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pierson land works LLC  
www.piersonlandworks.com

November 12, 2015

Town of Jackson Planning & Building  
P.O. Box 1687  
150 E. Pearl Avenue  
Jackson, WY 83001

**RE:** Planning Permit Application for a Zoning Map Amendment – 212 – 234 E. Pearl Avenue.

Dear Planning,

On behalf of MCM Bros, LLC, we are submitting the attached Planning Permit application for a Zoning Map Amendment.

Please find (12) copies the following items enclosed for your review:

- o Planning Permit Application for a ZMA
- o Check for \$1,500.00
- o Letter of Authorization and Warranty Deed
- o Narrative and Supporting exhibits
- o One Digital Copy

Please do not hesitate to contact me at 733-5429 or [christen@plwllc.com](mailto:christen@plwllc.com) if you have any questions concerning this transmittal. I look forward to hearing from you as you conduct your sufficiency review.

Sincerely,

Christen Holt  
Pierson Land Works, LLC

Enclosure(s)



**PLANNING PERMIT APPLICATION**  
**Planning & Building Department**  
**Planning Division**

150 E Pearl Ave. | ph: (307) 733-0440  
 P.O. Box 1687 | fax: (307) 734-3563  
 Jackson, WY 83001 | [www.townofjackson.com](http://www.townofjackson.com)

*For Office Use Only*

Fees Paid \_\_\_\_\_  
 Check # \_\_\_\_\_ Credit Card \_\_\_\_\_ Cash \_\_\_\_\_  
 Application #s \_\_\_\_\_

**PROJECT.**

Name/Description: MCM Bros, LLC - Zoning Map Amendment  
 Physical Address: 212 - 234 E. Pearl Avenue  
 Lot, Subdivision: Lot 6, Block4, Cache 1st and Lots 17-19, Cache 4th PIDN: \_\_\_\_\_

**OWNER.**

Name: MCM Bros, LLC Phone: \_\_\_\_\_  
 Mailing Address: 3383 E. Bengal Blvd., Apt. 7, Cottonwood Heights, UT ZIP: 84121  
 E-mail: williemcmillon@gmail.com

**APPLICANT/AGENT.**

Name: Christen Holt, Pierson Land Works, LLC Phone: 307-733-5429  
 Mailing Address: PO Box 1143, Jackson, WY ZIP: 83001  
 E-mail: christen@plwllc.com

**DESIGNATED PRIMARY CONTACT.**

\_\_\_\_\_ Owner       Applicant/Agent

**TYPE OF APPLICATION.** *Please check all that apply; see Fee Schedule for applicable fees.*

<b>Use Permit</b>	<b>Physical Development</b>	<b>Interpretations</b>
_____ Basic Use	_____ Sketch Plan	_____ Formal Interpretation
_____ Conditional Use	_____ Development Plan	_____ Zoning Compliance Verification
_____ Special Use		
<b>Relief from the LDRs</b>	<b>Development Option/Subdivision</b>	<b>Amendments to the LDRs</b>
_____ Administrative Adjustment	_____ Development Option Plan	_____ LDR Text Amendment
_____ Variance	_____ Subdivision Plat	<input checked="" type="checkbox"/> Zoning Map Amendment
_____ Beneficial Use Determination	_____ Boundary Adjustment (replat)	_____ Planned Unit Development
_____ Appeal of an Admin. Decision	_____ Boundary Adjustment (no plat)	

**PRE-SUBMITTAL STEPS.** Pre-submittal steps, such as a pre-application conference, environmental analysis, or neighborhood meeting, are required before application submittal for some application types. See Section 8.1.5, Summary of Procedures, for requirements applicable to your application package. If a pre-submittal step is required, please provide the information below. If you need assistance locating the project number or other information related to a pre-submittal step, contact the Planning Department. **If this application is amending a previous approval, indicate the original permit number.**

Pre-application Conference #: P15-071 Environmental Analysis #: \_\_\_\_\_  
Original Permit #: \_\_\_\_\_ Date of Neighborhood Meeting: \_\_\_\_\_

**SUBMITTAL REQUIREMENTS.** Twelve (12) hard copies and one (1) digital copy of the application package (this form, plus all applicable attachments) should be submitted to the Planning Department.. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant.

Have you attached the following?

- Application Fee.** Fees are cumulative. Applications for multiple types of permits, or for multiple permits of the same type, require multiple fees. See the currently adopted Fee Schedule in the Administrative Manual for more information.
- Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. If the owner is a partnership or corporation, proof that the owner can sign on behalf of the partnership or corporation is also required. Please see the Letter of Authorization template in the Administrative Manual for a sample.
- Response to Submittal Checklist.** All applications require response to applicable review standards. These standards are outlined on the Submittal Checklists for each application type. If a pre-application conference is held, the Submittal Checklists will be provided at the conference. If no pre-application conference is required, please see the Administrative Manual for the applicable Checklists. The checklist is intended as a reference to assist you in submitting a sufficient application; submitting a copy of the checklist itself is not required.

**FORMAT.**

The main component of any application is demonstration of compliance with all applicable Land Development Regulations (LDRs) and Resolutions. The submittal checklists are intended to identify applicable LDR standards and to outline the information that must be submitted to sufficiently address compliance with those standards.

For some submittal components, minimum standards and formatting requirements have been established. Those are referenced on the checklists where applicable. For all other submittal components, the applicant may choose to make use of narrative statements, maps, drawings, plans and specifications, tables and/or calculations to best demonstrate compliance with a particular standard.

**Note:** Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

Christen Holt  
Signature of Owner or Authorized Applicant/Agent  
Christen Holt  
Name Printed

11/12/15  
Date  
Dev. Planner  
Title

**LETTER OF AUTHORIZATION**

MCM Bros, LLC, "Owner" whose address is: 3383 E. Bengal

Blvd Apt 7, Cottonwood Heights UT 84121

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

MCM Bros, LLC, as the owner of property

more specifically legally described as: Lot 6 Block 4, Cache Creek 1st addition and Lots 17-19.

Cache Creek 4th Addition, 212 - 234 E. Pearl Avenue

(If too lengthy, attach description)

HEREBY AUTHORIZES Pleerson Land Works LLC as

agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER: [Signature]

(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: Owner

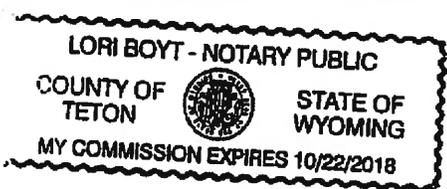
(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

STATE OF Wyoming )  
 )SS.  
COUNTY OF Teton )

The foregoing instrument was acknowledged before me by Shade Willic McMillan this 14 day of October, 2015

WITNESS my hand and official seal.  
[Signature]

(Notary Public)  
My commission expires: 10/22/2018



file  
2nd

WARRANTY DEED

BECANAAN McMILLON, a married man, and SHADE WILLIE McMILLON, a single man, GRANTORS, for TEN DOLLARS (\$10.00) and other valuable consideration, the receipt of which is hereby acknowledged, CONVEYS and WARRANTS to McM Bros., LLC, a Wyoming limited liability company, GRANTEE, of P.O. Box 2078, Jackson, WY 83001, the following described real property, situated in Teton County, Wyoming, hereby releasing and waiving all rights under and by virtue of the homestead exemption laws of the State of Wyoming, to-wit:

Lots 17, 18 and 19 of the Cache Creek Fourth Addition to the Town of Jackson, Teton County, Wyoming, according to that plat recorded in the Office of the Clerk of Teton County, Wyoming as on May 22, 1997 as Plat No. 902

PIDN 22-41-16-34-2-59-003, 22-41-16-34-2-59-002 & 22-41-16-34-2-59-001

AND

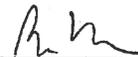
Lot 6 of Block 4 of the Cache Creek Addition to the Town of Jackson, Teton County, Wyoming, according to that plat recorded in the Office of the Clerk of Teton County, Wyoming as on July 18, 1905 as Plat No. 102

PIDN 22-41-16-34-2-58-001

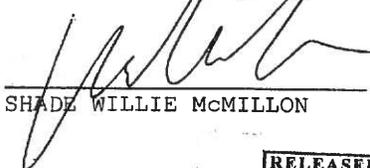
Together with all tenements, hereditaments, appurtenances and improvements thereon, and subject to taxes, encumbrances, covenants, conditions, restrictions, reservations, mineral interests, and easements of sight and record, if any.

AMANDA GUTIERREZ McMILLON, spouse of Grantor BECANAAN McMILLON, joins in this Deed for the sole purpose of releasing any homestead interest she may have in and to the real property pursuant to the laws of the State of Wyoming.

WITNESS MY HAND this 20 day of SEPTEMBER, 2012.

  
BECANAAN McMILLON

  
AMANDA GUTIERREZ McMILLON

  
SHADE WILLIE McMILLON

GRANTOR: MC MILLON, BECANAAN  
GRANTEE: MC M BROS LLC  
Doc 0822410 bk 820 pg 275-277 Filed At 15:13 ON 09/25/12  
Sherry L. Daigle Teton County Clerk fees: 14.00  
By Michele Fairhurst Deputy

RELEASED	
INDEXED	✓
ABSTRACTED	✓
SCANNED	

STATE OF UTAH )  
 ) ss.  
County of SALT )  
 LAKE )

ACKNOWLEDGMENT

The foregoing instrument was acknowledged before me by  
BECANAAN McMILLON and AMANDA GUTIERREZ McMILLON this 20 day  
of SEPTEMBER, 2012.

Witness my hand and official seal.



Patricia Artzen  
NOTARY PUBLIC

My commission expires: 6/24/14

STATE OF )  
 ) ss.  
County of )

ACKNOWLEDGMENT

The foregoing instrument was acknowledged before me by  
SHADE WILLIE McMILLON this \_\_\_ day of \_\_\_\_\_, 2012.

Witness my hand and official seal.

See Attached

\_\_\_\_\_  
NOTARY PUBLIC

My commission expires:

**CALIFORNIA ALL-PURPOSE ACKNOWLEDGMENT**

State of California

County of Orange

On September 26, 2013 before me, Ienneke Suwito, Notary Public

personally appeared Shade Willie McMillon

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s), or the entity upon behalf of which the person(s) acted, executed the instrument.



I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS my hand and official seal.

Place Notary Seal Above

Signature Ienneke Suwito  
Signature of Notary Public

**OPTIONAL**

Though the information below is not required by law, it may prove valuable to persons relying on the document and could prevent fraudulent removal and reattachment of this form to another document.

**Description of Attached Document**

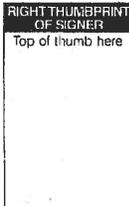
Title or Type of Document: Warranty Deed

Document Date: \_\_\_\_\_ Number of Pages: \_\_\_\_\_

Signer(s) Other Than Named Above: \_\_\_\_\_

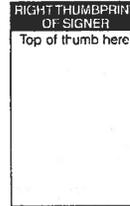
**Capacity(ies) Claimed by Signer(s)**

- Signer's Name: \_\_\_\_\_
- Individual
  - Corporate Officer — Title(s): \_\_\_\_\_
  - Partner —  Limited  General
  - Attorney in Fact
  - Trustee
  - Guardian or Conservator
  - Other: \_\_\_\_\_



Signer Is Representing: \_\_\_\_\_

- Signer's Name: \_\_\_\_\_
- Individual
  - Corporate Officer — Title(s): \_\_\_\_\_
  - Partner —  Limited  General
  - Attorney in Fact
  - Trustee
  - Guardian or Conservator
  - Other: \_\_\_\_\_



Signer Is Representing: \_\_\_\_\_

# Zoning Map Amendment

For

Lot 17, Cache 4<sup>th</sup>

Lot 18, Cache 4<sup>th</sup>

Lot 19, Cache 4<sup>th</sup>

Lot .6, Block4, Cache 1<sup>st</sup>

**Submitted on:** November 12, 2015

**Submitted to:** Town of Jackson, Planning Department

**Applicant:**

MCM Bros, LLC  
3383 E. Bengal Blvd. Apt. 7  
Cottonwood Heights, UT 84121

**Prepared By:** Attn: Christen Holt

Pierson Land Works, LLC

P.O. Box 1143

180 S. Willow St.

Jackson, WY 83001

(307) 733-5429



## I. Project Introduction

This application is seeking a Zoning Map Amendment for .86 Acres consisting of Lot 17, Cache 4th (.26 Acres); Lot 18, Cache 4th (.17 Acres); Lot 19, Cache 4th (.26 Acres); and Lot 6, Block 4, Cache 1st (.17 Acres) properties, located on Pearl Street Avenue, east of Willow St. as shown on Exhibit A. As shown on Exhibit B, the properties are currently zoned Auto-Residential (AR) and have small, detached habitable units sparsely located on the contiguous lots. While the applicant does not have a specific development program solidified at this time, they have expressed interest in rezoning their property in a manner that affords the community additional opportunities for workforce and middle-income housing. Specifically, to catalyze this opportunity, this application proposes to slightly increase development potential on the subject properties by amending the zoning from Auto-Residential (AR) to Urban Residential (UR).

While the existing code allows up to three units per AR-zoned lot, it does not permit attached single-family unit uses in the form of townhomes or condominiums, nor does it permit multi-family uses such as apartments. Given the subject properties' close proximity to mass transit, downtown employment opportunities, restaurants, and general services, permitting UR zoning which allows denser residential uses, is more appropriate. Currently, with a maximum .35 AR-zoning, the 4 lots could only build up to 13,111 sf, or 3,277 sf per lot on average. If approved, a maximum .45 FAR allowed under UR zoning would permit up to 16,857 sf, or 4,214 sf per lot on average. Since both the UR and AR zone only permit a maximum of 2 stories for residential development, the bulk and scale of the permitted building types under UR zoning will not be drastically different in terms of the character form permitted under AR zoning. The following table outlines the difference between AR and UR zoning, illustrating the relatively minor increase in development potential UR zoning permits compared to the current AR zoning on the subject property. Please note the table's ranges under AR zoning reflect the allowance for two Accessory Residential Units per AR-zoned lot.

<b>Dimensional Limitations</b>	<b>UR Zoning</b>	<b>AR Zoning</b>
Maximum Floor Area Ratio (FAR)	.45 (max)	.30-.35
Minimum Landscape Surface Ratio (LSR)	.30 (min)	.45-.50
Maximum Lot Coverage	.40 (max)	.28-.32
Maximum Building Height	2 Stories (28')	2 Stories (26')
Street Setback	12'	20'
Side Setback	5'	10'
Rear Setback	20'	20-30'

## II. Consistency with Comprehensive Plan

The subject properties are adjacent to some of the most intense mixed use development in the Town of Jackson with its close proximity to the buildings on the corner of Pearl Ave. and Willow St. The lots are located in District 3 Town Residential Core, and 3.2 Core Residential Subarea. The core vision identified in the Comprehensive Plan for District 3 entails a variety of different residential densities and housing product types such as single

family, duplexes, and multi-family unit development in an effort to meet the Community's local workforce housing goals. Moreover, according to the Comprehensive Plan, Subarea 3.2 is a transitional subarea, and specifically notes the subarea is appropriate for increased density and larger buildings.

As noted by the Teton County Housing Authority in their pre-app conference review, rezoning this property to UR zoning is an opportunity for workforce housing. Achieving the Comprehensive Plan's local housing workforce goal of 65% will require some zoning changes in various locations throughout the Town of Jackson. This application's proposal will provide the private market tools to assist in achieving the density needed to begin accommodating 65% Teton County's local workforce.

### III. Required Findings

The required findings in LDR Article 8.7.2.C. under Zoning Map Amendment are as follows:

#### 1. *Is consistent with the purposes and organization of the LDRs.*

*Per LDR Division 1.3. Purpose and Intent:*

- This application is consistent with *LDR Section 1.3.1. Implement the Community Vision* by fostering development opportunities within the Town's complete neighborhoods in District 3, inadvertently preserving habitat, rural character, and unique ecosystems environments.
- This application is consistent with *LDR Section 1.3.2. Implement the Common Values of Community Character*. By proposing increased density in close proximity to existing employment, activity, and service centers in downtown Jackson; it effectively decreases traffic demand, air pollution and sprawl development, resulting in less wildlife conflicts, minimizing habitat disturbance, and agriculture land preservation, subsequently fostering better *ecosystem stewardship*. Permitting the subject property to be rezoned to Urban Residential provides the private sector an opportunity to catalyze the *growth management* goal to "direct growth into a series of connected, Complete Neighborhoods...". This application is a significant opportunity to improve *quality of life* by permitting density and zoning that can help achieve 65% local workforce.
- This application is consistent with *LDR Section 1.3.3. Implement the Illustration of Our Vision* through providing opportunities for workforce housing and desired residential multi-family form in Subarea 3.2.
- This application is consistent with *LDR Section 1.3.4. Predictable Regulations, Incentives, and Allowances* as it will require the opportunity for any future increase in allowable development to be reviewed in a public hearing.
- This application is consistent with *LDR Section 1.3.5. Coordination Between Jurisdictions*.

#### 2. *Improves implementation of the desired future character defined in the Illustration of Our Vision chapter of the Comprehensive Plan.*

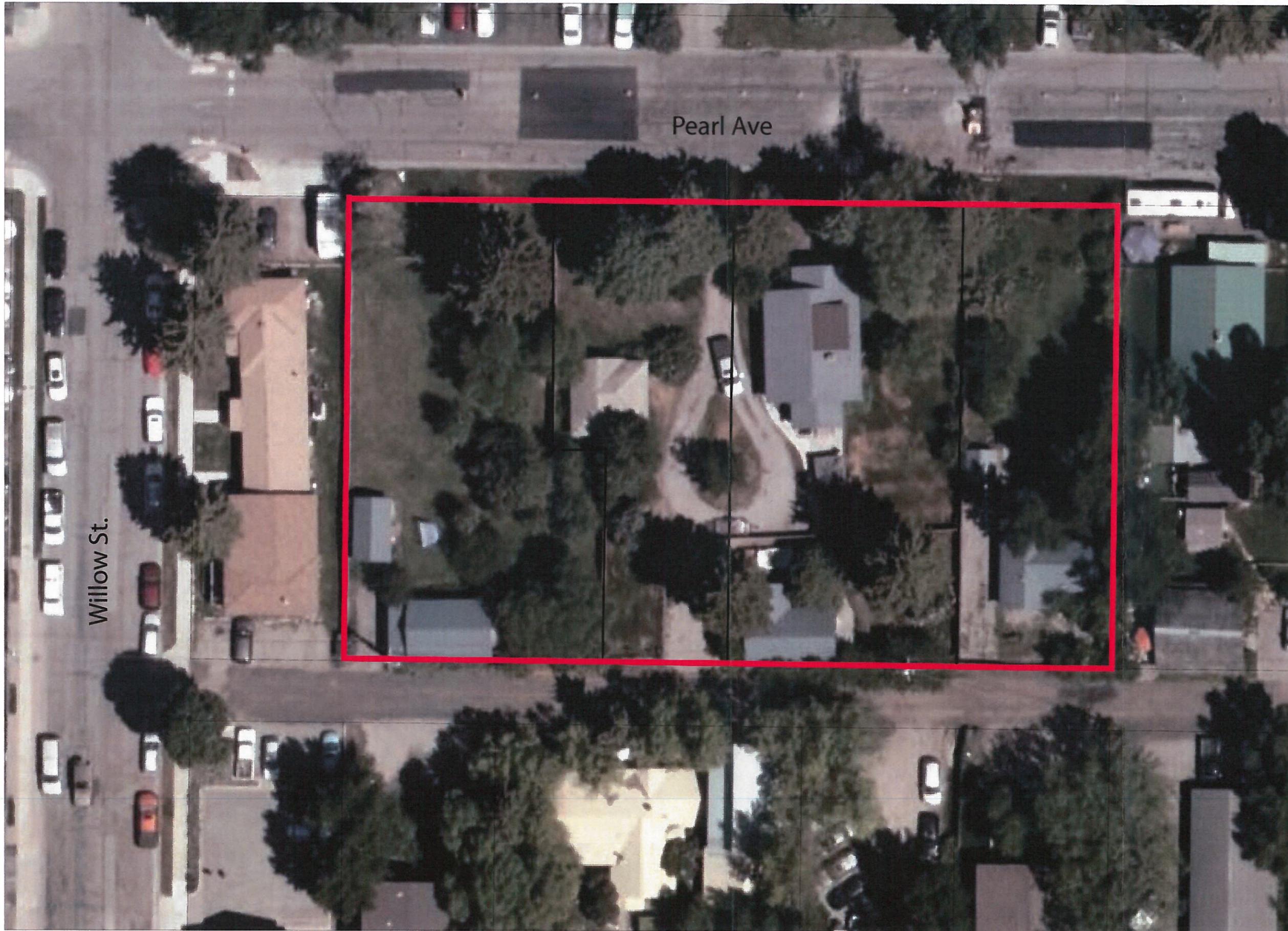
This Zoning Map Amendment provides a significant opportunity for workforce housing, and supports private sector efforts to implement desired residential multi-family form in Subarea 3.2 through redevelopment.

*3. Is necessary to address changing conditions or a public necessity.*

The proposed UR zoning is a significant opportunity to address our community's housing crisis, which arguably could be considered a public necessity.

*4. Is consistent with the other adopted Town Ordinances.*

This application is consistent with Town Ordinances.



Willow St.

Pearl Ave



Pierson Land Works LLC  
P.O. Box 1143  
Jackson, Wyoming 83001  
Tel 307.733.5429  
Fax 307.733.9669  
piersonlandworks.com

**MCM Bros, LLC. Properties**

Lot 6, Block 4, Cache 1st  
and Lots 17-19, Cache 4th  
Town of Jackson, Wyoming

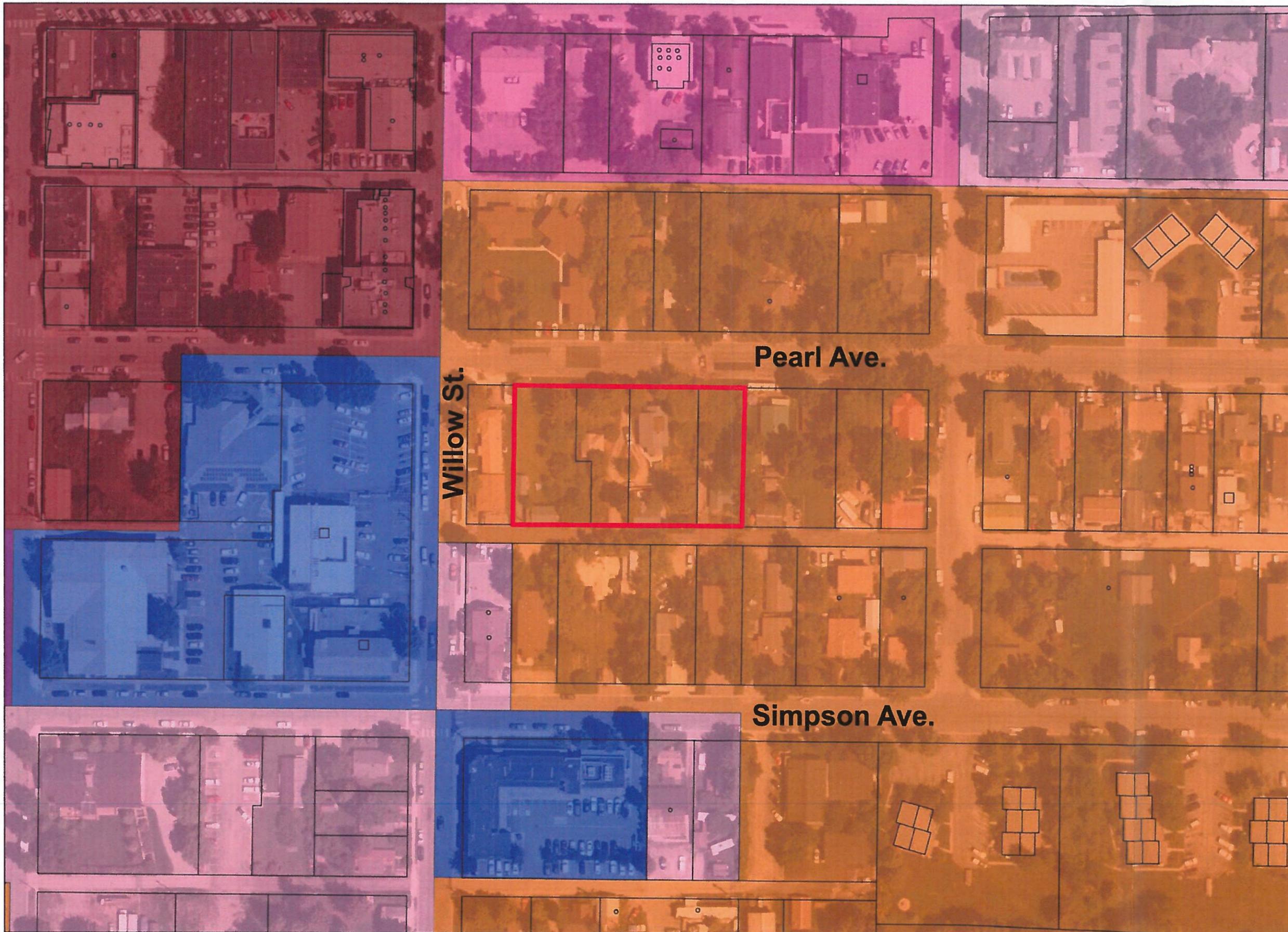
**Legend**

•  
Subject Properties

—  
Town Parcels

Scale  
1 inch = 30 feet





Pierson Land Works LLC  
 P.O. Box 1143  
 Jackson, Wyoming 83001  
 Tel 307.733.5429  
 Fax 307.733.9669  
 piersonlandworks.com

**Existing Zoning**  
 MCM Bros, LLC. Properties  
 Lot 6, Block 4, Cache 1st  
 and Lots 17-19, Cache 4th  
 Town of Jackson, Wyoming

**Legend**

- Subject Properties
- Town Parcels
- Zoning Categories**
- UC-2
- P/SP
- OP
- AR
- UC

Scale  
 1 inch = 100 feet



Base map information obtained from Teton County GIS Data. Aerial photography dated June 12, 2015. Conditions and features may vary from those shown hereon.

we define, design & deliver  
the places where you play, live & work



pierson land works LLC

[www.piersonlandworks.com](http://www.piersonlandworks.com)

October 12, 2015

RE: Notice of Neighborhood Meeting for 212 – 234 East Pearl Avenue

Dear Property Owner:

This letter serves as a notice that the above properties would like to request a change of zone from AR to UR. We would like to offer the opportunity to have a forum to discuss, comment and answer any questions you may have regarding this matter.

This meeting will be held from 5:00pm – 7pm, Thursday, October 22, 2015 at Pierson Land Works, LLC, 180 S. Willow Street, Jackson, WY.

Thank you

Pierson Land Works Staff

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*wyoming office* po box 1143 180 south willow street jackson, wy 83001 tel 307.733.5429 fax 307.733.9669

*idaho offices* 151 n. ridge ave., suite 117, idaho falls, id 83402 tel 208.529.5429 | po box 680 driggs, id 83422 tel 208.354.5429

Teton County GIS Map Buffer  
200'

Name	Address 1	Address 2
AWJ-SIMPSON, LLC	P.O. BOX 2875	JACKSON, WY 83001
TETON COUNTY	P.O. BOX 1727	JACKSON, WY 83001
HUTZ, MARY C.	P.O. BOX 111	JACKSON, WY 83001
MARKSTEIN, ROBERT C. FAMILY LIMITED PARTNERSHIP	PMB 460 PO BOX 30000	JACKSON, WY 83002
MERRILL, WANONA L.	P.O. BOX 3676	ALPINE, WY 83128
235 SIMPSON ST., LLC & 225 SIMPSON ST., LLC	P.O. BOX 2228	JACKSON, WY 83001
WHEEL-O, LLC	1910 S FORK ROAD	JACKSON, WY 83001-9460
BECKETT, JUDITH J.	PO BOX 4228	JACKSON, WY 83001-4228
WHISENAND, STEPHEN F.	P.O. BOX 1386	JACKSON, WY 83001
HERON, LAELY TRUSTEE	PMB 365 PO BOX 30000	JACKSON, WY 83002
COMMUNITY FOUNDATION OF JACKSON HOLE,THE	PO BOX 574	JACKSON, WY 83001
MCM BROS., LLC	3383 E BENGAL BLVD., APT 7	COTTONWOOD HEIGHTS, UT 84121
CONY CORPORATION	P.O. BOX 201	WILSON, WY 83014
SAVIT ASSOCIATES LLC	P.O. BOX 610	JACKSON, WY 83001
INFANGER MANAGEMENT LLC	PO BOX 1104	JACKSON, WY 83001
PACIFIC MARINE LOGISTICS, INC.	PO BOX 14580	JACKSON, WY 83002
WILSON MOTEL, LLC	396 N 500 W	LEHI, UT 84043
PIERSON, SCOTT R. & LISA BENNETT	P.O. BOX 842	WILSON, WY 83014
PALOMINO, LLC	PO BOX 612	JACKSON, WY 83001
ROSS, MICHAEL R.	PO BOX 10633	JACKSON, WY 83002
WIND RIVER PARTNERS, LLC	P.O. BOX 6754	JACKSON, WY 83002
WEAVER, GARY & DONNELLE TRUSTEES	663 18TH STREET	MANHATTAN BEACH, CA 90266
ANSMAR FAMILY REVOCABLE TRUST	4481 HORTENSIA STREET	SAN DIEGO, CA 92103

212 - 234 E. Pearl Street  
 Rezone Public Meeting  
 PLW - Oct 22, 2015 5-7pm

NAME	ADDRESS	EMAIL
Andy Carson	<del>215 Pearl St</del> P.O. Box 201 83014	anderson@earthlink.net
Sam Southern	2030x 12410 - 83002	←
Jim Roscoe	245 East Pearl 83007 103x352	

Neighborhood Meeting – Zoning Map Amendment 212 – 234 E. Pearl Avenue  
October 22, 2015 – 5pm – 7pm  
Pierson Land Works, LLC  
180 S. Willow

## MEETING NOTES

**Present:** Christen Holt, Scott Pierson, Andy Carson, Sam Southwick and Jim Roscoe

Sam Southwick is very concerned about meeting not being recorded. Thought it should be recorded. Also very concerned about urbanization would translate to traffic noise pollution, parking issues, light pollution, endangerment of children playing in the alley between Simpson and Pearl. Most of all Sam is concerned changing the current zoning area from AR to UR will result in the increase of traffic congestion, noise pollution and light pollution. Probable parking challenges, most of all an aggrieves of loss of the current neighbor tranquility and quality of life.

Incidentally, the current AR zoning of the proposed already provides for affordable housing.

Frank Hess\*  
Paul E. D'Amours\*\*  
Nicole G. Krieger\*

**Hess D'Amours & Krieger, LLC**  
ATTORNEYS AT LAW  
30 East Simpson St.  
P.O. Box 449  
Jackson, Wyoming 83001

(307) 733-7881 Phone  
(307) 733-7882 Fax  
frank@hcdlawyers.com  
Pat Michael  
Legal Assistant

\* Admitted in WY  
\*\* Admitted in WY, ID & CO

---

October 22, 2015

Scott Pierson  
Pierson Land Works  
Jackson, Wyoming

Via email: [spierson@piersonlandworks.com](mailto:spierson@piersonlandworks.com)

RE: proposed rezoning of  
212-234 East Pearl Avenue

Dear Scott:

I represent Sam Southwick, who owns (by and through his LLC ) property at 225 E. Simpson Street (Lots 13 and 14 of Block 1 of the Cache Creek Addition) in Jackson, Wyoming, Sam's property is located on the north side of 212-234 East Pearl Avenue, though separated by the Town alley.

The applicants seek a change in zoning from Auto Urban Residential to Urban Residential. That zoning upgrade would allow for a high density residential area and promote affordable housing, which is likely how that property will be developed in the foreseeable future.

Sam's concern and opposition to the proposed rezoning is that it will result in an overall decline in the aesthetics of the neighborhood. There will be an increase in the noise level of the neighborhood, some temporary such as construction, but others will be permanent such as more barking dog, loud music, and an increase in the number of motor vehicles. Parking for the Pearl Street project will be off the Town alley behind Sam's unit, which already sees substantial use.

Sam is also concerned about a degradation of air quality, removal of trees, and the effects of this increased urbanization on this quiet neighborhood including light pollution at night. Regardless of the restrictive covenants placed on such properties, these high density projects continue to have a large impact on surrounding properties in terms of the number of residents residing in the project, visitors to the project, resident and visitor dogs, and the large increase in motor vehicles.

Thank you for allowing Sam Southwick to voice his concerns.

Sincerely,



Frank Hess



**PRE-APPLICATION CONFERENCE SUMMARY**

**Planning & Development Department  
Planning Division**

150 E Pearl Ave. | ph: (307) 733-0440  
 P.O. Box 687 | fax: (307) 734-3563  
 Jackson, WY 83001 | [www.townofjackson.com](http://www.townofjackson.com)

*This Summary will be prepared by Planning Staff. The applicant, or the applicant's agent, shall receive a copy of this summary for their reference in submitting a sufficient application.*

**Staff may request additional materials during review as needed to determine compliance with the LDRs.**

**PRE-APPLICATION MEETING BASICS.**

PAP#: P15-071  
 Date of Conference: 8/28/15  
 Planning Staff: Paul Anthony

**PROJECT.**

Name/Description: Rezone from AR to UR for 212 – 234 East Pearl Ave.  
 Physical Address: 212 – 234 East Pearl Ave.  
 Lot, Subdivision \_\_\_\_\_ PIDN: \_\_\_\_\_  
 Zoning District(s): AR  
 Overlay(s): Office Use Permitted

**STAKEHOLDERS.**

Applicant: Betsy Campbell RE/MAX  
 Owner: MCM/Bros, LLC  
 Agent: Betsy Campbell / Christen Holt, Pierson Land Works

**REQUIRED APPLICATIONS.** (See B.12, C.1, D.4 of applicable zone in Article 2, 3 or 4) *This project will require the following applications:*

Application	Reason	Fee
Zoning Map Amendment	Request to change zone from AR to UR	\$1,500.00

**MEETING ATTENDEES:**

Name	Company	Phone/Email
Betsy Campbell	RE/MAX	307-690-5684
Emily Figenshau	RE/MAX	307-690-9657
Des Jennings	RE/MAX	307-413-4945
Christen Holt	Pierson Land Works	307-733-5429

**TIMELINES.** This table is intended to provide general information regarding the review process and timing of decisions. See Article 8 for a complete explanation of the review process.

For administrative decisions made by the Planning Director, the following timelines are generally applicable:

Application Types:	Sufficiency	Planning Director
	Within 14 days of Submittal	Decision within _____ days of Sufficiency

For decisions requiring a public hearing process, the following timelines are generally applicable:

Application Types:	Sufficiency	Planning Commission (PC)	Town Council
Subdivision Plat	Within 14 days of Submittal	N/A	Hearing within 90 days of Sufficiency
<b>Required:</b> Sketch Plan Development Plan Development Option Plan Conditional Use Permit Special Use Permit <u>Zoning Map Amendment</u> Planned Unit Development <b>Optional or may be required:</b> Building Permit Grading Permit LDR Text Amendment Variance	Within 14 days of Submittal	Hearing within 90 days of Sufficiency	Hearing within 60 days of PC Recommendation

**GENERAL INFORMATION.**

*Required, If Checked.*

*If not checked, review requirement with a Staff member to determine if necessary for your application.*

**Requirement**

**Notes**

✓ **Planning Permit Application.** The application should list all pertinent permits (use, physical development, interpretation, relief from the LDRs, Development Option/Subdivisions, Amendments to the LDRs) for which you are applying.

**Requirement** **Notes**

✓ **Notarized Letter of Authorization.** See **Section 8.2.4.A** for requirements. A template is established in the Administrative Manual.

✓ **Application Fees.** Fees are cumulative. Applications for multiple types of permits, or for multiple permits of the same type, require multiple fees. See the currently adopted Fee Schedule in the Administrative Manual for more information.

N/A **Review fees.** The applicant is responsible for paying any review fees and expenses from consulting services necessitated by the review of the application by the Town Surveyor, Town Engineer, Town Associate Engineer, Title Company and any other required consultant. Such fees shall be paid prior to approval of the permit.

✓ **Mailed Notice fee.** See **Section 8.2.14.C.2** for notice requirements. If mailed notices are required, the applicant is responsible for paying for any mailing in excess of 25 notices.

✓ **Digital Format.** All applications submitted to the Town of Jackson Planning Department must be submitted in digital format once the application is determined to be sufficient.

✓ **Response to Submittal Checklist.** All applications require response to applicable review standards. For applications where a pre-application conference is required, applicable standards are identified below. If a pre-application conference is optional, see the submittal checklist for the relevant application type, established in the Administrative Manual.

N/A **Title Report.** A title report, title certificate or record document guarantee prepared within the last six months that includes evidence of ownership and all encumbrances on the subject property. Copies of the documents referenced in the report should not be submitted unless requested by the planner during review.

✓ **Narrative description of the proposed development.** Briefly describe the existing condition of the property and the proposed use, physical development, subdivision or development option for which you are seeking approval.

N/A **Proposed Development Program.** Please use the attached template established in the Administrative Manual.

N/A **Site Plan.** Please see the attached list of minimum standards for a site plan, established in the Administrative Manual.

N/A **Floor Plans.** Include floor plans for any existing buildings that will be occupied by a proposed use. If changes to existing buildings are proposed, indicate those on the floor plans.

✓ **Neighborhood Meeting Summary.** See **Section 8.2.3** for Neighborhood Meeting requirements.

✓ **Posted Notice.** See **Section 8.2.14.C.4** for Posted Notice requirements for all public hearings.



**Additional Comments:**

**SUBSECTION D, DEVELOPMENT OPTIONS.** *Please provide the following information for the applicable zone.*

<b>Requirement</b>	<b>Notes:</b>
<u>N/A</u> Subdivision and Development Option Permits	

**Additional Comments:**

**SUBSECTION E, ADDITIONAL ZONE-SPECIFIC STANDARDS.** *Please provide the following information for the applicable zone.*

<b>Requirement</b>	<b>Notes:</b>
<u>N/A</u>	
<u> </u>	

**Additional Comments:**

**ARTICLE 4, SPECIAL PURPOSE ZONES (Planned Resort Zones and Planned Unit Development Zones only)**

<b>Requirement</b>	<b>Notes</b>
<u>N/A</u> <b>Division 4.3, Planned Resort Zones</b>	
<b>4.3.1</b> All Planned Resort Zones	
<b>4.3.2</b> Snow King	
<u>N/A</u> <b>Division 4.4, Planned Unit Development</b>	
<b>4.4.1</b> All Planned Unit Development (PUD) Zones	
<b>4.4.2</b> Planned Unit Development - Town	

**ARTICLE 5, PHYSICAL DEVELOPMENT STANDARDS APPLICABLE IN ALL ZONES.**

<b>Requirement</b>	<b>Notes</b>
<u>N/A</u> <b>Division 5.1, General Environmental Standards</b>	
<b>5.1.1</b> Waterbody and Wetland Buffers	
<b>5.1.2</b> Wildlife Friendly Fencing	
<b>5.1.5</b> Water Quality (reserved for future standards)	

N/A **Division 5.2, Environmental Standards Applicable in Specific Areas**

5.2.1 Natural Resources Overlay (NRO) Standards

N/A **Division 5.3, Scenic Standards.**

5.3.1 Exterior Lighting Standards

5.3.2 Scenic Resources Overlay (SRO) Standards

N/A **Division 5.4, Natural Hazard Protection Standards**

5.4.1 Steep Slopes

5.4.2 Unstable Soils

5.4.3 Faults

5.4.4 Floodplains

5.4.5 Wildland Urban Interface

N/A **Division 5.5, Landscaping Standards**

5.5.2 Landscape Plan

5.5.3 Required Plant Units

5.5.4 General Landscaping Standards

5.5.5 Installation and Maintenance

N/A **Division 5.6, Sign Standards**

N/A **Division 5.7, Grading, Erosion Control and Stormwater Management**

5.7.2 Grading Standards

5.7.3 Erosion control standards

5.7.4 Stormwater Management Standards

N/A **Division 5.8, Design Guidelines**

5.8.2. Design Guidelines

5.8.3. Design Review Committee

**ARTICLE 6, USE STANDARDS APPLICABLE IN ALL ZONES.**

**Requirement**

**Notes**

N/A **Division 6.1, Allowed Uses**

N/A **Division 6.2, Parking and Loading Standards**

6.2.2 Required Parking and Loading

6.2.3 Location of Required Parking

6.2.4 Maintenance of Off-Street Parking and Loading

6.2.5 Off-Street Parking and Loading Design Standards

6.2.6 Parking and Loading Standards in the Downtown Parking District

N/A **Division 6.3, Employee Housing Requirements**

N/A **Division 6.4, Operational Standards**

- 6.4.1 Outside Storage
- 6.4.2 Refuse and Recycling
- 6.4.3 Noise
- 6.4.4 Vibration
- 6.4.5 Electrical Disturbances
- 6.4.6 Fire and Explosive Hazards

**ARTICLE 7, DEVELOPMENT OPTION AND SUBDIVISION STANDARDS APPLICABLE IN ALL ZONES.**

**Requirement**

**Notes**

N/A **Division 7.1, Development Option Standards**

- 7.1.3 Urban Cluster Development
- 7.1.4 Mobile Home Park

N/A **Division 7.2, Subdivision Standards**

- 7.2.2 Standards Applicable to all Subdivision
- 7.2.3 Land Division Standards
- 7.2.4 Condominium and Townhouse Subdivisions

N/A **Division 7.3, Open Space Standards**

- 7.3.3 Configuration and Location of Required Open Space
- 7.3.4 Use of Open Space
- 7.3.5 Physical Development Permitted in Open Space
- 7.3.6 Record of Restriction
- 7.3.7 Ownership of Open Space

N/A **Division 7.4, Affordable Housing Standards**

N/A **Division 7.5, Development Exaction Standards**

- 7.5.2 Park Exactions
- 7.5.3 School Exactions

N/A **Division 7.6, Transportation Facility Standards**

- 7.6.2 Access to Roads, Streets and Highways
- 7.6.3 Streets, Alleys, and Easements

N/A **Division 7.7, Required Utilities**

- 7.7.2 Potable Water Supply
- 7.7.3 Sanitary Sewer Systems
- 7.7.4 Irrigation Ditch Systems and Design
- 7.7.5 Other Utilities
- 7.7.6 Fuel Storage Tank

**PLAN REVIEW COMMITTEE.** *The Plan Review Committee consists of the following listed agencies. Planning Staff will transmit pertinent portions of the application to each agency. **Other agencies and individuals not checked off on this list may be added to the PRC if necessary.***

<input checked="" type="checkbox"/>	Public Works/Town Engineer	<input type="checkbox"/>	Police Department
<input checked="" type="checkbox"/>	Building Official	<input type="checkbox"/>	START Bus
<input checked="" type="checkbox"/>	Town Attorney	<input type="checkbox"/>	Jackson Hole Fire EMS
<input type="checkbox"/>	Town Clerk	<input type="checkbox"/>	Parks and Recreation Department

- Pathways Coordinator
- Surveyor
- Title Company
- Teton County Housing Authority
- Teton County Weed & Pest
- Teton County Planning
- Teton County Engineer
- Teton County Assessor
- Integrated Solid Waste and Recycling
- Teton County Clerk
- Teton County Public Health
- Teton County Scenic Preserve Trust

- Teton County School District #1
- Teton County Sheriff
- Wyoming Department of Game & Fish
- Wyoming Department of Transportation
- Wyoming Department of Environmental Quality
- Army Corp of Engineers
- Lower Valley Energy
- U.S. National Park Service
- U.S. Forest Service
- U.S. Fish and Wildlife
- Other

**Additional Comments:**

Town of Jackson  
Project Plan Review History

Project Number P15-071  
Project Name 212-234 E Pearl Avenue  
Type PREAPPLICATION  
Subtype ZONING MAP AMENDMENT  
Status STAFF REVIEW

Applied 7/29/2015 JC  
Approved  
Closed  
Expired  
Status

Applicant Betsy Campbell/Remax

Owner MCM BROS., LLC

Site Address  
212 E PEARL AVENUE

City  
JACKSON

State Zip  
WY 83001

Subdivision  
CACHE CREEK 4TH

Parcel No  
22411634259003

General Plan

Type of Review	Status	Dates			Remarks
		Sent	Due	Received	
Contact Notes					
Building Steve Haines	APPROVED	7/29/2015	8/19/2015	8/14/2015	
Fire None		7/29/2015	8/19/2015		
Legal A Cohen-Davis	APPROVED	7/29/2015	8/19/2015	8/17/2015	
Parks and Rec None		7/29/2015	8/19/2015		
Pathways Brian Schilling		7/29/2015	8/19/2015		
Planning Paul Anthony (8/27/2015 10:44 AM PA) See preapplication meeting checklist	APPROVED W/CONDITI	7/29/2015	8/19/2015	8/27/2015	
Plat Review-Survey <none>		7/29/2015	8/19/2015		
Plat Review-Title <none>		7/29/2015	8/19/2015		

Project Reviews

Report By: Paul Anthony

Type of Review	Status	Dates			Remarks
		Sent	Due	Received	
<b>Contact</b> <b>Notes</b> Police None (8/6/2015 4:14 PM JC) No concerns. Todd Smith 08/06/15	APPROVED	7/29/2015	8/19/2015	8/6/2015	
Public Works Shawn OMalley (7/30/2015 1:10 PM SO) Please be advised that new development proposals shall include a single water and sewer service for each lot.	APPROVED W/CONDITI	7/29/2015	8/19/2015	7/30/2015	
<p>Depending on the proposed density of the lots, information concerning the additional wastewater flows to be delivered to the Town's system may be required.</p> <p>Future development plans for the lot(s) shall comply with parking, drive lanes and access will be completed per the Town LDR's.</p> <p>All new developments shall be completed with underground power systems.</p>					
<b>START</b> Janice Sowder		7/29/2015	8/19/2015		
TC Housing Authority None (8/17/2015 9:24 AM JC) MEMORANDUM	APPROVED	7/29/2015	8/19/2015	8/17/2015	

To: Paul Anthony  
 Principle Planner, Town of Jackson Planning and Building

From: Valerie Adams  
 Housing Specialist, Teton County Housing Authority

Re: Pre-App, (P15-071)  
 212-234 E Pearl

Date: 8/10/15

The applicant is requesting a pre-application meeting for a zoning map amendment for 212-234 E Pearl legally known as Lots 17, 18, 19, Cache 4 and Lot 6, BLK 4 Cache 1. Teton County Housing Authority (TCHA) staff's review is based on Division 6.3 of the Town of Jackson Land Development Regulations (LDRs).

**TOWN OF JACKSON LAND DEVELOPMENT REGULATIONS REVIEW**

**EMPLOYEE HOUSING MITIGATION PLAN (DIVISION 6.3):** The applicant is requesting a zone change for 4 existing lots from Auto Urban (AR) to Urban Residential (UR). The applicant has indicated there are six (6) existing structures on the four lots (1 main house, 3 cabins, and 2 garages). TCHA would have no employee housing requirements with current improvements at time of zone change. Depending on the scope of any future developments, employee and/or affordable housing standards may be required at that time. TCHA would like to note, approval of this zone change allows for higher density development, and could potentially provide workforce housing..

Thank you for the opportunity to review this application. Please contact me with any questions.

Project Reviews

Report By: Paul Anthony



Type of Review  
Contact  
Notes

Status

Dates

Sent

Due

Received

Remarks

Project Reviews

Report By: Paul Anthony