Director, the following timelines are generally applicable:

Application Types:	Sufficiency	Planning Director
Administrative Adjustment	Within 14 days of Submittal	Decision within 30 days of Sufficiency

For decisions requiring a public hearing process, the following timelines are generally applicable:

Application Types:	Sufficiency	Planning Commission (PC)	Town Council
<u>Subdivision Plat</u>	Within 14 days of Submittal	N/A	Hearing within 90 days of Sufficiency
Required: 1. <u>Neighborhood Meeting</u> ✓ 2. <u>Sketch Plan</u> ✓ 2. <u>Conditional Use Permit</u> ✓ 2. <u>Zoning Map Amendment</u> ✓ 2. <u>Planned Unit Development</u> ✓ 2. <u>Administrative Adjustment</u> ✓ 2. <u>LDR Text Amendment</u> ✓ 3. <u>Development Plan</u> ✓	Within 14 days of Submittal	Hearing within 90 days of Sufficiency	Hearing within 60 days of PC Recommendation

GENERAL INFORMATION.

✓ Required, If Checked.

_____ If not checked, review requirement with a Staff member to determine if necessary for your application.

Requirement: **1 digital & 12 hard copies**

Notes

✓ **Planning Permit Application.** The application should list all pertinent permits (use, physical development, interpretation, relief from the LDRs, Development Option/Subdivisions, Amendments to the LDRs) for which you are applying.

Requirement **Notes**

✓ **Notarized Letter of Authorization.** See **Section 8.2.4.A** for requirements. A template is established in the Administrative Manual.

✓ **Application Fees.** Fees are cumulative. Applications for multiple types of permits, or for multiple permits of the same type, require multiple fees. See the currently adopted Fee Schedule in the Administrative Manual for more information.

✓ **Review fees.** The applicant is responsible for paying any review fees and expenses from consulting services necessitated by the review of the application by the Town Surveyor, Town Engineer, Town Associate Engineer, Title Company and any other required consultant. Such fees shall be paid prior to approval of the permit.

✓ **Neighborhood Meeting:** See **Section 8.2.3** for meeting requirements and **Section 8.2.14** for noticing requirements. Applicant is required to provide the list of addresses noticed and a copy of the notice.

✓ **Other information needed.** All applications submitted to the Town of Jackson Planning Department must be submitted in digital format once the application is determined to be sufficient.

✓ **Response to Submittal Checklist.** All applications require response to applicable review standards. For applications where a pre-application conference is required, applicable standards are identified below. If a pre-application conference is optional, see the submittal checklist for the relevant application type, established in the Administrative Manual.

✓ **Title Report.** A title report, title certificate or record document guarantee prepared within the last six months that includes evidence of ownership and all encumbrances on the subject property. Copies of the documents referenced in the report should not be submitted unless requested by the planner during review.

✓ **Narrative description of the proposed development.** Briefly describe the existing condition of the property and the proposed use, physical development, subdivision or development option for which you are seeking approval.

✓ **Proposed Development Program.** Please use the attached template established in the Administrative Manual.

✓ **Site Plan.** Please see the attached list of minimum standards for a site plan, established in the Administrative Manual.

✓ **Floor Plans.** Include floor plans for any existing buildings that will be occupied by a proposed use. If changes to existing buildings are proposed, indicate those on the floor plans.

✓ **Landscape Plan.**

✓ **Posted Notice.** See **Section 8.2.14.C.4** for Posted Notice requirements for all public hearings.

Requirements listed under each Article will be checked if required for the application.

Required, If Checked.

If not checked, this requirement is not applicable to your application.

ARTICLE 1, GENERAL PROVISIONS.

Requirement	Notes
<input type="checkbox"/> Division 1.9, Nonconformities	
<input type="checkbox"/> 1.9.2 Nonconforming Physical Development	
<input type="checkbox"/> 1.9.3 Nonconforming Uses	
<input type="checkbox"/> 1.9.4 Nonconforming Development Options and Subdivisions	
<input type="checkbox"/> 1.9.5 Nonconforming Signs	

ARTICLE 2, COMPLETE NEIGHBORHOODS, ARTICLE 3, RURAL AREA ZONES, and ARTICLE 4, SPECIAL PURPOSE ZONES – (Public/Semi-Public & Park and Open Space zones only).

Applicable Zone: _____ Applicable LDR Section: _____

SUBSECTION B, PHYSICAL DEVELOPMENT. Please provide the following information for the applicable zone.

Requirement	Notes:
<input checked="" type="checkbox"/> Structure Location and Mass (Setbacks, Height, total site FAR)	
<input checked="" type="checkbox"/> Maximum Scale of Development (Individual building size)	
<input checked="" type="checkbox"/> Building Design (Design Review Process)	
<input checked="" type="checkbox"/> Site Development (Driveway and Access limits)	
<input checked="" type="checkbox"/> Fencing (Height, Setback, Orientation)	

Additional Comments:

SUBSECTION C, ALLOWABLE USES. Please provide the following information for the applicable zone.

Requirement	Notes:
<input checked="" type="checkbox"/> Maximum Scale of Use	

Additional Comments:

SUBSECTION D, DEVELOPMENT OPTIONS. *Please provide the following information for the applicable zone.*

Requirement	Notes:
<input checked="" type="checkbox"/> Subdivision and Development Option Permits	

Additional Comments:

SUBSECTION E, ADDITIONAL ZONE-SPECIFIC STANDARDS. *Please provide the following information for the applicable zone.*

Requirement	Notes:

Additional Comments:

ARTICLE 4, SPECIAL PURPOSE ZONES (Planned Resort Zones and Planned Unit Development Zones only)

Requirement	Notes
_____ Division 4.3, Planned Resort Zones	
4.3.1 All Planned Resort Zones	
4.3.2 Snow King	
<input checked="" type="checkbox"/> Division 4.4, Planned Unit Development	
4.4.1 All Planned Unit Development (PUD) Zones	
4.4.2 Planned Unit Development - Town	

ARTICLE 5, PHYSICAL DEVELOPMENT STANDARDS APPLICABLE IN ALL ZONES.

Requirement	Notes
_____ Division 5.1, General Environmental Standards	
5.1.1 Waterbody and Wetland Buffers	
5.1.2 Wildlife Friendly Fencing	
5.1.5 Water Quality (reserved for future standards)	

Division 5.2, Environmental Standards Applicable in Specific Areas

5.2.1 Natural Resources Overlay (NRO) Standards

Division 5.3, Scenic Standards.

5.3.1 Exterior Lighting Standards

5.3.2 Scenic Resources Overlay (SRO) Standards

Division 5.4, Natural Hazard Protection Standards

5.4.1 Steep Slopes

5.4.2 Unstable Soils

5.4.3 Faults

5.4.4 Floodplains

5.4.5 Wildland Urban Interface

Division 5.5, Landscaping Standards

5.5.2 Landscape Plan

5.5.3 Required Plant Units

5.5.4 General Landscaping Standards

5.5.5 Installation and Maintenance

Division 5.6, Sign Standards

Division 5.7, Grading, Erosion Control and Stormwater Management

5.7.2 Grading Standards

5.7.3 Erosion control standards

5.7.4 Stormwater Management Standards

Division 5.8, Design Guidelines

5.8.2. Design Guidelines

5.8.3. Design Review Committee

ARTICLE 6, USE STANDARDS APPLICABLE IN ALL ZONES.

Requirement

Notes

Division 6.1, Allowed Uses

Division 6.2, Parking and Loading Standards

6.2.2 Required Parking and Loading

6.2.3 Location of Required Parking

6.2.4 Maintenance of Off-Street Parking and Loading

6.2.5 Off-Street Parking and Loading Design Standards

6.2.6 Parking and Loading Standards in the Downtown Parking District

Division 6.3, Employee Housing Requirements

- ✓ **Division 6.4, Operational Standards**
 - 6.4.1 Outside Storage
 - 6.4.2 Refuse and Recycling
 - 6.4.3 Noise
 - 6.4.4 Vibration
 - 6.4.5 Electrical Disturbances
 - 6.4.6 Fire and Explosive Hazards

ARTICLE 7, DEVELOPMENT OPTION AND SUBDIVISION STANDARDS APPLICABLE IN ALL ZONES.

Requirement	Notes
<u> </u> Division 7.1, Development Option Standards	
7.1.3 Urban Cluster Development	
7.1.4 Mobile Home Park	
<u>✓</u> Division 7.2, Subdivision Standards	
7.2.2 Standards Applicable to all Subdivision	
7.2.3 Land Division Standards	
7.2.4 Condominium and Townhouse Subdivisions	
<u> </u> Division 7.3, Open Space Standards	
7.3.3 Configuration and Location of Required Open Space	
7.3.4 Use of Open Space	
7.3.5 Physical Development Permitted in Open Space	
7.3.6 Record of Restriction	
7.3.7 Ownership of Open Space	
<u>✓</u> Division 7.4, Affordable Housing Standards	
<u>✓</u> Division 7.5, Development Exaction Standards	
7.5.2. Park Exactions	
7.5.3. School Exactions	
<u>✓</u> Division 7.6, Transportation Facility Standards	
7.6.2 Access to Roads, Streets and Highways	
7.6.3 Streets, Alleys, and Easements	
<u>✓</u> Division 7.7, Required Utilities	
7.7.2 Potable Water Supply	
7.7.3 Sanitary Sewer Systems	
7.7.4 Irrigation Ditch Systems and Design	
7.7.5 Other Utilities	
7.7.6 Fuel Storage Tank	

PLAN REVIEW COMMITTEE. *The Plan Review Committee consists of the following listed agencies. Planning Staff will transmit pertinent portions of the application to each agency. **Other agencies and individuals not checked off on this list may be added to the PRC if necessary.***

<u>✓</u> Public Works/Town Engineer	<u>✓</u> Police Department
<u>✓</u> Building Official	<u>✓</u> START Bus
<u>✓</u> Town Attorney	<u>✓</u> Jackson Hole Fire EMS
<u> </u> Town Clerk	<u>✓</u> Parks and Recreation Department

- Pathways Coordinator
- Surveyor
- Title Company
- Teton County Housing Authority
- Teton County Weed & Pest
- Teton County Planning
- Teton County Engineer
- Teton County Assessor
- Integrated Solid Waste and Recycling
- Teton County Clerk
- Teton County Public Health
- Teton County Scenic Preserve Trust

- Teton County School District #1
- Teton County Sheriff
- Wyoming Department of Game & Fish
- Wyoming Department of Transportation
- Wyoming Department of Environmental Quality
- Army Corp of Engineers
- Lower Valley Energy
- U.S. National Park Service
- U.S. Forest Service
- U.S. Fish and Wildlife
- Other

Additional Comments:

LETTER OF AUTHORIZATION

F.S.D. INVESTMENTS, LLC, "Owner" whose address is: _____

P.O. BOX 9879, JACKSON, WY 83002

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

F.S.D. INVESTMENTS, LLC, as the owner of property

more specifically legally described as: _____

PT SW1/4NE1/4, SEC. 32, TWP. 41, RNG. 116

(If too lengthy, attach description)

HEREBY AUTHORIZES Jorgensen Associates, P.C. as

agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER: Eric Grove

(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: Owner

(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

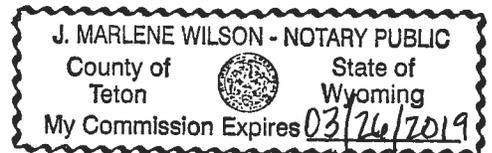
STATE OF WYOMING)
)SS.
COUNTY OF TETON)

The foregoing instrument was acknowledged before me by Eric Grove this 13 day of July, 2016.

WITNESS my hand and official seal.

J. Marlene Wilson (Seal)
(Notary Public)

My commission expires: 03/26/2019



Issued To:

Town of Jackson
P.O. Box 1687
Jackson, WY 83001
(307)733-0440

Report No.: W-16467
Effective Date: June 13, 2016
Current Date: June 30, 2016
Cost: \$350.00

Project Reference:

Property Address: 1255 West Highway 22, Jackson, WY 83001

County: Teton

1. According to the last deed appearing of public record, title to the fee simple estate or interest in the land described or referred to in this Report at the effective date hereof appears to be vested in:

F. S. D. Investments, LLC, a Wyoming limited liability company

2. The land referred to in this Report is described as follows:

See Exhibit "A" Attached Hereto and Made a Part Hereof

Issued By:

WYOMING TITLE & ESCROW, INC.
Liz Jorgenson/Christina Feuz, Co-Managers
Phone: 307.732.2983

This Ownership and Encumbrance Report is not a Commitment for Title Insurance nor is it an Abstract of Title. This Ownership and Encumbrance Report is for informational purposes only, does not necessarily contain all defects, liens or encumbrances of record, and may not be relied upon as a representation of the record regarding the subject property, and no liability is assumed hereby. If it is desired that liability be assumed prior to the issuance of a policy of title insurance, a Binder or Commitment should be requested.

EXHIBIT "A" LEGAL DESCRIPTION

A TRACT OF LAND LYING WITHIN THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 41 NORTH, RANGE 116 WEST, TETON COUNTY, WYOMING AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTHERLY RIGHT-OF-WAY OF STATE HIGHWAY 22, SAID POINT BEING MARKED BY A CONCRETE RIGHT-OF-WAY MARKER WITH BRASS CAP AND LYING SOUTH 18 DEGREES 36' 30" EAST, 1481.15 FEET FROM THE NORTH QUARTER CORNER OF SAID SECTION 32; THENCE NORTH 67 DEGREES 13' 30" EAST, 25.35 FEET ALONG THE RIGHT-OF-WAY OF SAID HIGHWAY 22 TO A POINT MARKED BY A CONCRETE RIGHT-OF-WAY MARKER WITH BRASS CAP; THENCE NORTH 23 DEGREES 36' 30" WEST, 54.13 FEET ALONG THE RIGHT-OF WAY OF SAID HIGHWAY 22 TO A POINT MARKED BY A 5/8" DIAMETER BY 16" LONG STEEL REINFORCING BAR WITH SURV-KAP INSCRIBED: "NELSON ENGR PE & LS 578", SAID POINT LYING ON THE NORTH LINE OF SAID SOUTHWEST QUARTER OF THE NORTHEAST QUARTER; THENCE SOUTH 88 DEGREES 35' EAST, 253.63 FEET ALONG THE NORTH LINE OF SAID SOUTHWEST QUARTER OF THE NORTHEAST QUARTER TO A POINT MARKED BY A 5/8" DIAMETER BY 16" LONG STEEL REINFORCING BAR WITH SURV-KAP INSCRIBED: "NELSON ENGR PF. & LS 578"; THENCE SOUTH 40 DEGREES 11' 30" EAST, 86.66 FEET TO A POINT MARKED BY A 3/8" DIAMETER B Y 12" LONG STEEL SPIKE; THENCE SOUTH 49 DEGREES 31' WEST, 292.50 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY OF SAID HIGHWAY 22 AND MARKED BY A 5/8" DIAMETER BY 16" LONG STEEL REINFORCING BAR WITH SURV-KAP INSCRIBED: "NELSON ENGR PE & LS 578"; THENCE NORTH 23 DEGREES 36' 30" WEST, 221.50 FEET ALONG THE NORTHERLY RIGHT-OF-WAY OF SAID HIGHWAY 22 TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM ANY PORTION LYING WITHIN THE LEGAL DESCRIPTION DESCRIBED IN THE QUITCLAIM DEED RECORDED FEBRUARY 4, 2009 IN BOOK 719 PAGE 54, OFFICIAL RECORDS.

PIDN: 22-41-16-32-1-00-008

ENCUMBRANCES WHICH AFFECT THE SUBJECT PROPERTY APPEAR TO BE (BUT ARE NOT NECESSARILY LIMITED TO) THE FOLLOWING:

1. General taxes for the year 2016, a lien in the process of assessment, not yet due or payable.
2. Minerals of whatsoever kind, subsurface and surface substances, including but not limited to coal, lignite, oil, gas, uranium, clay, rock, sand and gravel in, on, under and that may be produced from the Land, together with all rights, privileges, and immunities relating thereto, whether or not appearing in the Public Records or listed in Schedule B. The Company makes no representation as to the present ownership of any such interests. There may be leases, grants, exceptions or reservations of interests that are not listed.
3. (a) Unpatented mining claims; (b) Reservations or exceptions in patents or in acts authorizing the issuance thereof; (c) water rights claims or title to water, (d) any right title or interest in any sand and gravel and/or minerals including access to and from to extract minerals, mineral rights, or related matters, including, but not limited to oil, gas, coal and other hydrocarbons, whether or not the matters excepted under (a), (b), (c) or (d) are shown by the public records.
4. Assessments for the Spring Creek Improvement and Service District, if any, which are excluded from the coverage afforded hereby.
5. An easement upon the terms, conditions and provisions contained therein for the purpose shown below and rights incidental thereto as granted to the State Of Wyoming in a document recorded December 22, 1938, as (book) 6 of deeds (page) 12, Official Records:
Purpose: ROAD RIGHT OF WAY
6. An easement upon the terms, conditions and provisions contained therein for the purpose shown below and rights incidental thereto as granted to the State of Wyoming in a document recorded September 5, 1946, as (book) 6 OF MIXED RECORDS (page) 48-50, Official Records:
Purpose: ROAD RIGHT OF WAY
7. Record of Survey recorded February 14, 1979, as (book) T-38A of Maps, Official Records.
8. Terms and Conditions in an agreement by and between Spring Creek Improvement and Sewer District and Jackson Hole Choice Meats, Inc., recorded June 10, 1998, as (book) 356 (page) 161, Official Records.
9. An easement over said land for electric distribution circuits and incidental purposes, as granted to Lower Valley Power and Light, Inc., recorded December 14, 1998, as (book) 367 (page) 432, Official Records.
10. Record of Survey recorded September 19, 2006, as (book) T-30F of Maps (page) 0, Official Records.
11. Unrecorded leaseholds, if any, rights of parties in possession other than the vestee(s) herein, rights of secured parties under financing statements as to personal property located on the premises herein and the rights of tenants to remove trade fixtures.
12. Mortgage to secure an indebtedness and any other obligations secured thereby in the amount of \$1,800,000.00, dated May 29, 2008, recorded May 30, 2008, as (book) 700 (page) 145, Official Records.
Mortgagor: F.S.D. Investments, LLC, a Wyoming limited liability company
Mortgagee: Bank of Jackson Hole

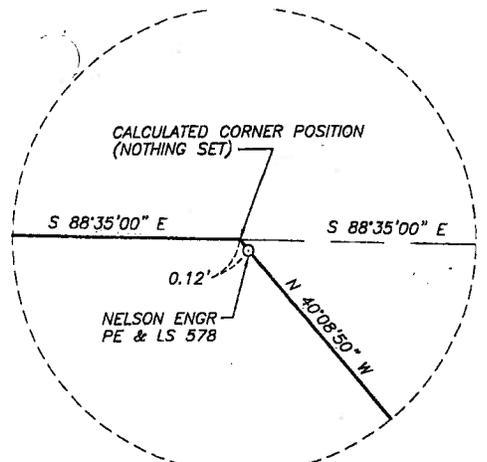
13. An assignment of all the money due or to become due as rental, as additional security for the obligations secured by the Mortgage shown hereinabove was assigned to Bank of Jackson Hole, recorded May 30, 2008, as (book) 700 (page) 152, Official Records.

***** End of Encumbrances *****

10.00'
N 66°29'40" E

FOUND ALUMINUM CAP WYDOT WITNESS CORNER MONUMENT
INSCRIBED:
PROJ
2000-00<036>
WC10FT TO 686
728
DATE 2005
PLS 482

STATE OF WYOMING



DETAIL
(NOT TO SCALE)

NOTE: RIGHT-OF-WAY FOR WYOMING STATE HIGHWAY 22
FROM MAP T-481, RECORDS OF TETON COUNTY, WYOMING

1323.27' N 88°35'00" W (Basis of Bearings, Map T-35A, Records of Teton County, Wyoming)

(REC: S 88°35' E, 253.63')
S 88°35'00" E 252.76'

389.31'

262.31'

SEE DETAIL

SEE DETAIL

(REC: N 22°47'45" W, 54.13')
N 22°47'45" W 53.93'

FOUND WYDOT CONCRETE/BRASS CAP MONUMENT
INSCRIBED:
PROJ
2000-00<035>
684
DATE 2005
PLS 482

25.12'
N 67°16'51" E
(REC: N 67°13'30" E, 25.35')

SUBJECT PROPERTY
1255 W. HIGHWAY 22

CONTROL SHED/
MONITOR STATION

24' WIDE L/PL EASEMENT
BK 387/76 432

CE-W
FOUND 2" ST
(OFFICIAL LAN

NELSON ENGR
PE & LS 578

FOUND BRASS CAP R.O.W. MONUMENT INSCRIBED:
HWY ROW - PE-LS 578, 1998

41.2'
GAS ATTENDANT SHACK

CLARKS READY-MIX & CON:
BK 264/753

WYOMING STATE HIGHWAY 22

(REC: N 23°31'42" W, 221.58')
N 23°31'42" W 221.58'

EX. BUILDING
1.7'
1.7'
292.55'
S 49°29'54" W
(REC: S 49°31' W, 292.50')

1.7'

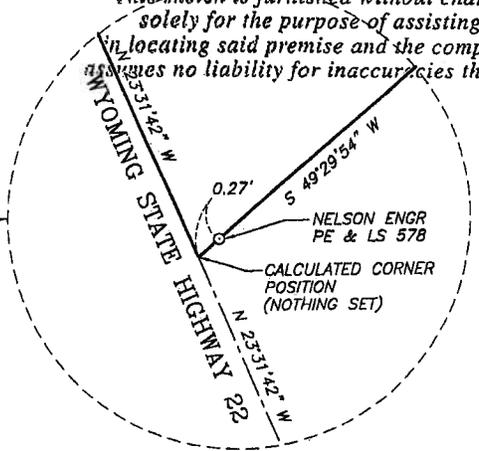
EXISTING BUILDING
1.8'

SEE DETAIL

(REC: S 49°31' W, 292.50')

EX. BUILDING

This sketch is furnished without charge
solely for the purpose of assisting
in locating said premise and the company
assumes no liability for inaccuracies therein.



DETAIL
(NOT TO SCALE)

FOUND WYDOT ALUMINUM CAP MONUMENT
INSCRIBED:
PROJ
2000-006
682
DATE 2005 <036>
PLS 482

S 44°48'54" E
6.48'

56039-935

QUITCLAIM DEED

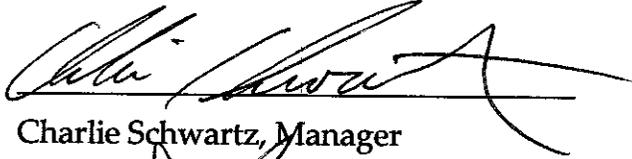
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INDEXED	
ABSTRACTED	<input checked="" type="checkbox"/>
SCANNED	

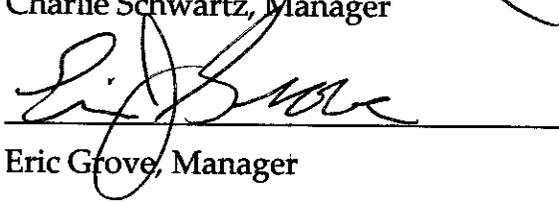
F.S.D. Investments, LLC, a Wyoming limited liability company, Grantor, for and in consideration of TEN DOLLARS and other good and valuable consideration, in hand paid, the receipt and sufficiency of which are hereby acknowledged, hereby CONVEYS and QUITCLAIMS to Clark's Ready Mix & Construction, Inc, a Wyoming corporation, Grantee, all interest in the following-described real property, situate in the County of Teton, State of Wyoming, hereby waiving and releasing all rights under and by virtue of the homestead exemption laws of the State of Wyoming, to wit:

See attached Exhibit A.

Dated this 3rd day of February, 2009.

F.S.D. Investments, LLC, a Wyoming limited liability company


 Charlie Schwartz, Manager


 Eric Grove, Manager

STATE OF WYOMING)
) ss.
 COUNTY OF TETON)

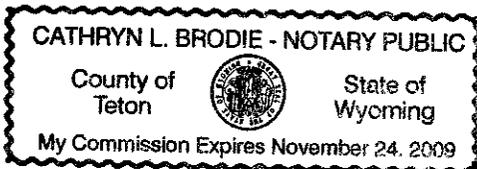
The foregoing instrument was acknowledged before me by Charlie Schwartz and Eric Grove, each a Manager of F.S.D. Investments, LLC, a Wyoming limited liability company, this 3rd day of February, 2009.

Witness my hand and official seal.


 Notary Public

My Commission Expires:

11.24.09



GRANTOR: FSD INVESTMENTS LLC
 GRANTEE: CLARKS READY MIX & CONSTRUCTION INC
 Doc 0746120 bk 719 pg 54-56 Filed At 15:52 ON 02/04/09
 Sherry L. Daigle Teton County Clerk fees: 14.00
 By Michele Fairhurst Deputy

EXHIBIT A
LEGAL DESCRIPTION
CLARK'S READY MIX PROPERTY

A Parcel of Land located in the SW1/4 NE1/4 of Section 32, Township 41 North, Range 116 West, 6th P.M., Town of Jackson, Teton County, Wyoming, being that parcel described in that Memorandum of Sale Agreement in Book 264, pages 753-759, records of Teton County, and being more particularly described as follows:

Beginning at the CE-W-NE 1/256th corner of Said Section 32, a brass cap set and appropriately inscribed by the Bureau of Land Management;

Thence along the north line of Said SW1/4 NE1/4, S88°36'56"E, 154.99 feet to the northwesterly corner of that tract described in Book 12 of Mortgages page 240, records of Teton County;

Thence along the westerly boundary line of said tract in Book 12 of Mortgages, S00°09'05"W, 274.90 feet to the southwest corner of said tract, the northwesterly corner of that tract described and conveyed in Book 88 of photo page 597, records of Teton County;

Thence along the southerly boundary line of said tract in Book 12 of Mortgages, the northerly boundary of said tract in Book 88 of photos, S89°57'48"E, 112.12 feet to the southeasterly corner of said tract in Book 12 of Mortgages, the northeasterly corner of said tract in Book 88 of photos;

Thence along the easterly boundary line of said tract in Book 88 of Photos, S02°50'09"W, 250.27 feet to the southeasterly corner of said tract;

thence along the southerly boundary line of said tract and continuing along the northerly line of that tract in Book 30 of photos pages 154-156, records of Teton County, N89°54'00"W, 228.43 feet to the northwesterly corner of said tract in Book 30 of photos,

Thence along the westerly boundary line of said tract in Book 30 of photos, S00°13'43"W, 239.22 feet to a point on the northerly right-of-way line of Wyoming Highway 22;

Thence along said right-of-way line through the following courses and distances:

Northwesterly along a circular curve to the right having a radius of 904.93 feet, a chord of 24.00 feet bearing N62°30'16"W, through a central angle of 01°31'11", an arc distance of 24.00 feet to an aluminum cap on iron pipe monument set and inscribed by Cloey Wall, Wyoming PLS 482;

Northwesterly along a circular curve to the right having a radius of 507.70 feet, a chord of 93.53 feet bearing N45°05'47"W, through a central angle of 10°34'12", an arc distance of 93.66 feet to an aluminum cap on iron pipe monument set and inscribed by Cloey Wall, Wyoming PLS 482; N39°52'56"W, 49.70 feet to an aluminum cap on iron pipe monument set and inscribed by Cloey Wall, Wyoming PLS 482;

S50°40'28"W, 35.59 to an aluminum cap on iron pipe monument set and inscribed by Cloey Wall, Wyoming PLS 482;

Northwesterly along a circular curve to the right having a radius of 904.93 feet, a chord of 208.82 feet bearing N45°37'20"W, through a central angle of 13°15'03", an arc distance of 209.28 to the southwest corner of that

legal description
Clark's Ready Mix

tract described and conveyed in Book 397 pages 1112-1114, records of Teton County;

Thence along the boundary of said tract in Book 397 through the following courses and distances:

S89°47'55"E, 25.72 feet;

N52°58'35"E, 150.15 feet;

N14°09'35"E, 21.02 feet;

N33°55'35"W, 94.18 feet;

N83°23'45"W, 22.86 feet;

S65°42'35"W, 173.08 feet to a point on the northeasterly right-of-way line of Wyoming Highway 22;

Thence northwesterly along said right-of-way line along a circular curve to the right having a radius of 904.93 feet, a chord of 98.40 feet bearing N26°38'34"W, through a central angle of 06°14'00", an arc distance of 98.45 feet to an aluminum cap on iron pipe monument set and inscribed by Cloey Wall, Wyoming PLS 482;

Thence continuing along said right-of-way, N23°29'27"W, 77.16 feet to a 5/8" steel reinforcing bar with aluminum cap inscribed "PE & LS 578", the southwesterly corner of that tract described and conveyed in Book 700, pages 143-144, records of Teton County;

Thence along the boundary of said tract in Book 700 through the following courses and distances:

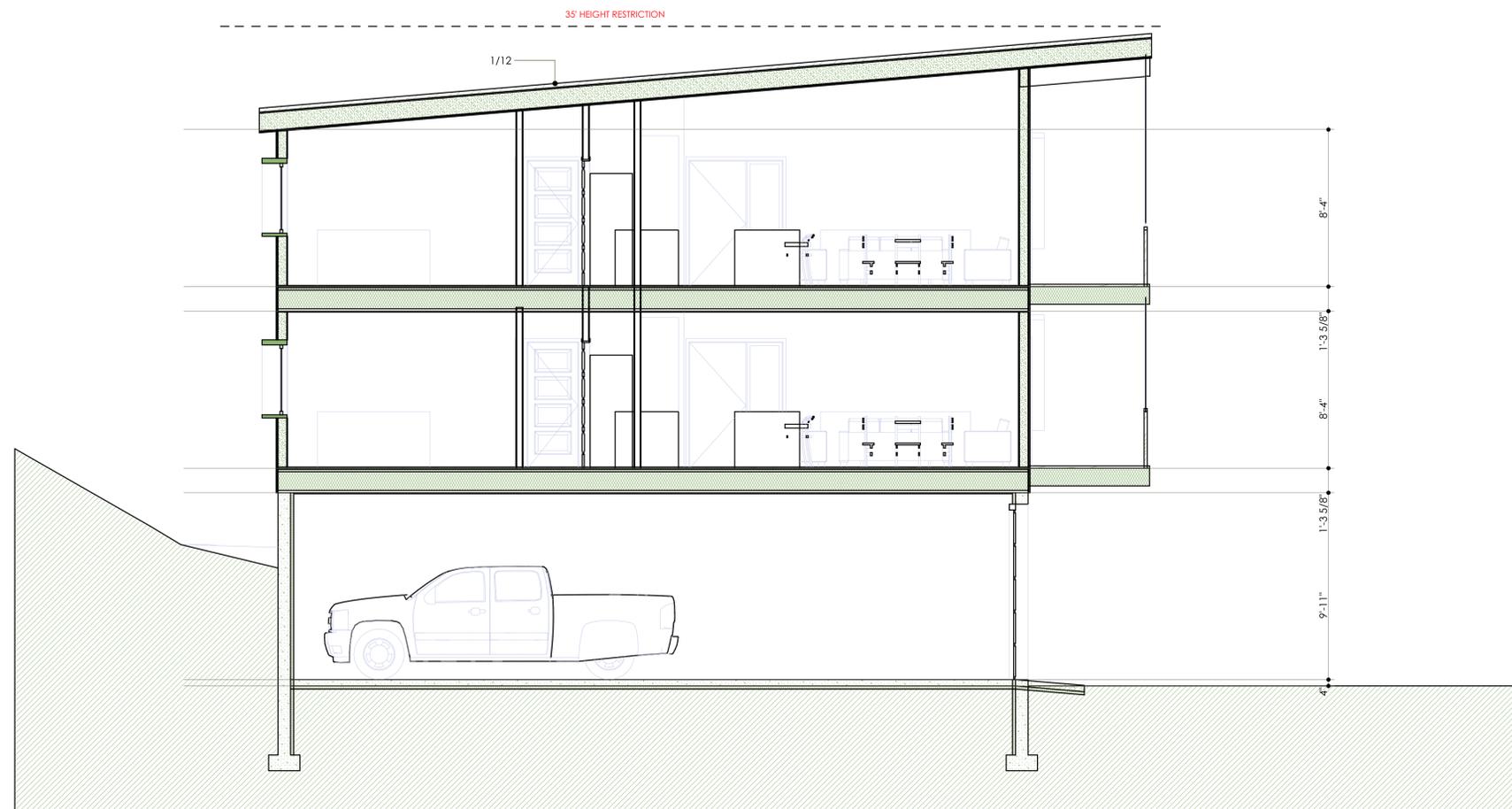
N49°31'25"E, 292.49 feet to a 12" steel spike;

N40°08'14"W, 86.64 feet to a 5/8" steel reinforcing bar with aluminum cap inscribed "PE & LS 578", the northeasterly corner of said tract in Book 700 and a point on the north line of Said SW1/4 NE1/4;

Thence along said north line, S88°36'56"E, 262.22 feet to the Corner of Beginning.

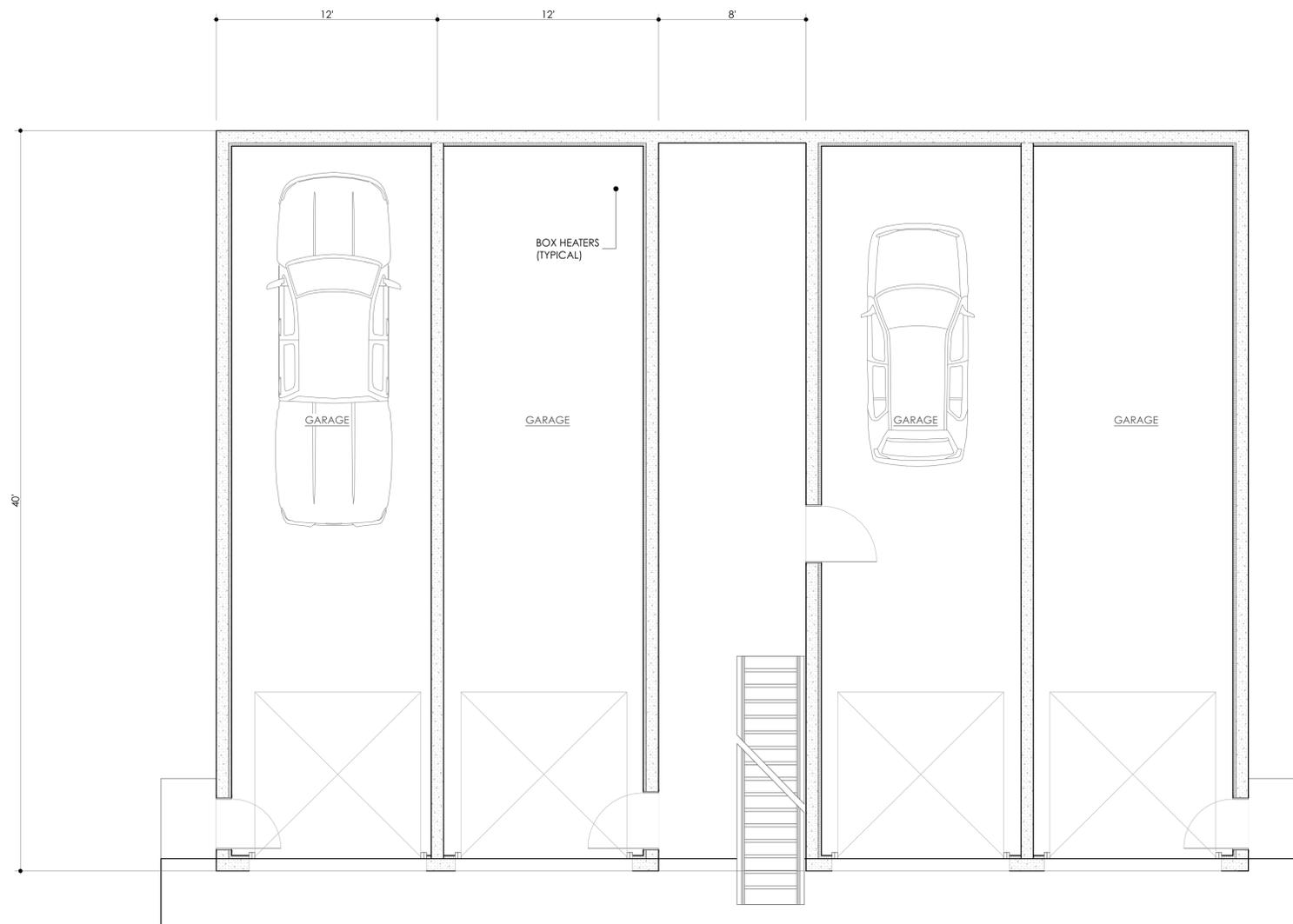
Said Parcel described herein containing 6.77 acres, more or less, and subject to easements, rights-of-way, reservations, and restrictions, of sight and/or of record.

This description is written to clarify and correct the description in that Memorandum of Sale Agreement in Book 264, pages 753-759, records of Teton County, and to reflect the location of the right-of-way line of Wyoming Highway 22 as surveyed and monumented in 2005.



CROSS SECTION - LOWER UNIT

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN - LOWER UNIT

SCALE: 1/4" = 1'-0"



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REVISION HISTORY

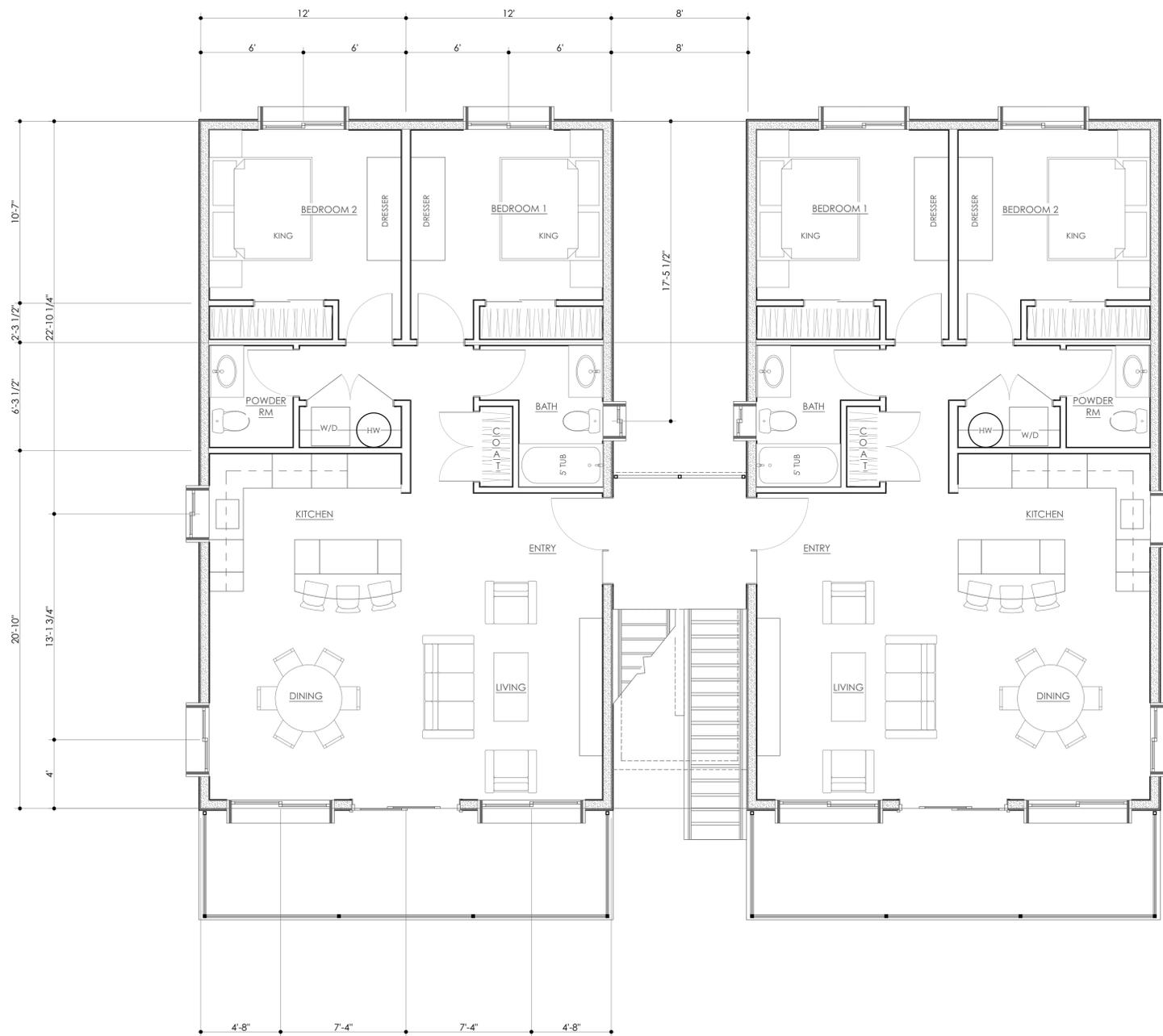
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1	PRELIMINARY	7-22-15
2	PRELIMINARY	8-4-15
3	PRELIMINARY	8-5-15
4	PRELIMINARY	8-25-15
5	PRELIMINARY	9-10-15
6	PRELIMINARY	5-25-16

WESTVIEW TOWN HOMES
 1255 WEST HWY 22
 JACKSON, WY

PRELIMINARY DESIGN
 9-10-15

A200

PLAN



SECOND FLOOR PLAN - LOWER UNIT

SCALE: 1/4" = 1'-0"



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REVISION HISTORY		
SYMB	CHANGE	DATE
1	PRELIMINARY	7-22-15
2	PRELIMINARY	8-4-15
3	PRELIMINARY	8-5-15
4	PRELIMINARY	8-25-15
5	PRELIMINARY	9-10-15
6	PRELIMINARY	5-25-16

WESTVIEW TOWN HOMES
 1255 WEST HWY 22
 JACKSON, WY

PRELIMINARY DESIGN
 9-10-15

A201

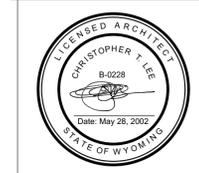
PLAN



THIRD FLOOR PLAN - LOWER UNIT
SCALE: 1/4" = 1'-0"



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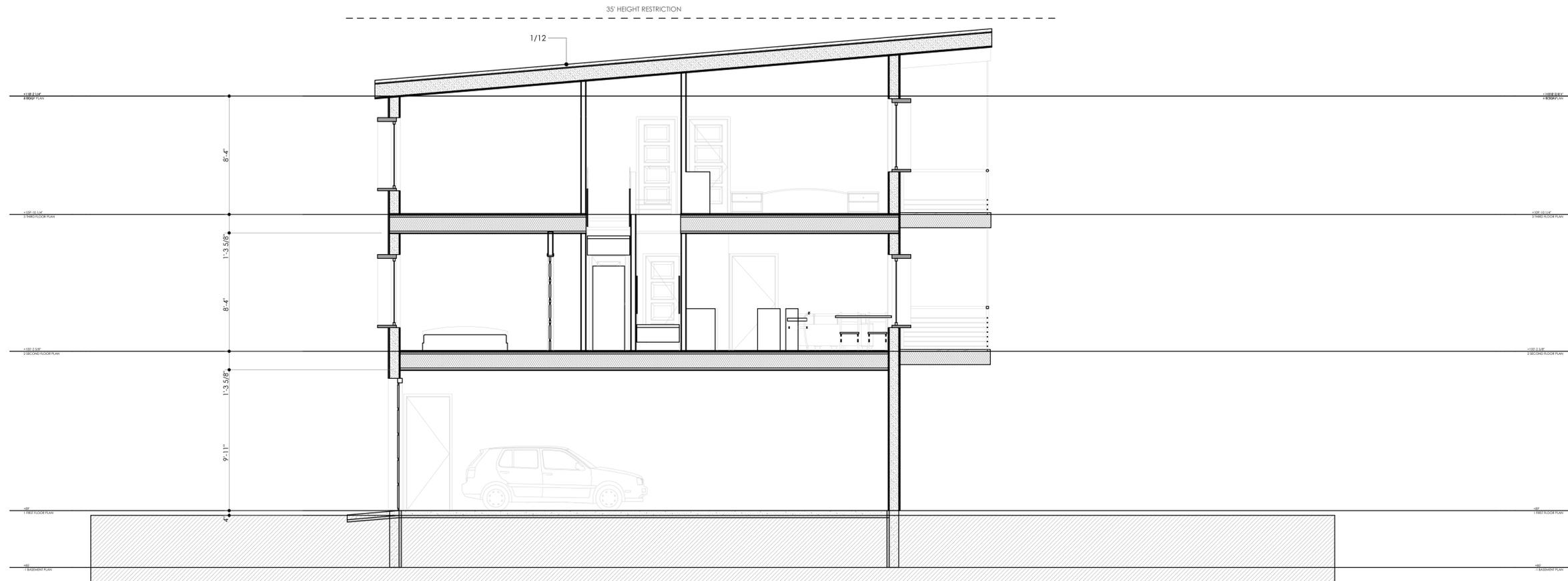
REVISION HISTORY		
SYMB	CHANGE	DATE
1	PRELIMINARY	7-22-15
2	PRELIMINARY	8-4-15
3	PRELIMINARY	8-5-15
4	PRELIMINARY	8-25-15
5	PRELIMINARY	9-10-15
6	PRELIMINARY	5-25-16

WESTVIEW TOWN HOMES
1255 WEST HWY 22
JACKSON, WY

PRELIMINARY DESIGN
9-10-15

A202

PLAN



CROSS SECTION - UPPER UNIT

SCALE: 1/4" = 1'-0"



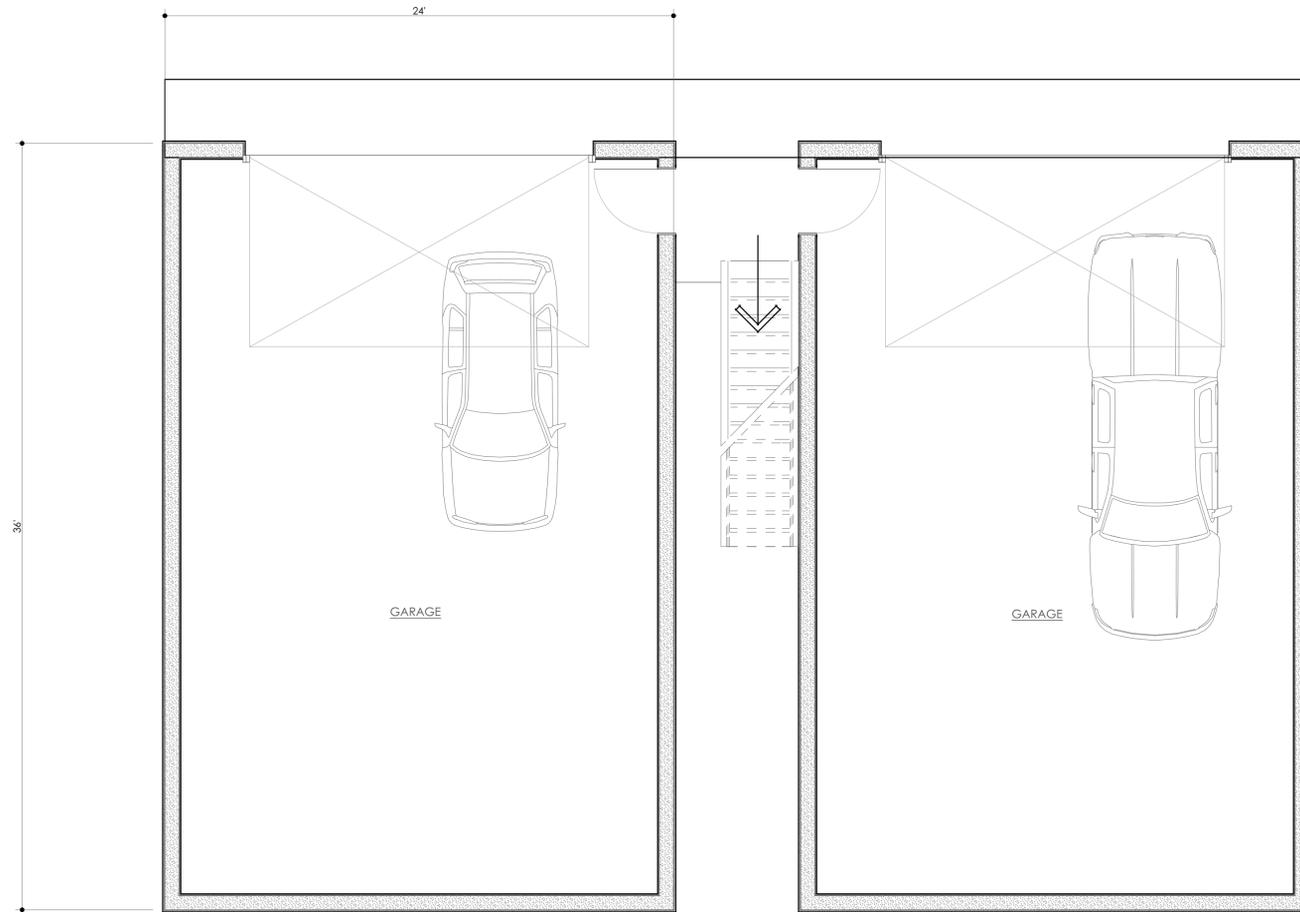
FRONT ELEVATION - UPPER UNIT

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION - UPPER UNIT

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN - UPPER UNIT

SCALE: 1/4" = 1'-0"



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REVISION HISTORY		
SYMB	CHANGE	DATE
1	PRELIMINARY	7-22-15
2	PRELIMINARY	8-4-15
3	PRELIMINARY	8-5-15
4	PRELIMINARY	8-25-15
5	PRELIMINARY	9-10-15
6	PRELIMINARY	5-25-16

WESTVIEW TOWN HOMES
1255 WEST HWY 22
JACKSON, WY

PRELIMINARY DESIGN
9-10-15

A203

PLAN



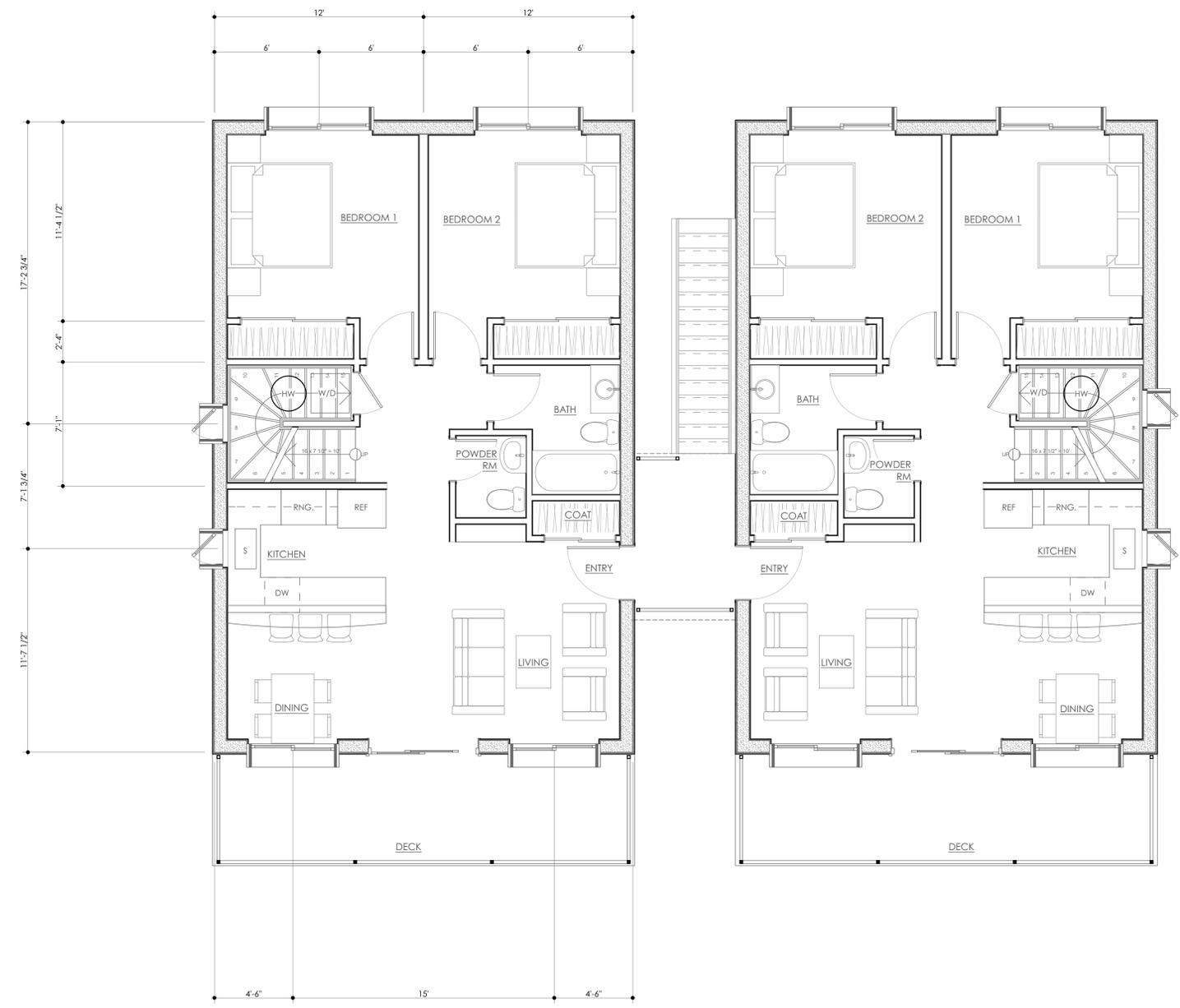
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REVISION HISTORY

SYMB	CHANGE	DATE
1	PRELIMINARY	7-22-15
2	PRELIMINARY	8-4-15
3	PRELIMINARY	8-5-15
4	PRELIMINARY	8-25-15
5	PRELIMINARY	9-10-15
6	PRELIMINARY	5-25-16



SECOND FLOOR PLAN - UPPER UNIT

SCALE: 1/4" = 1'-0"

WESTVIEW TOWN HOMES
1255 WEST HWY 22
JACKSON, WY

PRELIMINARY DESIGN
9-10-15

A204

PLAN



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REVISION HISTORY

SYMB	CHANGE	DATE
1	PRELIMINARY	7-22-15
2	PRELIMINARY	8-4-15
3	PRELIMINARY	8-5-15
4	PRELIMINARY	8-25-15
5	PRELIMINARY	9-10-15
6	PRELIMINARY	5-25-16



THIRD FLOOR PLAN - UPPER UNIT

SCALE: 1/4" = 1'-0"

WESTVIEW TOWN HOMES
1255 WEST HWY 22
JACKSON, WY

PRELIMINARY DESIGN
9-10-15

A205

PLAN

**STORMWATER MANAGEMENT
RATIONAL METHOD FOR RUNOFF CALCULATIONS
PRE-DEVELOPED FLOW RATE - 25 YEAR**

Design Storm Frequency = 25 years

Discharge Rate, d = 0.00 cfs

Surface Type	Area A (ft ²)	Area (acres)	Runoff Coefficient C	Frequency Factor C _f	C x C _f	Calculati on Value C'	C' x A (acres)
Asphalt and Concrete	16,090	0.37	0.95	1.1	1.045	1	0.37
Roofs	3,370	0.08	0.95	1.1	1.045	1	0.08
Gravel Road	7,730	0.18	0.85	1.1	0.935	0.935	0.17
Lawn, Sandy, Average, 2 to 7	3,560	0.08	0.13	1.1	0.143	0.143	0.01
Lawn, Sandy, Steep, 7%+	16,990	0.39	0.18	1.1	0.198	0.198	0.08
Totals	47740.00	1.10					0.72

Weighted Runoff Coefficient, $C_{wd} = \frac{\sum C_j A_j}{\sum A_j} = 0.60$ $C_{wd} \times C_f = 0.66$
 $C_{wd} \times C_f \times \sum A_j = 0.72$

Time of Concentration = 5 minutes

Water Quantity Calculations			
Rainfall Duration, t (min)	Rainfall Intensity, i (in/hr)	Runoff Volume (ft ³)	Peak Flow (ft ³ /sec)
1	0	0.00	0.00
5	2.15	469.36	1.55
10	1.7	742.25	1.23
15	1.41	923.44	1.02
20	1.25	1091.54	0.90
30	1.01	1322.95	0.73
40	0.85	1484.49	0.61
50	0.73	1593.65	0.53
60	0.64	1676.61	0.46
70	0.58	1772.66	0.42
80	0.52	1816.32	0.38
90	0.48	1886.18	0.35
100	0.45	1964.77	0.32

Peak Flow Rate = 1.55 cfs

**STORMWATER MANAGEMENT
RATIONAL METHOD FOR RUNOFF CALCULATIONS
POST-DEVELOPMENT - 25YEAR EVENT**

Design Storm Frequency = 25 years

Discharge Rate, d = 1.55 cfs

Surface Type	Area A (ft ²)	Area (acres)	Runoff Coefficient C	Frequency Factor C _f	C x C _f	Calculation Value C'	C' x A (acres)
Asphalt and Concrete	13,740	0.32	0.95	1.1	1.045	1	0.32
Roofs	12,940	0.30	0.95	1.1	1.045	1	0.30
Lawn, Heavy, Average, 2 to 7%	6,850	0.16	0.2	1.1	0.22	0.22	0.03
Lawn, Heavy, Steep, 7%+	14,210	0.33	0.3	1.1	0.33	0.33	0.11
Lawn, Heavy, Flat, 2%		0.00	0.15	1.1	0.165	0.165	0.00
Totals	47740	1.10					0.78

Weighted Runoff Coefficient, C_{wd} = $\frac{\sum C_i A_i}{\sum A_i} = 0.65$ C_{wd} x C_f = 0.71
 C_{wd} x C_f x $\sum A_i$ = 0.78

Time of Concentration = 5 minutes

Water Quantity Calculations					
Rainfall Duration, t (min)	Rainfall Intensity, i (in/hr)	Runoff Volume (ft ³)	Discharge Volume (ft ³)	Site Detention (ft ³)	Peak Flow (ft ³ /sec)
5	2.15	508.79	465.48	43.30	1.68
10	1.7	804.59	930.97	-126.37	1.33
15	1.41	1001.01	1396.45	-395.44	1.10
20	1.25	1183.23	1861.93	-678.71	0.98
30	1.01	1434.07	2792.90	-1358.83	0.79
40	0.85	1609.19	3723.87	-2114.68	0.66
50	0.73	1727.51	4654.83	-2927.32	0.57
60	0.64	1817.43	5585.80	-3768.36	0.50
70	0.58	1921.56	6516.76	-4595.21	0.45
80	0.52	1968.89	7447.73	-5478.84	0.41
90	0.48	2044.61	8378.70	-6334.08	0.38
100	0.45	2129.81	9309.66	-7179.86	0.35

Water Quantity Storage Required = 43 ft³
 = 324 gallons

Peak Flow Rate = 1.68 cfs

**STORMWATER MANAGEMENT
RATIONAL METHOD FOR RUNOFF CALCULATIONS
PRE-DEVELOPED FLOW RATE - 50 YEAR**

Design Storm Frequency = 50 years

Discharge Rate, d = 0.00 cfs

Surface Type	Area A (ft ²)	Area (acres)	Runoff Coefficient C	Frequency Factor C _f	C x C _f	Calculati on Value C'	C' x A (acres)
Asphalt and Concrete	16,090	0.37	0.95	1.2	1.14	1	0.37
Roofs	3,370	0.08	0.95	1.2	1.14	1	0.08
Gravel Road	7,730	0.18	0.85	1.2	1.02	1	0.18
Lawn, Sandy, Average, 2 to 7	3,560	0.08	0.13	1.2	0.156	0.156	0.01
Lawn, Sandy, Steep, 7%+	16,990	0.39	0.18	1.2	0.216	0.216	0.08
Totals	47740.00	1.10					0.79

Weighted Runoff Coefficient, $C_{wd} = \frac{\sum C_j A_j}{\sum A_j} = 0.60$ $C_{wd} \times C_f = 0.72$
 $C_{wd} \times C_f \times \sum A_j = 0.79$

Time of Concentration = 5 minutes

Water Quantity Calculations			
Rainfall Duration, t (min)	Rainfall Intensity, i (in/hr)	Runoff Volume (ft ³)	Peak Flow (ft ³ /sec)
1	0	0.00	0.00
5	2.54	604.91	2.00
10	2	952.62	1.57
15	1.64	1171.72	1.29
20	1.43	1362.24	1.13
30	1.14	1628.97	0.90
40	0.97	1848.08	0.76
50	0.85	2024.31	0.67
60	0.75	2143.39	0.59
70	0.68	2267.23	0.54
80	0.6	2286.28	0.47
90	0.56	2400.59	0.44
100	0.52	2476.80	0.41

Peak Flow Rate = 2.00 cfs

**STORMWATER MANAGEMENT
RATIONAL METHOD FOR RUNOFF CALCULATIONS
POST-DEVELOPMENT - 50 YEAR EVENT**

Design Storm Frequency = 50 years

Discharge Rate, d = 2.00 cfs

Surface Type	Area A (ft ²)	Area (acres)	Runoff Coefficient C	Frequency Factor C _f	C x C _f	Calculati on Value C'	C' x A (acres)
Asphalt and Concrete	13,740	0.32	0.95	1.2	1.14	1	0.32
Roofs	12,940	0.30	0.95	1.2	1.14	1	0.30
Lawn, Heavy, Average, 2 to 7%	6,850	0.16	0.2	1.2	0.24	0.24	0.04
Lawn, Heavy, Steep, 7%+	14,210	0.33	0.3	1.2	0.36	0.36	0.12
		0.00	0	1.2	0	0	0.00
Totals	47740	1.10					0.85

Weighted Runoff Coefficient, C_{wd} = $\frac{\sum C_j A_j}{\sum A_j} = 0.65$ C_{wd} x C_f = 0.78
 C_{wd} x C_f x ΣA_j = 0.85

Time of Concentration = 5 minutes

Rainfall Duration, t (min)	Water Quantity Calculations				
	Rainfall Intensity, i (in/hr)	Runoff Volume (ft ³)	Discharge Volume (ft ³)	Site Detention (ft ³)	Peak Flow (ft ³ /sec)
5	2.54	655.72	599.91	55.81	2.17
10	2	1032.63	1199.82	-167.19	1.71
15	1.64	1270.14	1799.74	-529.60	1.40
20	1.43	1476.67	2399.65	-922.98	1.22
30	1.14	1765.80	3599.47	-1833.67	0.97
40	0.97	2003.31	4799.30	-2795.99	0.83
50	0.85	2194.35	5999.12	-3804.78	0.73
60	0.75	2323.43	7198.95	-4875.52	0.64
70	0.68	2457.67	8398.77	-5941.11	0.58
80	0.6	2478.32	9598.60	-7120.28	0.51
90	0.56	2602.24	10798.42	-8196.19	0.48
100	0.52	2684.85	11998.25	-9313.40	0.44

Water Quantity Storage Required = 56 ft³
 = 417 gallons

Peak Flow Rate = 2.17 cfs

**STORMWATER MANAGEMENT
RATIONAL METHOD FOR RUNOFF CALCULATIONS
PRE-DEVELOPED FLOW RATE - 100 YEAR**

Design Storm Frequency = 100 years

Discharge Rate, d = 0.00 cfs

Surface Type	Area A (ft ²)	Area (acres)	Runoff Coefficient C	Frequency Factor C _f	C x C _f	Calculati on Value C'	C' x A (acres)
Asphalt and Concrete	16,090	0.37	0.95	1.25	1.1875	1	0.37
Roofs	3,370	0.08	0.95	1.25	1.1875	1	0.08
Gravel Road	7,730	0.18	0.85	1.25	1.0625	1	0.18
Lawn, Sandy, Average, 2 to 7	3,560	0.08	0.13	1.25	0.1625	0.1625	0.01
Lawn, Sandy, Steep, 7%+	16,990	0.39	0.18	1.25	0.225	0.225	0.09
Totals	47740.00	1.10					0.82

Weighted Runoff Coefficient, $C_{wd} = \frac{\sum C_j A_j}{\sum A_j} = 0.60$ $C_{wd} \times C_f = 0.75$
 $C_{wd} \times C_f \times \sum A_j = 0.82$

Time of Concentration = 5 minutes

Water Quantity Calculations			
Rainfall Duration, t (min)	Rainfall Intensity, i (in/hr)	Runoff Volume (ft ³)	Peak Flow (ft ³ /sec)
1	0	0.00	0.00
5	3	744.23	2.46
10	2.33	1156.04	1.91
15	1.9	1414.04	1.56
20	1.65	1637.31	1.35
30	1.3	1935.00	1.07
40	1.08	2143.39	0.89
50	0.95	2356.73	0.78
60	0.82	2441.08	0.67
70	0.74	2570.08	0.61
80	0.65	2580.00	0.53
90	0.61	2723.89	0.50
100	0.56	2778.47	0.46

Peak Flow Rate = 2.46 cfs

**STORMWATER MANAGEMENT
RATIONAL METHOD RUNOFF CALCULATIONS
POST-DEVELOPMENT - 100 YEAR EVENT**

Design Storm Frequency = 100 years

Discharge Rate, d = 2.46 cfs

Surface Type	Area A (ft ²)	Area (acres)	Runoff Coefficient C	Frequency Factor C _f	C x C _f	Calculati on Value C'	C' x A (acres)
Asphalt and Concrete	13,740	0.32	0.95	1.25	1.1875	1	0.32
Roofs	12,940	0.30	0.95	1.25	1.1875	1	0.30
Lawn, Heavy, Average, 2 to 7%	6,850	0.16	0.2	1.25	0.25	0.25	0.04
Lawn, Heavy, Steep, 7%+	14,210	0.33	0.3	1.25	0.375	0.375	0.12
		0.00	0	1.25	0	0	0.00
Totals	47740	1.10					0.89

Weighted Runoff Coefficient, C_{wd} = $\frac{\sum C_j A_j}{\sum A_j} = 0.65$ C_{wd} x C_f = 0.81
 C_{wd} x C_f x $\sum A_j$ = 0.89

Time of Concentration = 5 minutes

Rainfall Duration, t (min)	Water Quantity Calculations				
	Rainfall Intensity, i (in/hr)	Runoff Volume (ft ³)	Discharge Volume (ft ³)	Site Detention (ft ³)	Peak Flow (ft ³ /sec)
5	3	806.74	738.08	68.66	2.67
10	2.33	1253.14	1476.16	-223.02	2.07
15	1.9	1532.82	2214.24	-681.43	1.69
20	1.65	1774.84	2952.32	-1177.49	1.47
30	1.3	2097.54	4428.49	-2330.95	1.16
40	1.08	2323.43	5904.65	-3581.22	0.96
50	0.95	2554.69	7380.81	-4826.12	0.84
60	0.82	2646.12	8856.97	-6210.85	0.73
70	0.74	2785.96	10333.14	-7547.18	0.66
80	0.65	2796.72	11809.30	-9012.58	0.58
90	0.61	2952.69	13285.46	-10332.77	0.54
100	0.56	3011.85	14761.62	-11749.77	0.50

Water Quantity Storage Required = 69 ft³
 = 514 gallons

Peak Flow Rate = 2.67 cfs

BY: AJ
 Date: 07/20/2016

Average Day Occupancy Rate	50%
Max Day Factor, MDF	2.72
Peak Hour Factor ² , PHF	6

WATER DEMAND							
	a			b	c=a*b	d=MDF*c	e=d/1440 * PHF
	Number of Units	Bedroom Count	Total Bedrooms	Average gpd/bdrm ¹	Average TOTAL, gpd	Maximum TOTAL, gpd	PEAK HOUR, gpm
Unit, 2 Bdrm ³	16	2	32	125	4000	10880	45.3
Unit, 3 Bdrm ³	4	3	12	125	1500	4080	17.0
Subtotal Housing					5,500	14,960	62.3
	Quantity	Unit		Average inch/day	Average TOTAL, gpd	Maximum TOTAL, gpd	PEAK HOUR, gpm
Irrigation System	15,000	SF		0.25	2338	4675	19.5
Subtotal Irrigation					2,338	4,675	19.5
TOTALS					7,838	19,635	82

FIRE SUPPRESSION							
Total Pod Size	Building Type	Required Pressure ⁴		Required Duration ⁴	Total Fire Flow ⁴	Sprinkler Reduction ⁵	Adjusted Fire Flow ⁵
(SF)	(IBC)	(psi)		(hours)	(gpm)	(%)	(gpm)
3,840	V-B	20		2	1750	75%	1500

Note:

- ¹ Based on daily rates from the WYDEQ CH 12, Section 8
- ² Peak Hour Factor based on busiest hour occurring during the busiest quarter of the day.
- ³ Bedroom count shown PRELIMINARY, subject to change
- ⁴ IFC - Appendix B, Table B105.1, Type V-B
- ⁵ IFC - Appendix B, Section B105.2, 75% reduction for automatic sprinkler systems, minimum 1500 gpm

BY: AJ

Date: 07/20/2016

WATER DEMAND - M22 FIXTURE CALCULATION

	Fixture	Fixtures per Unit	No. of Units	Total Fixtures	Fixture Value*	Total Fixture Value
Townhome, Lower Units	Lavatory Sink	2	16	32	1.5	48
2 Bedroom, 2 Bathroom**	Bathtub	2		32	8	256
	Toilet	2		32	6	192
	Kitchen Sink	1		16	1.8	29
	Dishwasher	1		16	1.3	21
	Laundry Machine	1		16	3	48
Townhome, Upper Units	Lavatory Sink	4	4	16	1.5	24
3 Bedroom, 3 Bathroom**	Bathtub	2		8	8	64
	Shower	1		4	2.5	10
	Toilet	3		12	6	72
	Kitchen Sink	1		4	1.8	7
	Dishwasher	1		4	1.3	5
	Laundry Machine	1		4	3	12
TOTAL FIXTURE VALUE						788

Probable Water Flow Demand (AWWA M22 - Figure 4-2) 58
 Design Pressure Adjustment Factor (AWWA M22 - 80 psi) 1.17
 Adjusted Probable Demand (gpm)*** **67.86**

Note:

*Fixture Value based on AWWA M22

**Bedroom count shown PRELIMINARY, subject to change

***Domestic use only, no irrigation

WESTVIEW TOWNHOMES
 1255 W HWY 22, FDP
 JA Project No. 09040.03

FDP Utility Study
 SANITARY SEWER DEMAND

JORGENSEN ASSOCIATES, PC
 PO Box 9550
 Jackson, WY 83002
 307.733.5150

BY: AJ
 Date: 07/20/2016

Average Day Occupancy **50%**

WASTEWATER SYSTEM						
	No. of Units	Bedroom Count**	Total Bedrooms	Flow Per Bedroom*	Maximum Day Loading, gpd	Average Day Loading, gpd
Townhome, 2 Bedroom Unit	16	2	32	150	4800	2400
Townhome, 3 Bedroom Unit	4	3	12	150	1800	900
TOTAL PROJECT WASTEWATER					6,600	3,300
				Loading, gpm	5 gpm	
Peak Factor				3	15 gpm	

Note:

*Based on daily flow rates from the WYDEQ CH 11, Part B, Table 1

**Bedroom count shown PRELIMINARY, subject to change

Park Exactions			
Bedrooms	# of Units	Person per units	People
studio	0	1.25	0
1	0	1.75	0
2	20	2.25	45
3	0	3	0
4	0	3.75	0
5	0	4.5	0
6	0	#1	0
Dorm	0	#2	0
Total Units	20	Total Population	45
#1	Multiplier is 4.5 plus .50 for each additional bedroom over 5		
#2	Multiplier is 1.00 per 150 sf of net habitable area		
Required Park Acreage Acres			0.41
Cash In-Lieu			\$40,500

School Exactions

Unit type	Acres	land Dedication
Single Family	0.02	0
Two-Family	0.02	0
Multi-Family	0.015	0.30
Required Dedication of Land		0.30
Cash In-Lieu		\$30,000

**Special Restrictions
for Employee Housing
Located at
West View Townhomes, Town of Jackson**

These Special Restrictions for Employee Housing located at West View Town Homes, Unit ___, is made this ___ day of _____, 20__ (the "Effective Date"), by the undersigned Declarant ("Declarant").

WHEREAS, the Declarant holds fee ownership interest in that certain real property, located in Teton County, Wyoming, and more specifically described as follows:

Lot [insert lot # of land/unit], [insert name of subdivision] Addition to the Town of Jackson, according to that plat recorded in the Office of the Teton County Clerk on [insert date of plat] as Plat No. [insert plat number].

PIN: [insert property identification number] (the "Residential Unit");

WHEREAS, as a condition of its Final Development Plan Approval (_____), dated _____, 20__ for the _____ to the Town of Jackson (the "FDP Approval"), the Declarant agreed to dedicate sixteen, two-bedroom units as Employee Housing units to be occupied by individuals who work in Teton County and who will occupy the units as their sole primary residences (the "West View Units");

WHEREAS, in furtherance of the goals, objectives, requirements and conditions of the FDP Approval, and consistent with the Town of Jackson's goals of providing decent, safe, sanitary and affordable housing to qualified employees working in Teton County, Wyoming, Declarant has agreed to restrict the use and occupancy of the West Wind Units to "Qualified Households";

WHEREAS, a "Qualified Household" means natural persons meeting the employment, income and real estate ownership qualifications at the time of occupancy of the Residential Unit and during the course of such occupation;

WHEREAS, notwithstanding the foregoing, a West View Unit shall be master leased to an owner of a "local business," as defined herein ("Master Tenant"), pursuant to a master lease agreement (the "Master Lease") unless otherwise approved by the Jackson Teton County Affordable Housing Department (the "Housing Department");

WHEREAS, the Master Tenant may only lease the Residential Unit to a Qualified Household;

WHEREAS, consistent with the foregoing, the Residential Unit shall not be occupied by an owner or Master Tenant unless otherwise approved by the Housing Department;;

WHEREAS, the determination of whether a Master Tenant or household is qualified to lease the Residential Unit is determined by the Housing Department;

WHEREAS, Declarant desires that Jackson/Teton County Housing Authority, a duly constituted Housing Authority established by Teton County, Wyoming pursuant to W.S. §15-10-116, as amended, and its successors or assigns (collectively, "JTCHA") shall have an option to purchase the Residential Unit in certain circumstances, along with such other rights in the event of a breach of these Special Restrictions; and

WHEREAS, in accordance with the foregoing, Declarant desires to adopt these Special Restrictions and declare that the Residential Unit, also sometimes referred to herein as the "Unit", shall be held, sold, occupied and conveyed in perpetuity subject to these Special Restrictions, which Special Restrictions shall be in addition to all other covenants, conditions or restrictions of record affecting the Unit, and shall be enforceable by the JTCHA, Housing Department, or by the Town of Jackson;

RESTRICTIONS:

NOW THEREFORE, in satisfaction of the conditions in the FDP Approval, and in consideration of such FDP Approval and the foregoing Recitals, which are by this reference incorporated herein, Declarant hereby declares, covenants and agrees for itself and each and every person acquiring ownership of the Residential Unit, that the Unit shall be owned, used, occupied, developed, transferred and conveyed subject to the following Special Restrictions in perpetuity.

SECTION 1. TETON COUNTY / HOUSING DEPARTMENT GUIDELINES. References made herein to the "Guidelines" are references to the written policies, procedures and guidelines of Teton County and the Housing Department, as the same may be amended, modified, or updated from time to time and which policies, procedures and guidelines are on file with Housing Department or otherwise with the Town of Jackson, or if there are no such written policies, procedures or guidelines (or a written policy, procedure or guideline with respect to a specific matter) then the reference shall be to the current applied policy or policies of Teton County or the Housing Department (the "Guidelines"). Procedural and administrative matters not otherwise addressed in these Special Restrictions shall be as set forth in the Guidelines.

SECTION 2. OCCUPANCY BY QUALIFIED HOUSEHOLD.

- A. Qualified Household. The occupancy of the Residential Unit shall be limited to natural persons who meet the definition of a Qualified Household for Employee Housing, as set forth below and as may be further detailed in the Guidelines ("Qualified Household").
1. Employment Requirement. At least one member of the Qualified Household must maintain an average of 30 hours per week employment on an annual basis, or a minimum of one thousand five hundred and sixty hours per year, from a local business, along with such other requirements as may be further set forth in the Guidelines. A "local business" shall mean a business physically located within Teton County, Wyoming, holding a business license with the Town of Jackson or one that can provide other verification of business status physically located in Teton County, Wyoming).
 2. Sole Residence Requirement. No member of the Qualified Household may own or have any interest (whether direct, indirect or beneficial) in whole or in part in any other residential real estate within 150 miles of Teton County, Wyoming.
 3. Determination by the Housing Department. The Housing Department shall determine whether a prospective tenant is a Qualified Household and whether a business owner is an owner of a "local business" and thereby qualified to be a Master Tenant. In addition to any requirements set forth in the Guidelines, such determinations shall be based upon written applications, representations, information and verification as are deemed by the Housing Department to be necessary to establish and substantiate eligibility.
 4. Continuing Obligation to Remain a Qualified Household. The occupants of the Residential Unit shall satisfy the definition of a Qualified Household at all times during the occupancy of the Residential Unit.
- B. No Legal Action. No owner of the Residential Unit, prospective purchaser of the Residential Unit, Master Tenant, renter or occupant, or other party shall have the right to sue or bring other legal process against the Town of Jackson, JTCHA or the Housing Department, or any person affiliated with the Town of Jackson, JTCHA or the Housing Department arising out of these Special Restrictions, and neither shall the Town of Jackson, JTCHA or the Housing Department have any liability to any person aggrieved by the decision of the Town of Jackson, JTCHA or the Housing Department regarding qualification of a Master Tenant, Qualified Household or any other matter relating to these Special Restrictions.

SECTION 3. RESTRICTIONS ON OCCUPATION AND USE OF RESIDENTIAL UNIT. In addition to any restrictions included in the Guidelines, occupancy and use of the Residential Unit shall be restricted as follows:

- A. Rental Unit; Master Lease. The Residential Unit shall remain a rental unit for Qualified Households and it shall be master leased to a Master Tenant who will thereafter lease the Residential Unit to a Qualified Household as described herein. The Master Lease shall require the Master Tenant to comply with all the requirements of these Special Restrictions, or cause its tenants to comply as applicable. Occupancy of the Residential Unit by the Qualified Household shall be pursuant to a written lease
- B. Rental Term. The Residential Unit shall be offered for rent in periods of not less than one (1) month. The Residential Unit shall not be used as a guest house, guest facility or for short-term rental.
- C. Rental Rates. The rental rate as between the owner and a Master Tenant shall be as the owner and Master Tenant shall agree. The Master Tenant shall not charge rental rates in excess of the then market rate for units similarly situated in the Town of Jackson, Wyoming. A Master Tenant shall not profit on the rental of the Unit and shall not charge a rental rate in excess of the rent the Master Tenant pays to the owner of the Unit.
- D. Preference. The Master Tenant, may give first priority to lease the Residential Unit to an employee of the Master Tenant, so long as such employee can qualify as a Qualified Household.
- E. Vacancies. The Residential Unit may be vacant intermittently between tenancies to allow for proper verification, advertisement for Qualified Households and reasonable maintenance. However, the Residential Unit shall not be vacant for a period greater than sixty (60) days, unless authorized by the Housing Department. If the Residential Unit remains vacant for more than sixty (60) days without approval, then the Housing Department shall have the right, but not the obligation, to identify a Qualified Household to rent the Unit. Anything herein notwithstanding, the owner or Master Tenant, respectively, shall have the right to deny occupancy to any proposed tenant who in such owner's or Master Tenant's reasonable discretion does not meet its standard for occupancy, so long as such denial does not violate Federal or state fair housing laws.
- F. Occupancy by Qualified Household. The Residential Unit may only be occupied by a Qualified Household, shall be such Qualified Household's sole and exclusive primary residence, and the tenant named on the lease shall physically occupy the Unit on a full-time basis, at least ten months out of each calendar year or for the full lease-term if less than ten months; Except for permitted guests, no persons

other than those who comprise the Qualified Household may occupy the Unit, provided that such requirement does not violate Federal or state fair housing laws; no more than three (3) unrelated persons may occupy the Unit, unless Town of Jackson building regulations permit or require otherwise;

- G. No Owner or Master Tenant Occupancy. No owner or Master Tenant shall reside in or occupy the Residential Unit. If an owner or Master Tenant is an entity (including without limitation, a partnership, limited partnership, limited liability company, corporation, association, or other) or a trust, this prohibition on owner-occupancy shall extend to any partner, member, shareholder, other principal or owner of the entity, or trustee or beneficiary of the trust.
- H. Business Activity. No business activities shall occur at the Residential Unit, other than a home occupation use that is: (i) permitted by applicable zoning; (ii) permitted by any declaration(s) of covenants, conditions and restrictions for the Property as the same may be amended, restated, or supplemented from time to time (the "Declaration"); (iii) permitted by the Guidelines, and (iv) not prohibited by any law, statute, code, rule, ordinance, covenant or regulation ("Laws") affecting the Property;
- I. Guests. No persons other than those comprising the Qualified Household shall be permitted to occupy the Residential Unit for periods in excess of 30 cumulative days per calendar year;
- J. Maintenance. The owner and/or the Master Tenant, shall cause the interior and all other aspects of the Residential Unit not otherwise maintained by a homeowners association to be well cared for, and maintained in a safe, sound, habitable, sanitary, and good state of repair. In case of damage to the Residential Unit, the owner or the Master Tenant shall repair the damage or replace or restore any destroyed parts of the Residential Unit, as speedily as practical; In the event the owner or Master Tenant fails to maintain the Residential Unit in a safe, sound, habitable, sanitary or good condition and such condition continues for fourteen (14) days after notice from the Housing Department, the Housing Department shall have the right but not the obligation to repair such condition and the owner shall reimburse the Housing Department for such reasonable repair costs. Payment to the Housing Department from the owner or Master Tenant shall be due upon receipt of invoice;
- K. Insurance. The owner shall cause the Residential Unit to be continuously insured against "all risks" of physical loss (not otherwise covered by a homeowners association insurance), for the full replacement value of the Residential Unit; and
- L. Compliance with Laws, Declaration. The Residential Unit shall be occupied in full compliance with all Laws, including without limitation, the Declaration, and all

supplements and amendments thereto, and any other rules and regulations of any applicable homeowners association, as the same may be adopted from time to time; and

M. Periodic Reporting; Inspection.

1. In order to confirm compliance with these Special Restrictions, the owner and the Master Tenant shall comply, and shall cause all occupants to comply, with any reporting or inspection requirements as set forth herein and as may be required by the Housing Department from time to time. Upon reasonable notice to owner or Master Tenant, the Housing Department shall have the right to review the written Master Lease and lease to a Qualified Household, as well as the right to inspect the Residential Unit from time to time to determine compliance with these Special Restrictions and to review the written records required to be maintained by owner or Master Tenant.
2. The owner shall provide to the Housing Department the name, contact person, address, telephone number and email address of the Master Tenant upon entering into a Master Lease as well as annually each year during the month of January. Owner will provide information satisfactory to the Housing Department that the Master Tenant is the owner of a local business as described herein.
3. The Master Tenant shall provide to the Housing Department by way of an Affidavit of Employment executed by each tenant, the name, address, telephone number and email address of the tenant and the tenant's employer, the salary or hourly wage of the tenant, and the number of hours worked per month, along with a copy of the tenant's pay stub. The Affidavit shall also list all the occupants of the Unit. The Affidavits of Employment shall be submitted to the Housing Department upon each new rental of the Residential Unit as well as annually during the month of January. Any check stub submitted shall be dated as of two-weeks from the submission date.
4. The Owner or the Master Tenant shall maintain such records for a period of two (2) years.

Notwithstanding the foregoing, the Housing Department may approve uses inconsistent with this Section in accordance with the Guidelines.

SECTION 4. SALE OF THE RESIDENTIAL UNIT. The Residential Unit may be bought and sold as the then owner may determine except that all reporting and record-keeping required herein shall be continuous and any new owner shall obtain the required records

from the prior owner. Within ten (10) days prior to the closing of the sale or other transfer of the Unit, the then owner shall notify the Housing Department of the pending sale or transfer and after the close of the sale or transfer the new owner shall notify the Housing Department of their contact information (including without limitation, mailing address, phone number and email).

SECTION 5. DEFAULT. The following shall be considered a default ("Default"):

- A. Failure at any time of the occupants of the Residential Unit to qualify as a Qualified Household.
- B. A violation of any term of these Special Restrictions, the Guidelines, the Declaration, or any Laws affecting the Residential Unit.

In the event the Housing Department believes there to be a Default, the Housing Department shall send written notice to the owner, and Master Tenant if any, informing the owner of the Default and the required action to cure. If the owner or Master Tenant dispute the Housing Department's decision, the owner or Master Tenant shall proceed in accordance with the Guidelines.

SECTION 7. DEFAULT REMEDIES. In addition to any other remedies the Housing Department or JTCHA may have at law or equity, in the event of a Default, the remedies shall include, without limitation, the following:

- A. Purchase Option; Forced Sale. In order to ensure the Residential Unit remains in use for rental housing purposes to Qualified Households, in the event of a default, JTCHA shall have an option to purchase the Unit ("Option"), or the right to require the owner to sell the Unit("Forced Sale"), as follows:
 - 1. If JTCHA determines to exercise its Option or require the Forced Sale of the Unit, JTCHA shall provide written notice to the owner. The notice shall include whether JTCHA is exercising its Option or requiring the Forced Sale (collectively, the "Default Transfer"). Such notice shall include the purchase price and the timing for the closing of the Default Transfer.
 - 2. The purchase price shall be the Unit's appraised value. JTCHA shall have reasonable access to the Unit for purposes of the appraisal. The cost of the appraisal shall be charged against the sale proceeds as well as the reasonable costs and expenses (including reasonable attorney fees) incurred by the Housing Department and JTCHA in exercising its rights hereunder.
 - 3. JTCHA shall use reasonable efforts to cause the Default Transfer to close within ninety (90) days of the notice.

- B. Appointment of the Housing Department as Owner's Attorney-in-Fact. In the event of JTCHA's exercise of its Option or election to require the Forced Sale, the owner hereby irrevocably appoints the then serving Housing Manager as such owner's attorney-in-fact to effect any such purchase or sale on the owner's behalf and to execute any and all deeds of conveyance or other instruments necessary to fully effect such purchase or sale and conveyance.
- C. Equitable Relief. JTCHA and the Housing Department shall have the right of specific performance of these Special Restrictions and the right to obtain from any court of competent jurisdiction a temporary restraining order, preliminary injunction and permanent injunction to obtain such performance. Any equitable relief provided for herein may be sought singly or in combination with such other remedies as JTCHA may be entitled to, either pursuant to these Special Restrictions or under the laws of the State of Wyoming.

SECTION 8. TERMINATION AND MODIFICATION OF SPECIAL RESTRICTIONS.

- A. Termination by the Town of Jackson. These Special Restrictions may be terminated after a determination by the Town of Jackson that these Special Restrictions are no longer consistent with the Town's goals for employee housing and that they should therefore be terminated.
- B. Amendment. These Special Restrictions may be amended, in whole or in part, as follows:
 - 1. With the written consent of the owner of the Residential Unit, the Housing Manager for the Housing Department, and the Planning Director for the Town of Jackson, Wyoming.
 - 2. The Housing Department may unilaterally modify these Special Restrictions (i) to provide clarification to any provisions hereto which may be unclear or subject to differing interpretations, (ii) to correct any errors identified herein, or (iii) where the Housing Department deems such modification necessary to effectuate the purposes and intent of the Special Restrictions or the goals of the Town of Jackson in providing decent, safe and affordable housing, and where such modification does not, in the Housing Department's reasonable discretion, materially impair the owner rights.

SECTION 10. SPECIAL RESTRICTIONS AS COVENANT. These Special Restrictions shall constitute covenants running with the Residential Unit, as a burden thereon, and shall be binding on all parties having any right, title, or interest in the Residential Unit, or any part

thereof, their heirs, devisees, successors and assigns, and shall inure to the benefit of and shall be enforceable by JTCHA, the Housing Department and the Town of Jackson.

SECTION 11. NOTICES. Any notice, consent or approval which is required to be given hereunder to an owner shall be in writing and shall be deemed given by mailing the same, certified mail, return receipt requested, properly addressed and with postage fully prepaid to the owner's mailing address as provided to the Housing Department or such address as is on record with the Teton County Assessor. Any notice, consent or approval which is required to be given hereunder to a Master Tenant shall be in writing and shall be deemed given by mailing the same, certified mail, return receipt requested, properly addressed and with postage fully prepaid to the Master Tenant's mailing address as provided to the Housing Department. Any notice which is required to be given hereunder to JTCHA or the Housing Department shall be given by mailing the same, certified mail, return receipt requested, properly addressed and with postage fully prepaid to JTCHA, P.O. Box 714, Jackson, WY 83001. Alternatively, notice may be hand delivered, but any such hand delivery shall require a signed receipt from the owner, Master Tenant, or the Housing Manager of the Housing Department, respectively, evidencing the same. Failure of any party to pick up and/or sign for a certified mailing does not constitute failure to provide notice provided it was properly addressed and evidence of that mailing is retained. In the event of mailing, notice shall be deemed given when deposited in the U.S. Mail.

SECTION 12. ATTORNEY'S FEES. In the event any party shall be required to retain counsel and file suit for the purpose of enforcing the terms and conditions of these Special Restrictions, the prevailing party shall be entitled to recover, in addition to any other relief recovered, a reasonable sum as determined by the court for attorney's fees and costs of litigation.

SECTION 13. CHOICE OF LAW, FORUM. These Special Restrictions and each and every related document, are to be governed by and construed in accordance with the laws of the State of Wyoming. The parties agree that the appropriate court in Teton County, Wyoming and/or the Ninth Judicial District for the State of Wyoming shall have sole and exclusive jurisdiction over any dispute, claim, or controversy which may arise involving these Special Restrictions or its subject matter.

SECTION 14. SEVERABILITY. Each provision of these Special Restrictions and any other related document shall be interpreted in such a manner as to be valid under applicable law; but, if any provision, or any portion thereof, of any of the foregoing shall be invalid or prohibited under said applicable law, such provision shall be deemed modified to the extent necessary and possible to render it valid and enforceable, or if such modification is not possible, such provision shall be ineffective to the extent of such invalidity or prohibition without invalidating the remaining provision(s) of such document.

SECTION 15. SECTION HEADINGS. Paragraph or section headings within these Special Restrictions are inserted solely for convenience or reference, and are not intended to, and shall not govern, limit or aid in the construction of any terms or provisions contained herein.

SECTION 16. WAIVER. No claim of waiver, consent or acquiescence with respect to any provision of these Special Restrictions shall be valid against any party hereto except on the basis of a written instrument executed by the parties to these Special Restrictions. However, the party for whose benefit a condition is inserted herein shall have the unilateral right to waive such condition.

SECTION 17. INDEMNIFICATION. The owner shall indemnify, defend, and hold the JTCHA, the Housing Department and the Town of Jackson, and its directors, officers, agents and employees harmless against any and all loss, liability, claim, or cost (including reasonable attorneys' fees and expenses) for damage or injury to persons or property from any cause whatsoever on or about the Residential Unit, or for an owner's or a Master Tenant's breach of any provision of these Special Restrictions. The owner waives any and all such claims against JTCHA, the Housing Department and the Town of Jackson.

SECTION 18. SUCCESSORS AND ASSIGNS. These Special Restrictions shall be binding upon, and inure to the benefit of, the parties hereto and their respective successors, heirs, devisees, administrators and assigns.

SECTION 19. SOVEREIGN IMMUNITY. None of the Town of Jackson, JTCHA, nor the Housing Department waive sovereign immunity by executing these Special Restrictions and specifically retain immunity and all defenses available to them as sovereigns pursuant to Wyo. Stat. § 1-39-104(a) and any other applicable law.

IN WITNESS WHEREOF, the undersigned have executed this instrument as of the Effective Date.

Declarant:

STATE OF WYOMING)
) ss.
COUNTY OF TETON)

On the _____ day of _____, 20__, the foregoing instrument was acknowledged before me by _____, as _____, of _____.

Witness my hand and official seal.

(Seal)

Notary Public
My commission expires:

TOWN OF JACKSON

Sara Flitner, Mayor

STATE OF WYOMING)
) ss.
COUNTY OF TETON)

On the _____ day of _____, 20__, the foregoing instrument was acknowledged before me by Sara Flitner as Mayor, of the Town of Jackson, Wyoming.

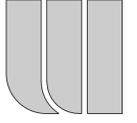
Witness my hand and official seal.

(Seal)

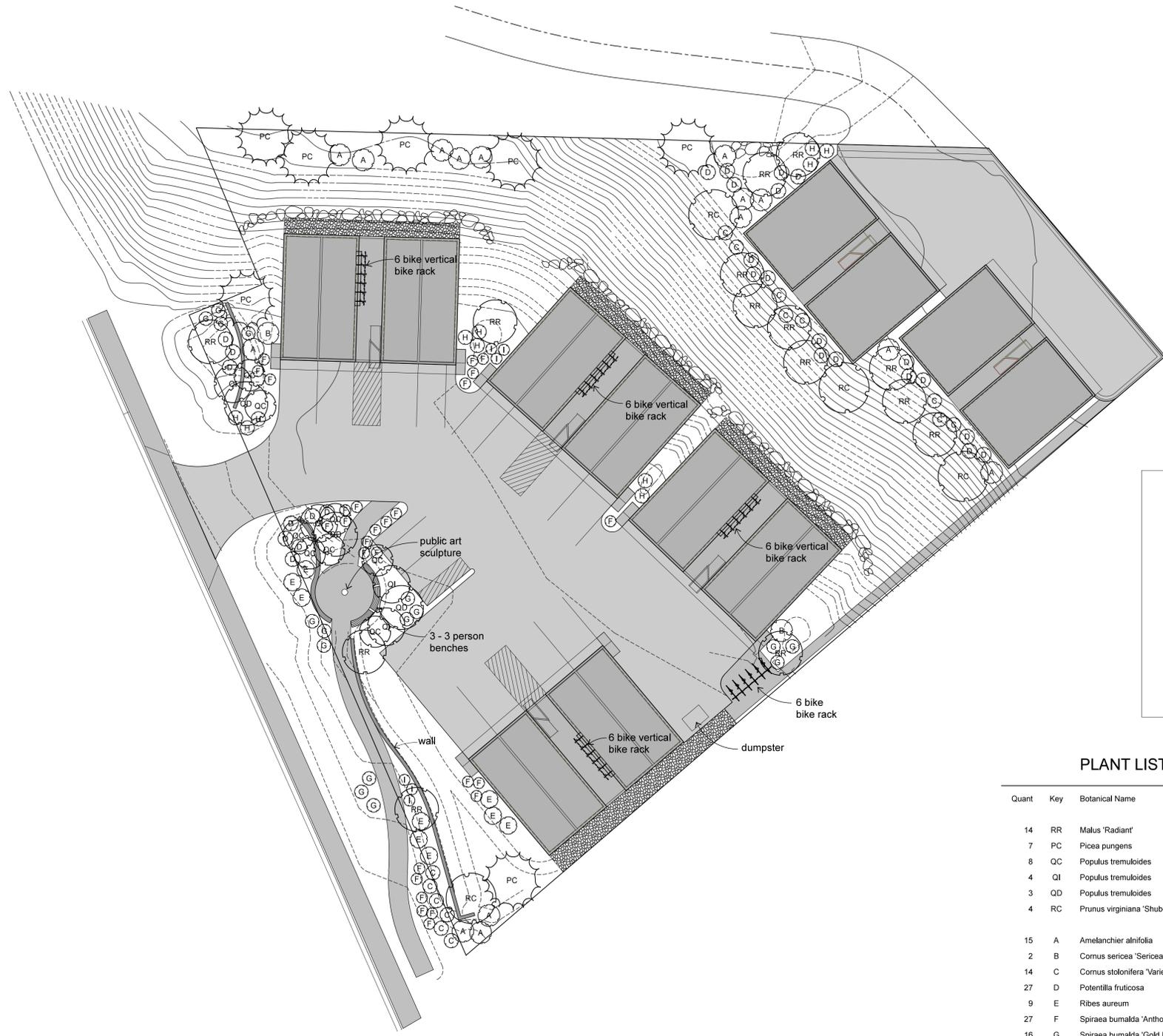
Notary Public
My commission expires:



COPYRIGHT WEAVER ASSOCIATES PA
 DESIGN AND DRAWING NOT TO BE USED WITHOUT
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 OF THE OWNER. NO CONTRACTUAL OBLIGATION
 INCURRED BY WEAVER & ASSOCIATES PA FOR
 THE BENEFIT OF ANY OTHER PERSON
 INVOLVED IN THE PROJECT



WEAVER & ASSOCIATES PA
 LANDSCAPE ARCHITECTURE - LAND PLANNING
 1635 SOUTH WOODRUFF AVENUE
 IDAHO FALLS, IDAHO 83404
 (208) 526-9504



PLANT UNIT INFORMATION

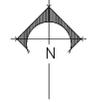
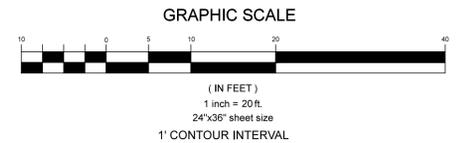
23 Plant Units Required
 average value of Plant Unit = \$2,600 x 23 = \$59,800 required

cost for 3"-4" cal. aspen tree: \$400	8 @ \$400 =	\$ 3,200
cost for 4"-5" cal. aspen tree: \$600	4 @ \$600 =	\$ 2,400
cost for 5"-6" cal. aspen tree: \$750	3 @ \$750 =	\$ 2,250
cost for 14'-16" spruce tree: \$1,500	7 @ \$1,500 =	\$10,500
cost for 3-3.5" cal. crabapple: \$450	14 @ \$450 =	\$ 6,300
cost for 2.5" cal. canada red: \$350	5 @ \$350 =	\$ 1,750
cost for 5'-6" shrub: \$250	31 @ \$250 =	\$ 7,750
cost for 3' shrub: \$175	96 @ \$175 =	\$16,800
cost for 6 unit bike rack: \$550	5 @ \$550 =	\$ 2,750
cost for 2 person bench: \$550	4 @ \$550 =	\$ 2,200
public art sculpture		\$ 4,000
TOTAL		\$ 59,900

PLANT LIST

Quant	Key	Botanical Name	Common Name	Size
TREES				
14	RR	Malus 'Radiant'	Radiant Flowering Crab	3"-3.5" B&B
7	PC	Picea pungens	Colorado Spruce	14'-16" B&B
8	QC	Populus tremuloides	Quaking Aspen	3"-4" cal.
4	QI	Populus tremuloides	Quaking Aspen	4"-5" cal.
3	QD	Populus tremuloides	Quaking Aspen	5"-6" cal.
4	RC	Prunus virginiana 'Shubert's'	Canada Red Cherry	2-1/2" B&B
SHRUBS				
15	A	Amelanchier alnifolia	Western Serviceberry	6' B&B
2	B	Cornus sericea 'Sericea'	Red Osier Dogwood	6' B&B
14	C	Cornus stolonifera 'Variegatum'	Variegated Red Twig Dogwood	5'-6" B&B
27	D	Potentilla fruticosa	Native Cinquefoil	7 gal. 36"
9	E	Ribes aureum	Golden Currant	7 gal. 36"
27	F	Spiraea bumalda 'Anthony Waterer'	Anthony Waterer Spiraea	5 gal. 12-18"
16	G	Spiraea bumalda 'Gold Flame'	Gold Flame Spiraea	5 gal. 12-18"
11	H	Spiraea betulifolia 'Tor'	Tor Birchleaf Spiraea	7 gal. 36"
6	I	Symphoricarpos oreophilus	Mountain Snowberry	7 gal. 36"

LANDSCAPE PLANTING PLAN



FINAL DEVELOPMENT PLAN SUBMITTAL 07-27-16

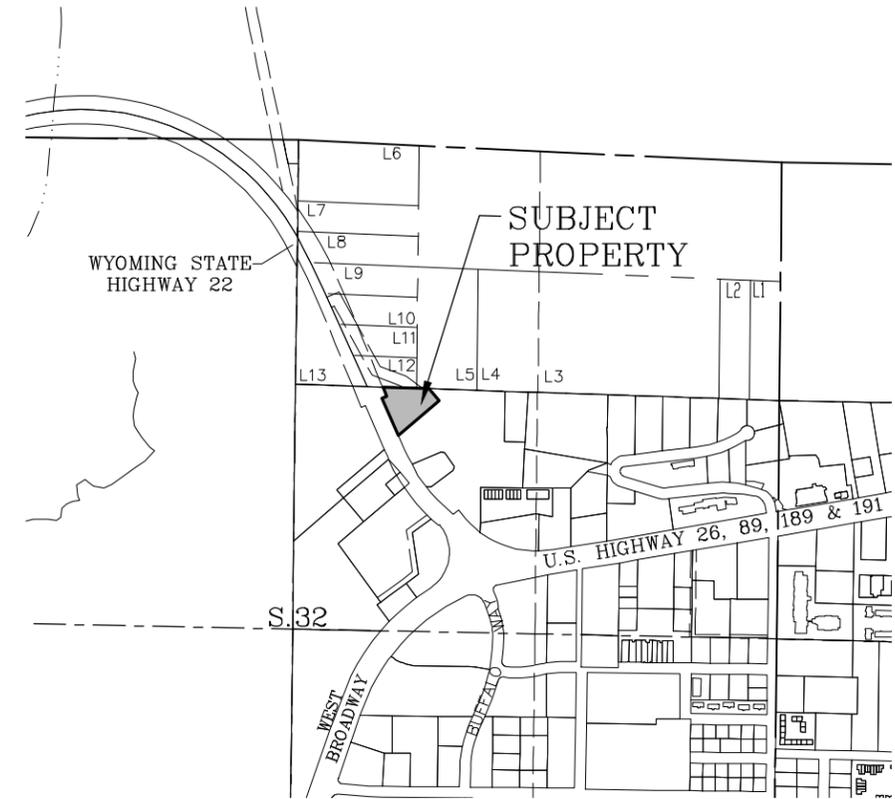
WESTVIEW TOWN HOMES
 JACKSON, WYOMING

L1

WESTVIEW TOWNHOMES FINAL DEVELOPMENT PLAN

1255 W HIGHWAY 22

LOCATED WITHIN THE SW¹/₄ NE¹/₄
SECTION 32, T41N, R116W,
6TH PRINCIPAL MERIDIAN
TETON COUNTY, WYOMING



VICINITY MAP

1" = 500' FOR 22x34 PRINTS
1" = 1000' FOR 11x17 PRINTS

GENERAL PROJECT NOTES:

1. PROJECT SCOPE: CONSTRUCT TOWNHOMES AND ASSOCIATED FACILITIES.
2. PROPERTY IS ZONED AS AUTO COMMERCIAL (AC).
3. PROPERTY AREA: 1.10 ACRES
4. JORGENSEN GEOTECHNICAL, LLC PERFORMED A GEOTECHNICAL INVESTIGATION OF THE PROPERTY IN JUNE AND JULY 2016 CONSISTING OF 6 BOREHOLES. THE GEOTECHNICAL REPORT WAS REVIEWD BY LANDSLIDE TECHNOLOGIES AND IS INCLUDED IN THIS FINAL DEVELOPMENT PLAN.
5. JORGENSEN ASSOCIATES PREFORMED A TOPOGRAPHICAL SURVEY IN THE WINTER OF 2008 AND SUPPLEMENTED IT IN JANUARY AND JUNE 2016.
6. VEGETATION CONSIST PRIMARILY OF WEEDS, NATIVE GRASS AND SAGEBRUSH.
7. RE-VEGETATION TO OCCUR POST CONSTRUCTION IS COMPLETE.
8. THE PROPERTY IS NOT WITHIN THE WILD LAND URBAN INTERFACE.
9. THE PROJECT AREA IS NOT IN THE NATURAL RESOURCE OVERLAY OR IN THE SCENIC RESOURCE OVERLAY.
10. CONTRACTOR SHALL VERIFY LOCATIONS OF ALL BURIED AND OVERHEAD UTILITIES PRIOR TO ANY EXCAVATION IN THE VICINITY. UTILITY LOCATIONS SHOWN ON THESE DRAWINGS ARE APPROXIMATE AND BASED ON THE BEST INFORMATION AVAILABLE TO THE ENGINEER. ENGINEER DOES NOT WARRANT THE ACCURACY NOR COMPLETENESS OF THE INFORMATION SHOWN FOR EXISTING UTILITIES. CONTRACTOR SHALL COORDINATE WITH UTILITY COMPANIES PRIOR TO INSTALLING IMPROVEMENTS. PRIVATE UNDERGROUND UTILITIES EXIST IN THE PROJECT AREA. CONTACT ENGINEER TO LOCATE EXISTING WATER, SEWER LINES.
11. CONTRACTOR SHALL VERIFY ALL DIMENSIONS IN THE FIELD AND SHALL PROMPTLY NOTIFY THE ENGINEER OF ANY VARIATIONS OR DISCREPANCIES.
12. CONTRACTOR TO CONFIRM STOCKPILE AND STAGING LOCATIONS WITH THE OWNER.

13. FILL MATERIAL SHALL BE SUITABLE ON-SITE OR IMPORTED MATERIAL WITH ROCK NO LARGER THAN 6 INCHES IN DIAMETER. LARGER MATERIAL MAY BE PLACED ONLY WHEN AUTHORIZED BY ENGINEER.
14. SUBGRADE, PIT RUN SUBBASE, AND SITE FILL MATERIALS SHALL BE MECHANICALLY COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557 (AASHTO T-99-STANDARD PROCTOR DENSITY) IN LIFTS NOT TO EXCEED 8 INCHES IN LOOSE THICKNESS.
15. CRUSHED GRAVEL BASE MATERIAL SHALL BE GRADING H OR GRADING W.
16. CRUSHED GRAVEL BASE COURSES SHALL BE MECHANICALLY COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D1557(AASHTO T-180-MODIFIED PROCTOR DENSITY).
17. ALL SITE WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST EDITION OF WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS AND ARTICLE 5 OF TOWN OF JACKSON DEVELOPMENT REGULATIONS.
18. DESTRUCTION AND DAMAGE TO TREES AND OTHER NATURAL VEGETATION SHALL BE MINIMIZED AND ALL DISTURBED SURFACES SHALL BE RESEEDD AS SOON AS PRACTICABLE IN ACCORDANCE TO THE REVEGETATION SPECIFICATIONS.
19. STRIP AND SALVAGE TOPSOIL FROM ALL EXCAVATED AREAS.
20. WEEDS SHALL BE CONTROLLED BY SPRAYING, LIMITING DISTURBANCE AREA, OR OTHER MEANS PRIOR TO REVEGETATION AND AFTER REVEGETATION IS COMPLETE.
21. FUGITIVE DUST WILL BE CONTROLLED BY WATERING DURING DRY PERIODS OR AS REQUIRED BY ENGINEER.
22. ALL EXCAVATED MATERIALS SHALL BE STOCKPILED AND PROCESSED ON-SITE ONLY AT LOCATIONS AS DESIGNATED ON THE PLANS.
23. TOPS OF CUT AND FILL SLOPES SHALL BE ROUNDED TO AVOID RAVELING AND EROSION.
24. A FOUR INCH MINIMUM LAYER OF TOPSOIL SHALL BE PLACED ON ALL SLOPES AND AREAS STRIPPED FOR GRADING.
25. CUT AND FILL SLOPES SHALL NOT EXCEED 2:1 WITHOUT SPECIAL STABILIZATION AND APPROVAL FROM ENGINEER.

OWNER
F.S.D. INVESTMENTS, LLC
P.O. BOX 9879
JACKSON, WY 83002

CIVIL ENGINEER
JORGENSEN ASSOCIATES, P.C.
1315 S. HIGHWAY 89, #201
P.O. BOX 9550
JACKSON, WY 83002-9550
(307) 733-5150

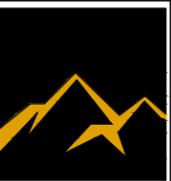
DESIGN ASSOCIATES ARCHITECTS
50 S. KING, STE 201
JACKSON, WY 83001
(307) 739-1001

LANDSCAPE ARCHITECT
DAVID WEAVER & ASSOCIATES
1605 S. WOODRUFF AVE.
IDAHO FALLS, IDAHO 83404
(208) 529-9504

INDEX OF SHEETS

C1.0	VICINITY MAP, NOTES, AND INDEX
C1.1	EXISTING CONDITIONS
C2.1	CIVIL UTILITY PLAN
C3.1	GRADING & STORMWATER PLAN
C3.2	BATCH PLANT ROAD ACCESS
C4.1	ROAD DETAILS
C4.2	WATER SYSTEM DETAILS
C4.3	SEWER SYSTEM DETAILS
C4.4	STORMWATER SYSTEM DETAILS

- PRELIMINARY -
 SUBJECT TO CORRECTION
 AND APPROVAL



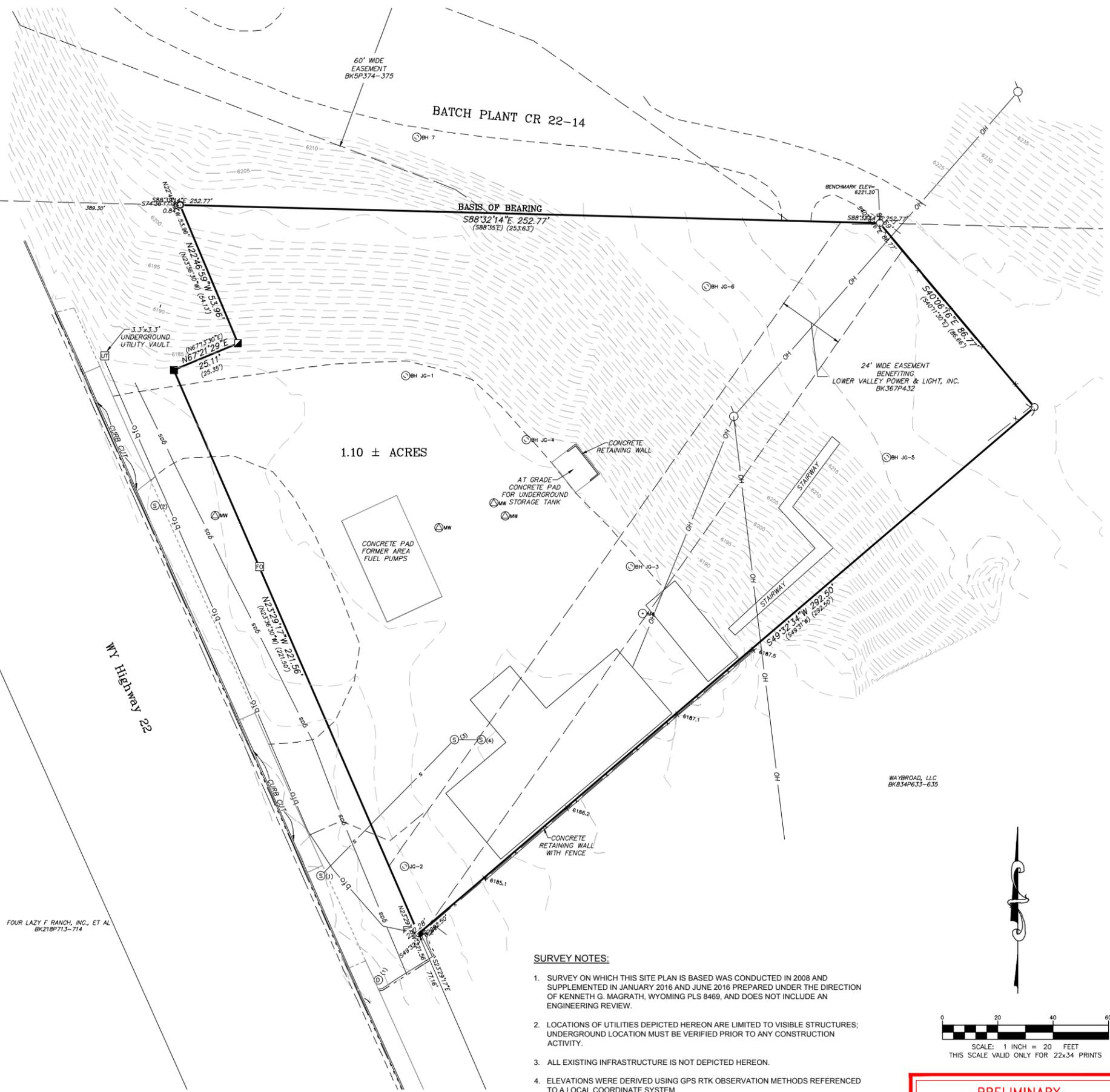
JORGENSEN
JACKSON, WYOMING
307.733.5150
www.jorgensenassociates.com

PROJECT TITLE:
**WESTVIEW TOWNHOMES
FINAL DEVELOPMENT PLAN
1255 WEST HIGHWAY 22
JACKSON, WYOMING**

SHEET TITLE:
VICINITY MAP, NOTES, LEGEND, AND INDEX

DRAFTED BY:	MC
REVIEWED BY:	AJ
PLAN VERSION	DATE
FDP	7/22/2016
PROJECT NUMBER	09040.03
SHEET	C1.0

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 Ver. 1.0
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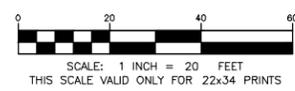


LEGEND:

- 6" sq. concrete post with 3-1/2" # brass cap inscribed "WYOMING DEPT. OF TRANSPORTATION PLS 482" with other appropriate markings
- 2-1/2" # aluminum pipe with 3" # aluminum cap inscribed "WYOMING DEPT. OF TRANSPORTATION PLS 482" with other appropriate markings RM indicates reference monument
- 2-1/2" # iron pipe with 3" # brass cap inscribed "U.S. CADASTRAL SURVEY BUREAU OF LAND MANAGEMENT 1956" with other appropriate markings RM indicates reference monument
- 1" # iron pipe with 2-1/2" # brass cap inscribed "U.S. GENERAL LAND OFFICE SURVEY 1956" with other appropriate markings
- 2-1/2" # iron pipe with 3" # brass cap inscribed "1998 PE & LS 578" with other appropriate markings
- 5/8" # steel reinforcing bar with 2" # aluminum cap inscribed "PLS 566"
- 5/8" # steel reinforcing bar with 1-1/2" # aluminum cap inscribed "PLS 4270"
- 5/8" # steel reinforcing bar with 1-1/2" # aluminum cap inscribed "PE & LS 578"
- boundary, SUBJECT PROPERTY
- boundary, adjoining property
- easement, record, as noted
- edge of pavement (SEE NOTE AT *)
- edge of gravel (SEE NOTE AT *)
- edge of pathway, concrete
- edge of pathway, asphalt
- curb
- flow line
- fence, chain-link, at grade and on retaining wall
- index contour (5' interval)
- intermediate contour (1' interval)
- measured bearing and distance
- record bearing and distance
- communications pedestal, fiber optic/telephone
- communications vault, size as noted, underground
- communications line, fiber optic/telephone, underground
- gas line, underground
- power/utility pole
- utility lines, overhead
- sewer manhole
- sanitary sewer line, approximate
- storm drain manhole
- storm drain line, approximate
- water well
- monitoring well
- bore hole

SURVEY NOTES:

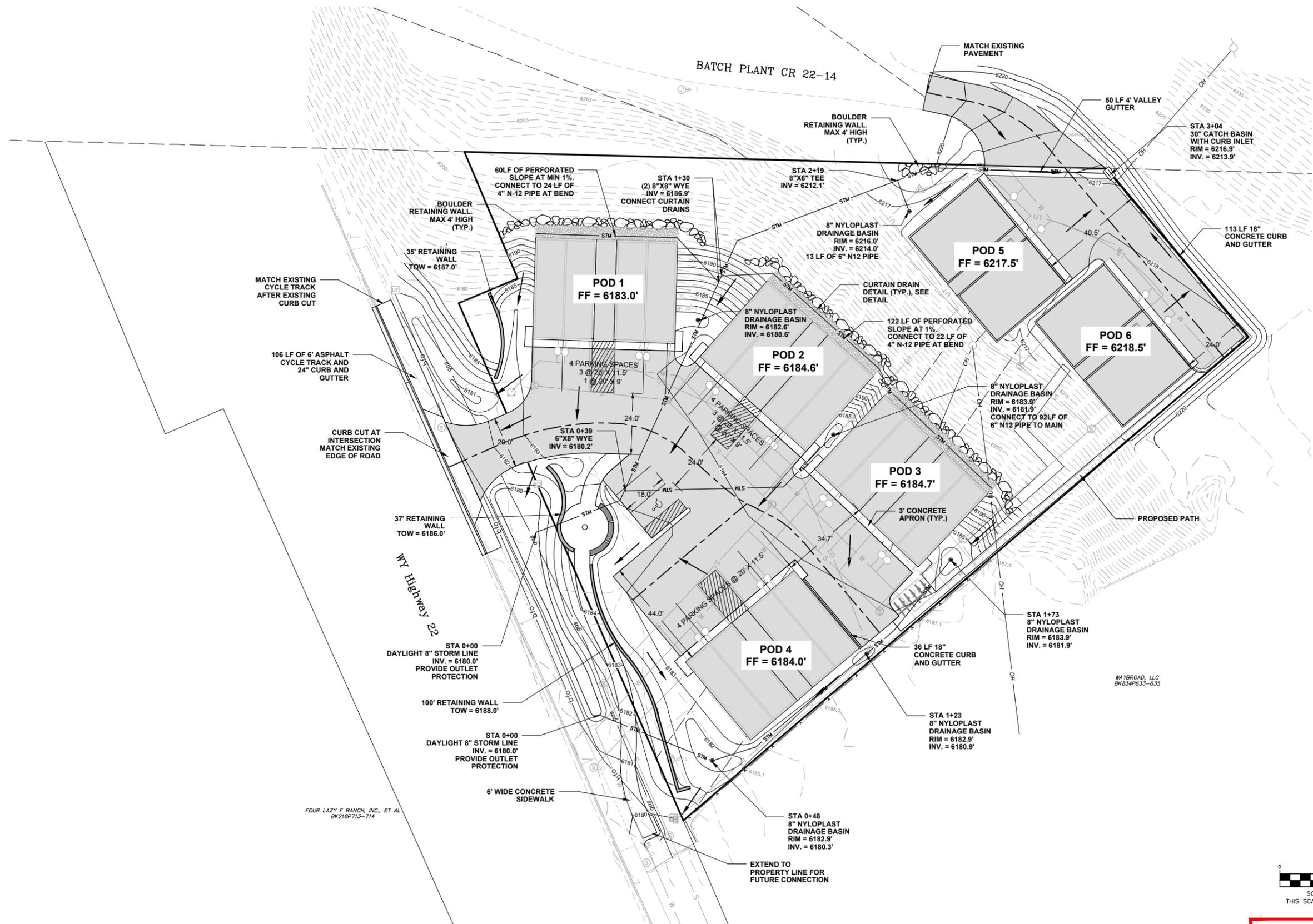
- SURVEY ON WHICH THIS SITE PLAN IS BASED WAS CONDUCTED IN 2008 AND SUPPLEMENTED IN JANUARY 2016 AND JUNE 2016 PREPARED UNDER THE DIRECTION OF KENNETH G. MAGRATH, WYOMING PLS 8469, AND DOES NOT INCLUDE AN ENGINEERING REVIEW.
- LOCATIONS OF UTILITIES DEPICTED HEREON ARE LIMITED TO VISIBLE STRUCTURES; UNDERGROUND LOCATION MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION ACTIVITY.
- ALL EXISTING INFRASTRUCTURE IS NOT DEPICTED HEREON.
- ELEVATIONS WERE DERIVED USING GPS RTK OBSERVATION METHODS REFERENCED TO A LOCAL COORDINATE SYSTEM.
- BASIS OF BEARING FOR THIS SURVEY IS S88°32'14"E ON THE NORTH LINE OF THE SW¼ NE¼ OF SECTION 32, TOWNSHIP 41 NORTH, RANGE 116 WEST, 6TH P.M.



**- PRELIMINARY -
 SUBJECT TO CORRECTION
 AND APPROVAL**

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 Ver. 1.01
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 Date: 7/20/2016 10:22:10 AM



- PRELIMINARY -
 SUBJECT TO CORRECTION
 AND APPROVAL

Tyler Valentine

From: Amy Ramage <aramage@tetonwyo.org>
Sent: Wednesday, October 12, 2016 5:03 PM
To: Tyler Valentine
Cc: Reed Armijo; Sean O'Malley
Subject: Re: Batch Plant Road

Tyler
I will be issuing the RER soon that will be approval with several conditions as I still have things to work out with fire and SAR.

Unfortunately I am dealing with a serious health issue with my husband and have had to make an emergency trip to salt lake so it won't be completed before next week. Hopefully this gives you enough info to go on for the moment. Sorry for the delay.

Amy

On Oct 7, 2016, at 9:10 AM, Tyler Valentine <TValentine@townofjackson.com> wrote:

Thank you Amy. I look forward to seeing it when it comes in.

-Tyler V

From: Amy Ramage [<mailto:aramage@tetonwyo.org>]
Sent: Thursday, October 06, 2016 3:36 PM
To: Tyler Valentine <TValentine@townofjackson.com>
Subject: RE: Batch Plant Road

Just got comments back late yesterday from plan review committee. I'll get it to you ASAP, but can't promise exactly when. About 50 brushfires on my plate...

From: Tyler Valentine [<mailto:TValentine@townofjackson.com>]
Sent: Thursday, October 06, 2016 11:54 AM
To: Amy Ramage <aramage@tetonwyo.org>
Subject: Batch Plant Road

Hey Amy,

I am just putting my staff report together for the Westview Townhomes which is due Wednesday next week. Just checking in to see what the status is for the Road Exception Request on the good ol Batch Plant Road!

Thanks,

TYLER VALENTINE
ASSOCIATE PLANNER
TOWN OF JACKSON
P.O. Box 1687
JACKSON, WYOMING 83001

(P) (307)733-0440

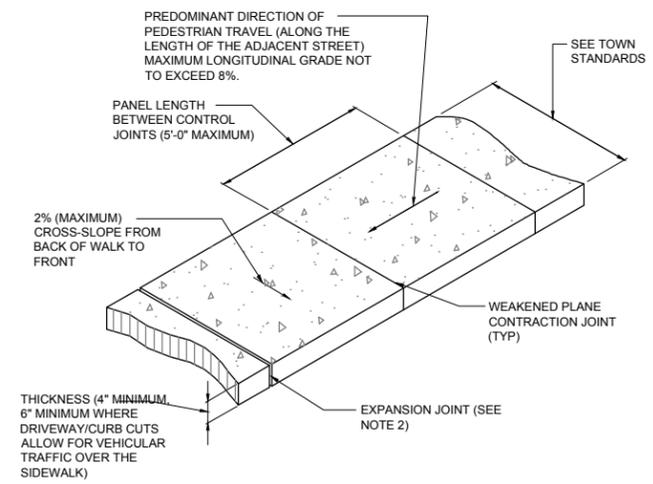
(F) (307)734-3563

TVALENTINE@TOWNOFJACKSON.COM

WWW.TOWNOFJACKSON.COM

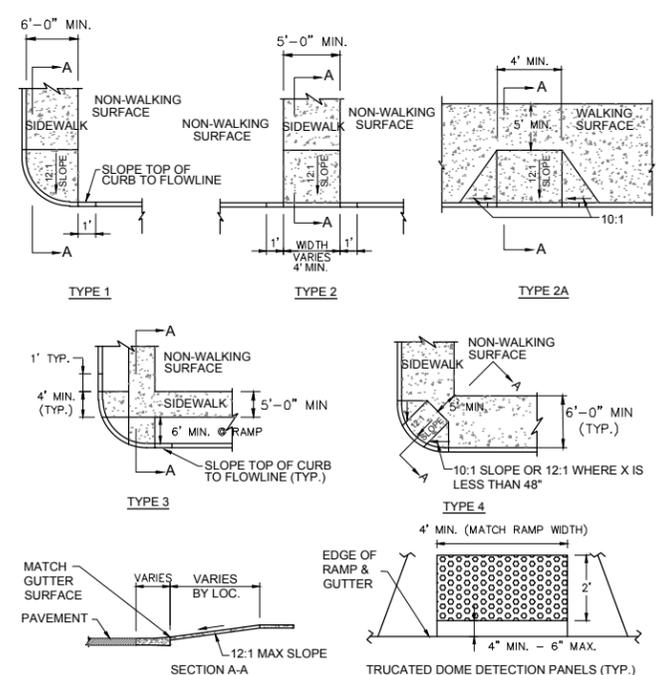
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Ver. 1.5.1
Revised by Jorgensen on Jul 22, 2016, 10:20am



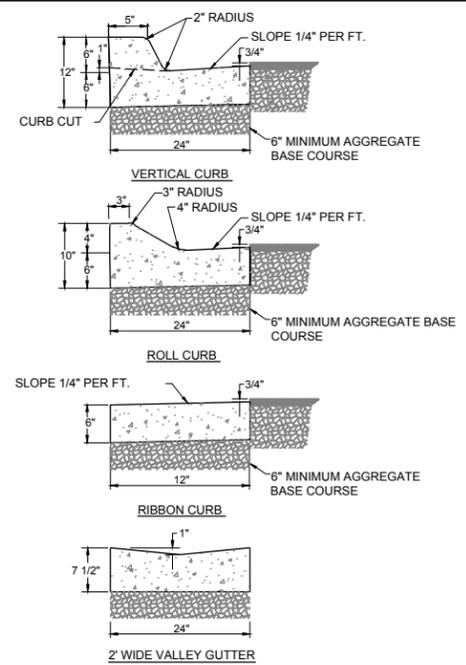
- NOTES:**
- SIDEWALK SHALL CONFORM TO ALL APPLICABLE ADA STANDARD REQUIREMENTS. SIDEWALKS SHALL CONFORM TO WPWSS SECTION 02776, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPWSS SECTION 03304, PART 2.07.
 - EXPANSION JOINTS SHALL BE PLACED IN SIDEWALK AT THE SAME LOCATIONS AS THOSE IN CURB AND GUTTER WHEN SIDEWALK IS ADJACENT TO CURB. (PER WPWSS SECTION 03251, PART 3.04 SPACING SHALL NOT EXCEED 32'-0" ON CENTER.)
 - FOR SIDEWALKS GREATER THAN SIX FEET IN WIDTH, A LONGITUDINAL CONTROL JOINT SHALL BE INSTALLED AT THE CENTER OF THE WALK.
 - REMOVAL AND REPLACEMENT OF SIDEWALK SHALL TAKE PLACE IN FULL PANELS.
 - AGGREGATE BASE COURSE SHALL BE FOUR INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.

1 CONCRETE SIDEWALK
C4.1 SCALE: NTS



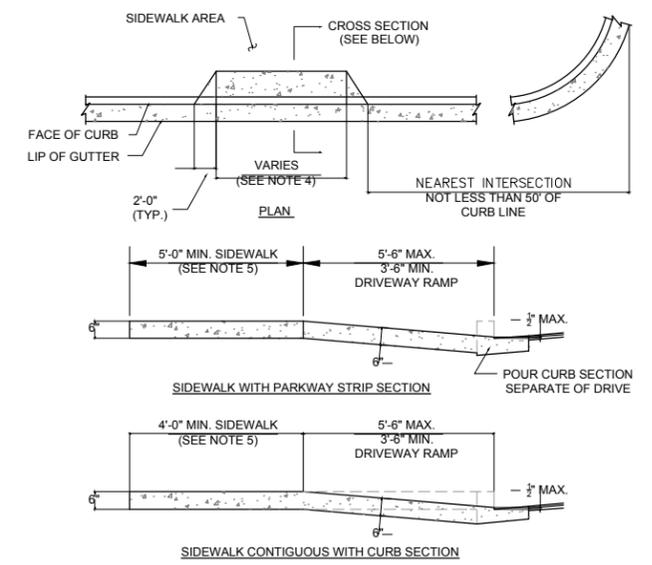
- NOTES:**
- SIDEWALKS SHALL CONFORM TO ALL APPLICABLE ADA STANDARD REQUIREMENTS.
 - LIP AT GUTTER TO BE NO MORE THAN 1/4" HIGH.
 - CONCRETE TO BE A BROOM FINISH.
 - ALL PEDESTRIAN RAMPS SHALL INCLUDE PLACEMENT OF CAST IRON TRUNCATED DOME DETECTION PANELS IN A BRICK RED COLOR.

5 PEDESTRIAN RAMP DETAILS
C4.1 SCALE: NTS



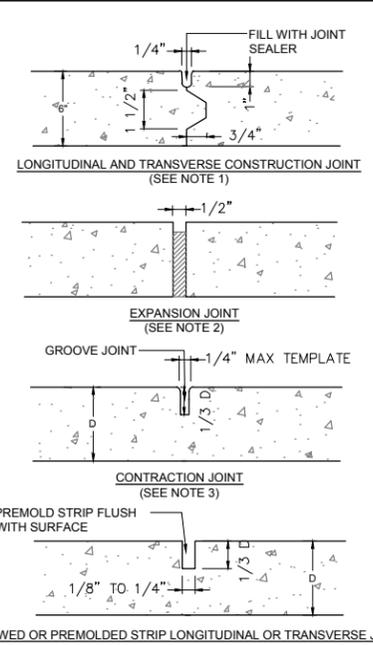
- NOTES:**
- CURBS SHALL CONFORM TO WPWSS SECTION 02525, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPWSS SECTION 03304, PART 2.07.
 - AGGREGATE BASE COURSE SHALL BE SIX INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
 - REMOVAL AND REPLACEMENT OF CURB SHALL TAKE PLACE IN FULL PANELS.
 - VERTICAL CURB SHALL BE USED IN PREFERENCE TO ROLL CURB.
 - CONTRACTION JOINTS SHALL BE PLACED AT 12' MAXIMUM FOR CURBS AND VALLEY GUTTER.

2 VALLEY GUTTER & CURB SECTIONS
C4.1 SCALE: NTS



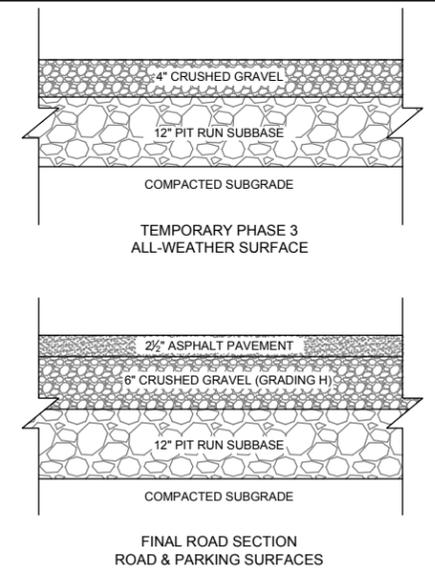
- NOTES:**
- DRIVEWAYS AND CURB CUT SHALL BE INSTALLED TO CONFORM WITH ALL APPLICABLE ADA STANDARD REQUIREMENTS.
 - CONCRETE DRIVEWAY RAMPS/CURB CUTS AND ASSOCIATED ADJACENT SIDEWALK SHALL CONFORM TO WPWSS SECTION 02776, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPWSS SECTION 03304, PART 2.07.
 - AGGREGATE BASE COURSE SHALL BE SIX INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
 - THE FLAT BOTTOM WIDTH DIMENSION OF CURB CUTS SHALL NOT EXCEED THE DIMENSIONS SET FORTH IN THE TOWN LAND DEVELOPMENT REGULATIONS.
 - THE ENTIRE SIDEWALK AND RAMP SHALL BE DEPRESSED AND INSTALLED AT A MAXIMUM CROSS-SLOPE OF 2% LONGITUDINAL SLOPE (ALONG THE SIDEWALK) AT EACH END OF THE DEPRESSED SECTION SHALL NOT BE STEEPER THAN 1:12.
 - SIDEWALK CONSTRUCTION SHALL BE PER TOWN STANDARDS.

6 DRIVEWAY CURB CUT
C4.1 SCALE: NTS



- NOTE:**
- KEYWAY FORMED BY FASTENING METAL KEY TO FORM.
 - 1/2" PREMOLDED NON-EXTRUDING EXPANSION JOINT MATERIAL TO MEET AASHTO M-59. EXPANSION MATERIAL SHALL BE INSTALLED WHEN ABUTTING EXISTING CONCRETE OR FIXED STRUCTURES SUCH AS INLETS AND DRIVEWAYS, AND EVERY 300' ON LONG STRAIGHT CONCRETE STRETCHES.
 - FORM WITH TEMPLATE OR SAWCUT JOINTS. IF SAWCUT JOINTS ARE USED, THEY SHALL BEGIN AS SOON AS CONCRETE IS HARDENED SUFFICIENTLY TO PERMIT SAWING WITHOUT EXCESSIVE RAVELING AND BEFORE UNCONTROLLED CRACKING OCCURS. MINIMUM DISTANCE BETWEEN JOINTS IS 5'.
 - JOINT LAYOUT FOR CONCRETE STREETS IS TO BE SUBMITTED TO THE TOWN ENGINEER FOR APPROVAL.

3 PAVING AND CONCRETE JOINT
C4.1 SCALE: NTS



- NOTES:**
- CLEAR VEGETATION AND STRIP TOPSOIL TO SUBGRADE. SCARIFY, CONDITION, AND COMPACT. PROOF ROLL IN THE PRESENCE OF THE ENGINEER.
 - MATERIAL STRIPPED TO DEPTH LOWER THAN SUBGRADE SHALL BE REPLACE WITH STRUCTURAL MATERL TO SUBGRADE ELEVATION.
 - WHERE UNSUITABLE SUBGRADE SOIL EXISTS, OVER EXCAVATION AND REPLACEMENT WILL BE REQUIRED. GEOGRID MAY BE SUBSTITUTED FOR OVER EXCAVATION UPON APPROVAL FROM GEOTECHNICAL ENGINEER.

4 ROAD SECTION DETAILS
C4.1 SCALE: NTS

DRAFTED BY:	ZD
REVIEWED BY:	AJ
PLAN VERSION	DATE
FDP	7/22/2016

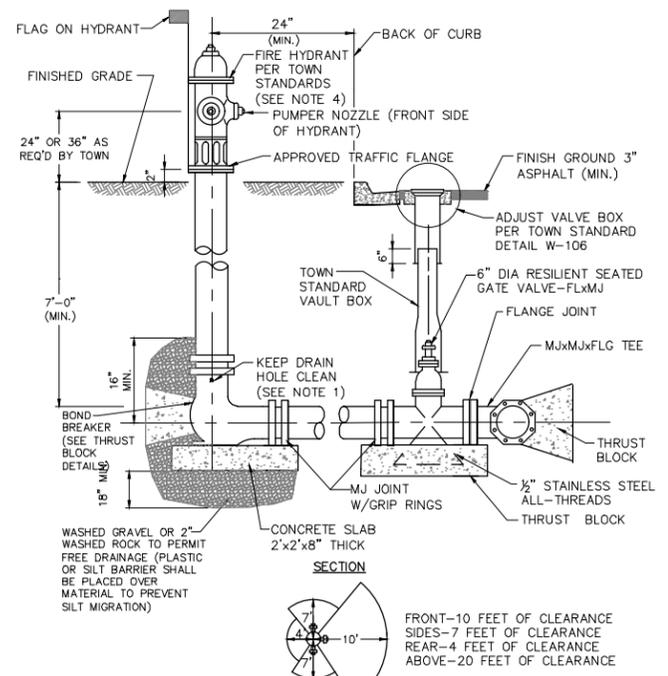
**- PRELIMINARY -
SUBJECT TO CORRECTION
AND APPROVAL**

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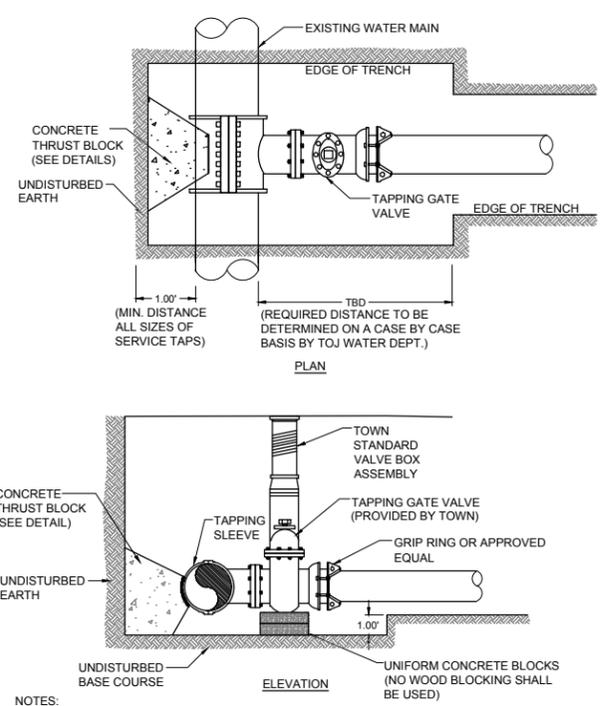
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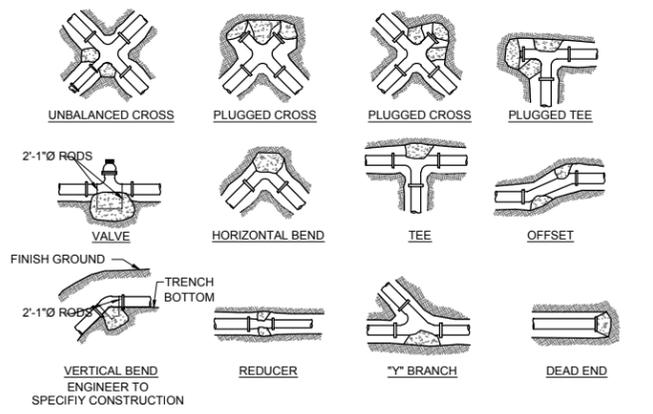
- NOTES:**
- HYDRANT DRAIN HOLE NOT PERMITTED IF BELOW WATER TABLE.
 - HYDRANT LOCATION TO BE APPROVED BY THE TOWN OF JACKSON PRIOR TO INSTALLATION.
 - THERE ARE NO ABOVE GROUND OBSTRUCTIONS ALLOWED IN THE AREAS SHOWN IN THE HYDRANT CLEARANCE DIAGRAM UNLESS APPROVED BY THE TOWN.
 - FIRE HYDRANTS SHALL BE WATEROUS PACER OR CLOW MOUNTAIN MEDALLION.

1 FIRE HYDRANT DETAIL
 SCALE: NTS



- NOTES:**
- THE TOWN SHALL COMPLETE THE TAPPING OF THE MAIN. NO OTHER PERSONS SHALL COMPLETE TAP WITHOUT CONSENT OF TOWN. ALL OTHER WATER MAIN WORK SHALL BE THE RESPONSIBILITY OF THE OWNER.
 - TRENCH WILL BE EXCAVATED TO MEET ALL WYOSHA STANDARDS PRIOR TO TAPPING.
 - EXCAVATION OF TAPPING LOCATION SHALL BE APPROVED BY TOJ WATER DEPARTMENT PRIOR TO TAPPING.

2 WATER MAIN TAPPING
 SCALE: NTS

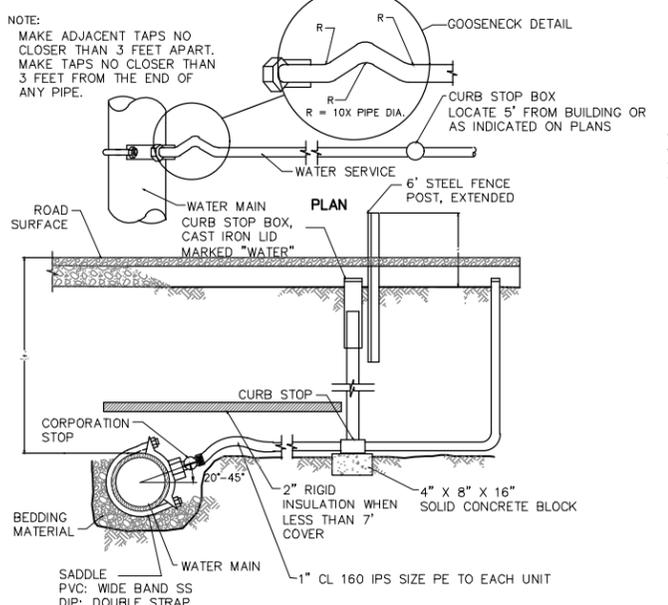


MINIMUM DIMENSIONS FOR THRUST BLOCKING

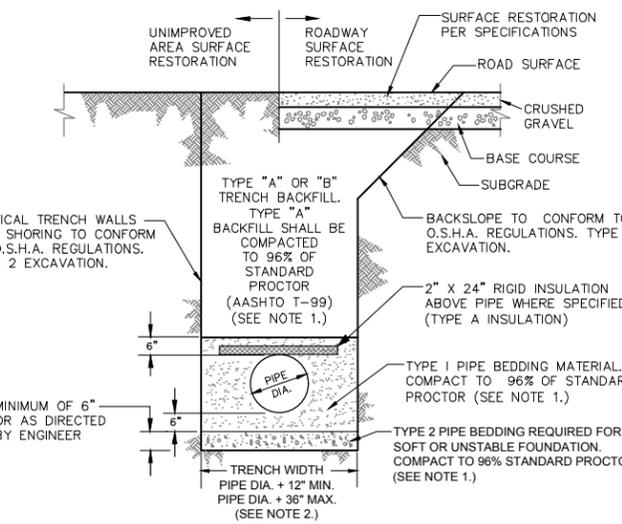
FITTING SIZE	TEES & PLUGS		90° BENDS		45° BENDS & WYES		REDUCERS & 22 1/2° BENDS		11 1/4° BENDS	
	A	B	A	B	A	B	A	B	A	B
4"	1'-3"	1'-2"	1'-9"	1'-8"	1'-8"	0'-10"	1'-7"	0'-8"	0'-6"	0'-6"
6"	2'-0"	1'-11"	2'-5"	2'-2"	1'-10"	1'-7"	1'-9"	0'-10"	1'-0"	0'-6"
8"	2'-8"	2'-6"	3'-2"	3'-0"	2'-5"	2'-1"	1'-9"	1'-6"	1'-0"	1'-0"
10"	3'-4"	3'-3"	4'-0"	3'-10"	3'-0"	2'-9"	2'-2"	1'-11"	1'-6"	1'-0"
12"	4'-0"	3'-10"	4'-8"	4'-8"	3'-8"	3'-3"	2'-7"	2'-3"	2'-0"	1'-0"
14"	5'-5"	3'-10"	6'-8"	4'-11"	4'-9"	3'-5"	3'-5"	2'-5"	2'-0"	1'-6"
20"	5'-0"	5'-0"	6'-0"	6'-0"	5'-0"	4'-0"	3'-6"	3'-0"	3'-0"	2'-0"
24"	6'-0"	6'-0"	7'-0"	7'-0"	5'-0"	5'-0"	4'-6"	3'-0"	3'-0"	3'-0"
30"	7'-6"	7'-6"	8'-0"	8'-0"	6'-3"	6'-3"	4'-9"	4'-6"	3'-3"	3'-3"

- NOTES:**
- SIZE BLOCKS SHALL BE A MINIMUM OF 6" THICK.
 - ALL BLOCKING SHALL BEAR AGAINST UNDISTURBED MATERIAL.
 - DESIGN IS BASED ON 150 PSI MAIN PRESSURE AND 2000 PSF SOIL BEARING CAPACITY.
 - 4 MIL POLYETHYLENE PLASTIC BOND BREAKER SHALL BE PROVIDED BETWEEN THRUST BLOCK AND WATER PIPE.

3 THRUST BLOCK DETAILS
 SCALE: NTS

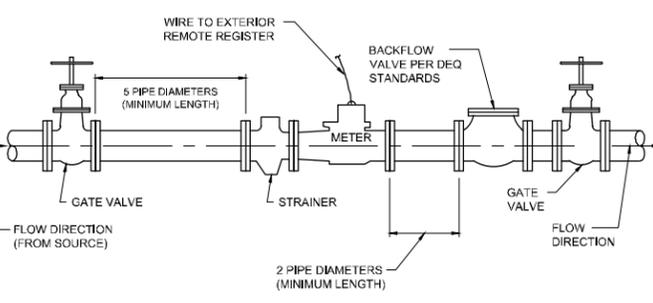
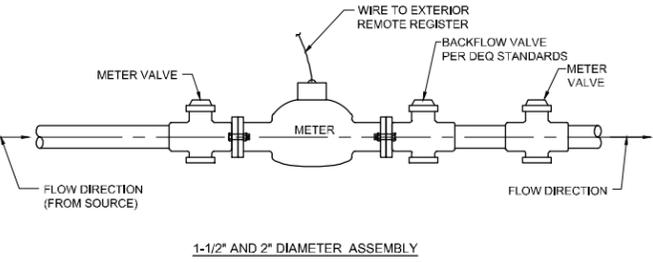


5 TYPICAL WATER SERVICE
 SCALE: NTS



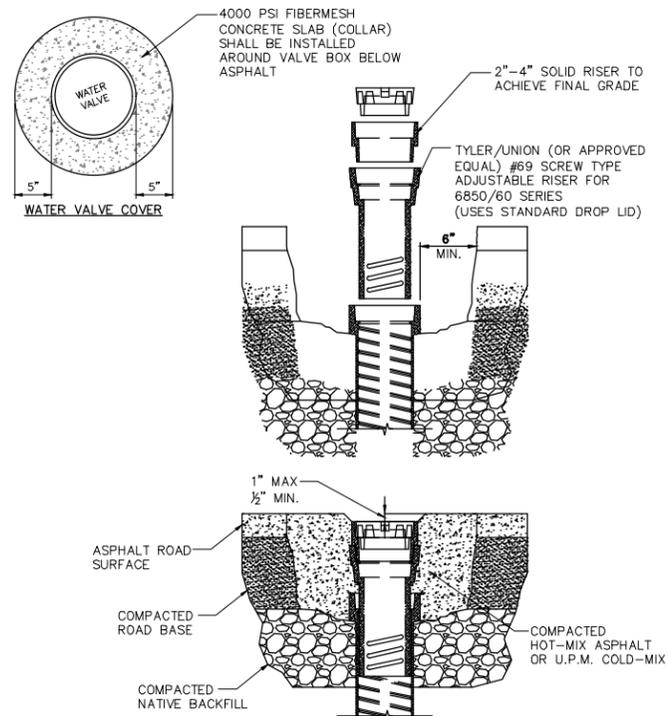
- NOTES:**
- FOR TRENCHING, BEDDING AND BACKFILL REQUIREMENTS, SEE SECTIONS 02220 AND 02225.
 - WHERE THE SPECIFIED MAXIMUM TRENCH WIDTH IS EXCEEDED, OR IF THE PIPE IS INSTALLED IN COMPACTED EMBANKMENT, THEN PIPE EMBEDMENT SHALL BE COMPACTED TO 96% OF STANDARD PROCTOR MAXIMUM DENSITY (ASTM D-698) TO A POINT AT LEAST 3 PIPE DIAMETERS FROM THE PIPE ON BOTH SIDES OF THE PIPE OR TO THE TRENCH WALL, WHICHEVER IS LESS.
 - WHERE TRENCH PASSES THROUGH EXISTING PAVEMENT, THE PAVEMENT SHALL BE CUT IN ACCORDANCE WITH SECTION 02075-3.01.
 - PROVIDE 12" MINIMUM HORIZONTAL CLEARANCE BETWEEN PIPE WALLS FOR MULTIPLE PIPES INSTALLED IN SAME TRENCH. MATCH INVERT ELEVATIONS UNLESS OTHERWISE SPECIFIED.

6 TYPICAL WATER/SEWER TRENCH
 SCALE: NTS



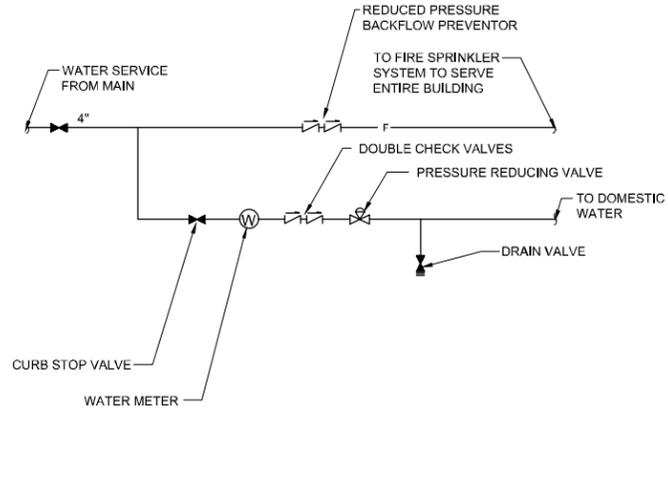
- NOTES:**
- SERVICE PIPE MATERIAL SHALL MEET ADOPTED PLUMBING CODE REQUIREMENTS.
 - METER SHALL BE INSTALLED IN HORIZONTAL ALIGNMENT ONLY.
 - CONNECTIONS WITHIN THE ASSEMBLY SHALL BE THREADED OR BOLTED FLANGED, AS APPROPRIATE.

7 WATER METER INSTALLATION
 SCALE: NTS



- NOTES:**
- ADJUST WATER VALVES UPWARD OR DOWNWARD AS REQUIRED. FINAL ADJUSTMENT SHALL BE MADE AFTER PAVING AND BEFORE SEAL COATING.
 - THE TOWN SHALL INSPECT THE VERTICAL ALIGNMENT PRIOR TO AND POST BACKFILLING.
 - MUD PLUGS ARE REQUIRED TO BE PLACED IN ALL VALVE BOXES.

4 GATE VALVE DETAIL
 SCALE: NTS



8 WATER SERVICE FIRE ENTRY DETAIL
 SCALE: NTS

- PRELIMINARY -
SUBJECT TO CORRECTION AND APPROVAL



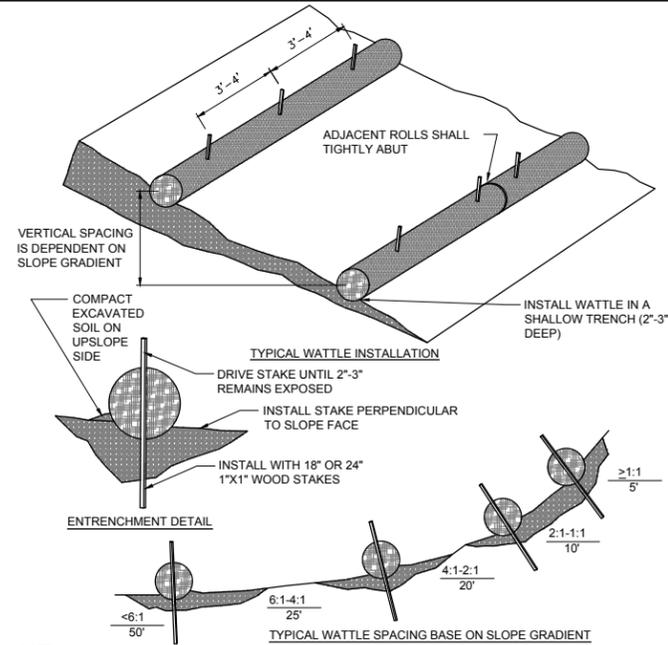
PROJECT TITLE:
WESTVIEW TOWNHOMES
FINAL DEVELOPMENT PLAN
1255 WEST HIGHWAY 22
JACKSON, WYOMING

SHEET TITLE:
WATER SYSTEM DETAILS

DRAFTED BY: ZD
 REVIEWED BY: AJ
 PLAN VERSION: FDP
 DATE: 7/22/2016

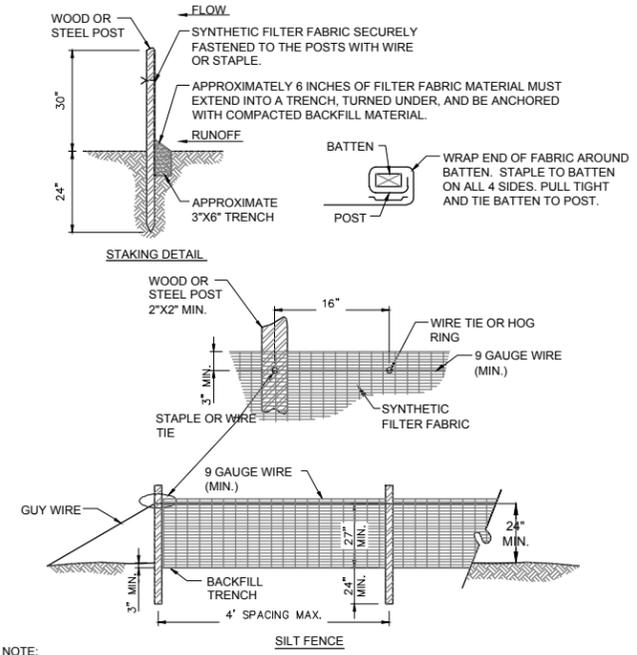
PROJECT NUMBER: 09040.03
 SHEET: C4.2

Ver. 18.1
Revised by Jorgensen on Jul 22, 2016, 10:10am



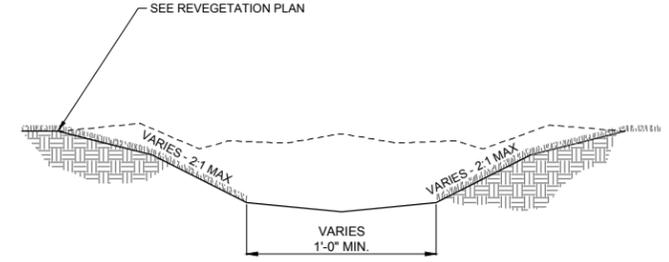
- NOTE:**
- BEGIN AT THE LOCATION WHERE THE WATTLE IS TO BE INSTALLED BY EXCAVATING A 2'-3" DEEP BY 9" WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP-SLOPE FROM THE ANCHOR TRENCH.
 - PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPHILL SIDE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.
 - SECURE THE WATTLE WITH 18"-24" STAKES EVERY 3'-4" AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2'-3" OF STAKE EXTENDING ABOVE THE WATTLE. STAKES SHOULD BE DRIVEN PERPENDICULAR TO SLOPE FACE.
 - EROSION CONTROL PLAN AND LOCATION OF STRAW WATTLES SHALL BE APPROVED BY THE TOJ PUBLIC WORKS DEPARTMENT.

1 STRAW WATTLE DETAIL
SCALE: NTS

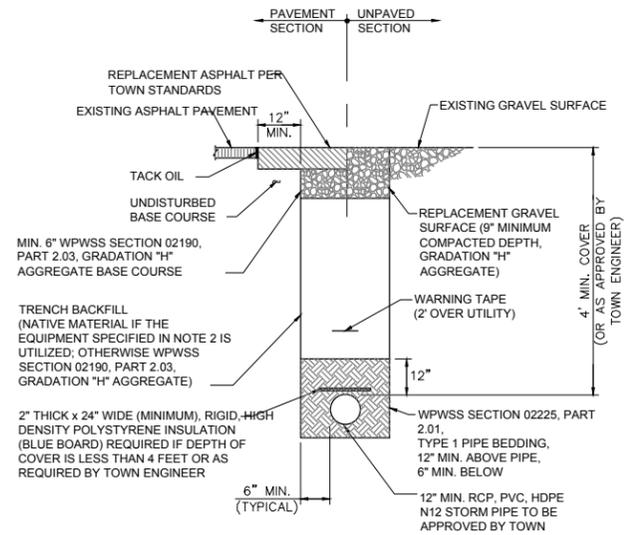


- NOTE:**
- TIE WIRES TO LAP FOR LONG FENCES AND TO BE GUYED TO GROUND WITH 24"x2"x2" HARDWOOD STAKE OR TO POST BOTTOM EVERY 4 SPANS.
 - LOCATION OF SILT FENCE MUST BE PRE-APPROVED BY THE TOJ PUBLIC WORKS DEPARTMENT.

2 SILT FENCE DETAIL
SCALE: NTS

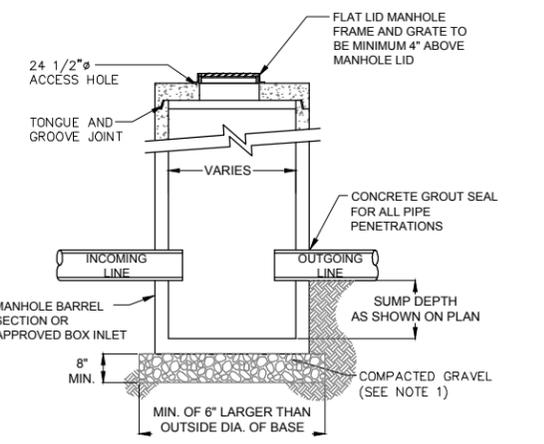


3 STORMWATER CUT-OFF TRENCH
SCALE: NTS



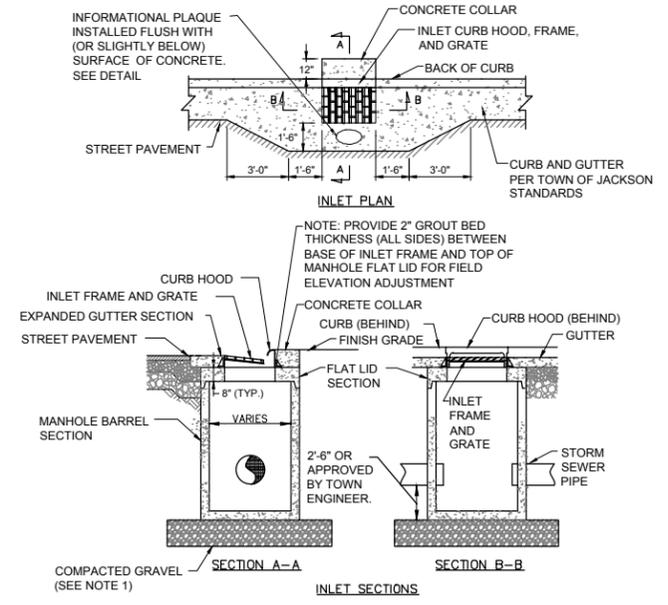
- NOTES:**
- TRENCH BACKFILL BELOW THE SURFACE SHALL MEET THE FOLLOWING CRITERIA:
- 95% MODIFIED PROCTOR DENSITY WITHIN STREET AND ALLEY RIGHTS-OF-WAY.
- 90% MODIFIED PROCTOR DENSITY OUTSIDE STREET AND ALLEY RIGHTS-OF-WAY.
 - COMPACTION OF NATIVE TRENCH BACKFILL, WITH ALL ROCK LARGER THAN 6" REMOVED, SHALL BE CARRIED OUT IN 2' LIFTS WITH A HOE-PACK OR A VIBRATORY SHEEPS FOOT ROLLER (COMPACTION METHOD AND EQUIPMENT SHALL BE REVIEWED AND APPROVED BY TOWN ENGINEER PRIOR TO BACKFILLING).
 - PIPE BEDDING SHALL BE PLACED IN 6" LIFTS AND THOROUGHLY COMPACTED WITH A JUMPING JACK TO PROVIDE UNIFORM PIPE SUPPORT.
 - UNLESS OTHERWISE DIRECTED, ALL BASE COURSE AND GRAVEL SURFACE REPLACEMENT SHALL BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
 - ALL TRENCH EXCAVATION SHALL CONFORM TO WYOMING OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (WOSHA) REGULATIONS.

4 TYPICAL STORMWATER TRENCH
SCALE: NTS



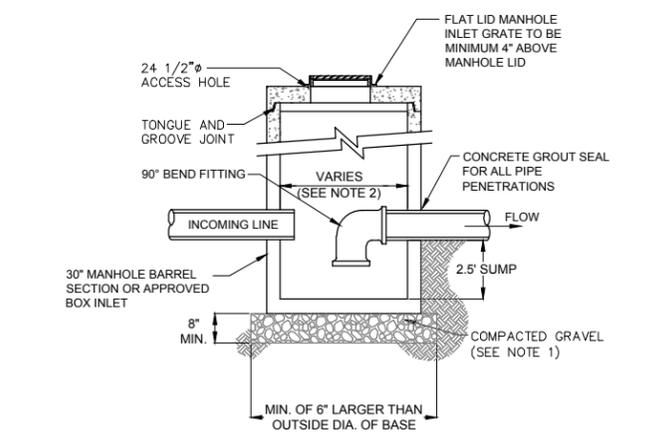
- NOTES:**
- GRAVEL SHALL BE EIGHT INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
 - MANHOLE COVER SHALL BE DESIGNED FOR HS20 LOADING.
 - SEE DETAIL FOR CAST IRON FRAME AND COVER.

5 STORM DRAIN MANHOLE
SCALE: NTS



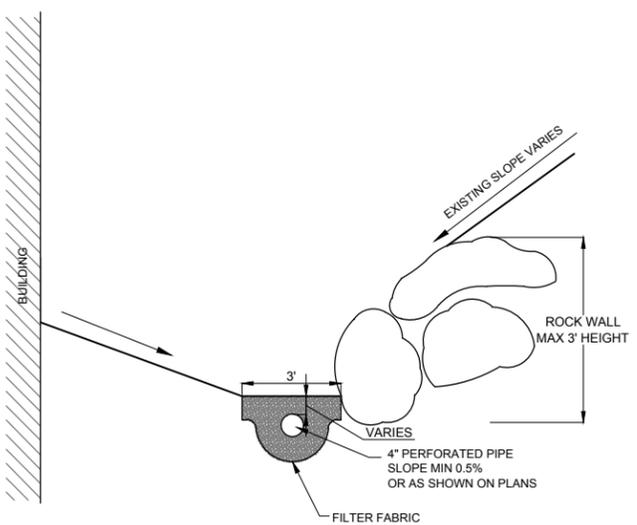
- NOTES:**
- GRAVEL SHALL BE EIGHT INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
 - WHERE INLET IS SHOWN ALONG VALLEY GUTTER, NO CURB HOOD SHALL BE USED. INCLUDE 1" COLLAR AROUND INLET GRATE. SINGLE VALLEY GUTTER INLET FRAME AND GRATE TO BE D&L I-3386, OR APPROVED EQUAL.

6 CURB/VALLEY GUTTER INLET
SCALE: NTS



- NOTES:**
- GRAVEL SHALL BE EIGHT INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
 - ALL DIMENSIONS TO BE APPROVED BY THE TOWN PUBLIC WORKS DEPARTMENT.
 - MANHOLE COVER SHALL BE DESIGNED FOR HS-20 LOADING.
 - SEE DETAIL FOR CAST IRON FRAME AND COVER.
 - SEE ADJUSTMENT AND COLLAR DETAIL.

7 TYPICAL STORM DRAIN INLET
SCALE: NTS



8 ROOF DRAIN DETAIL
SCALE: NTS

- PRELIMINARY -
SUBJECT TO CORRECTION
AND APPROVAL



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SHEET TITLE:
STORMWATER SYSTEM DETAILS

DRAFTED BY:	ZD
REVIEWED BY:	AJ
PLAN VERSION	DATE
FDP	7/22/2016
PROJECT NUMBER	09040.03
SHEET	C4.4

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