



TOWN OF JACKSON PLANNING & BUILDING DEPARTMENT

TRANSMITTAL MEMO

Town of Jackson

- Public Works/Engineering
- Building
- Title Company-*Wyoming Title & Escrow*
- Town Attorney
- Police

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- Parks and Recreation
- Pathways

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- Planning Division

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 - Surveyor- *Nelson*
 - Assessor
 - Clerk and Recorder
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 - Housing Authority
- State of Wyoming**
- Teton Conservation
 - WYDOT
 - TC School District #1
 - Game and Fish
 - DEQ

Federal Agencies

- Army Corp of Engineers

Utility Providers

- Qwest
- Lower Valley Energy
- Bresnan Communications

Special Districts

- START
- Jackson Hole Fire/EMS
- Irrigation Company

<p>Date: April 22, 2015</p> <p>Item #: P15-038 Dev Plan</p> <p>Item#: P15-039 CUP</p> <p>Item#: P15-040 BUP – Residential</p> <p>Item#: P15-041 BUP - Lodging</p> <p>Planner: Paul Anthony</p> <p>Phone: 733-0440 ext. 1303</p> <p>Fax: 734-3563</p> <p>Email: panthony@ci.jackson.wy.us</p>	<p style="text-align: center;">REQUESTS:</p> <p>The applicant is requesting four permits within the same project.</p> <p>The applicant is requesting an approval for a Development Plan for a Mixed-Use Development, a Conditional Use Permit for Institutional Use, a Basic Use Permit for Residential Use and a Basic Use Permit for Lodging. The property is located at 265 East Broadway, legally known as PT SE1/4SW1/4, SEC. 27, TWP. 41, RNG. 1161</p> <p>Please note approvals or conditions on the appropriate permit request.</p> <p>For questions, please call Paul Anthony at 733-0440, x1303 or email to the address shown below. Thank you.</p>
<p>Applicant: Y2 Consultants, LLC PO Box 2674 Jackson WY 83001 307-733-2999 Heather@y2consultants.com</p> <p>Owner Chabad Lubavitch of Wyoming, Inc PO Box 9818 Jackson, WY 83001 307-200-4074 lee@jewishwyoming.com</p>	
<p>Please respond by: May 6, 2015 (for sufficiency) May 13, 2015 (with comments)</p>	

RESPONSE: For Departments not using Trak-it, please send responses via email to:
jcarruth@ci.jackson.wy.us



PLANNING PERMIT APPLICATION
Planning & Building Department
Planning Division

150 E Pearl Ave. | ph: (307) 733-0440
 P.O. Box 1687 | fax: (307) 734-3563
 Jackson, WY 83001 | www.townofjackson.com

For Office Use Only

Fees Paid _____

Check # _____ Credit Card _____ Cash _____

Application #s _____

PROJECT.

Name/Description: Chabad Jewish Center of Jackson Hole - Site Redevelopment

Physical Address: 265 East Broadway Jackson, WY 83001

Lot, Subdivision: N/A PIDN: 22-41-16-27-3-00-005

OWNER.

Name: Chabad Lubavitch of Wyoming, Inc. Phone: 307-200-4074

Mailing Address: PO Box 9818 Jackson WY ZIP: 83001

E-mail: Lee@JewishWyoming.com

APPLICANT/AGENT.

Name: Y2 Consultants, LLC Phone: 307-733-2999

Mailing Address: PO Box 2674 Jackson WY 83001 ZIP: 83001

E-mail: heather@y2consultants.com

DESIGNATED PRIMARY CONTACT.

Owner Applicant/Agent

TYPE OF APPLICATION. Please check all that apply; see Fee Schedule for applicable fees.

<p>Use Permit</p> <p><input checked="" type="checkbox"/> Basic Use</p> <p><input checked="" type="checkbox"/> Conditional Use</p> <p><input type="checkbox"/> Special Use</p> <p>Relief from the LDRs</p> <p><input type="checkbox"/> Administrative Adjustment</p> <p><input type="checkbox"/> Variance</p> <p><input type="checkbox"/> Beneficial Use Determination</p> <p><input type="checkbox"/> Appeal of an Admin. Decision</p>	<p>Physical Development</p> <p><input type="checkbox"/> Sketch Plan</p> <p><input checked="" type="checkbox"/> Development Plan</p> <p>Development Option/Subdivision</p> <p><input type="checkbox"/> Development Option Plan</p> <p><input type="checkbox"/> Subdivision Plat</p> <p><input type="checkbox"/> Boundary Adjustment (replat)</p> <p><input type="checkbox"/> Boundary Adjustment (no plat)</p>	<p>Interpretations</p> <p><input type="checkbox"/> Formal Interpretation</p> <p><input type="checkbox"/> Zoning Compliance Verification</p> <p>Amendments to the LDRs</p> <p><input type="checkbox"/> LDR Text Amendment</p> <p><input type="checkbox"/> Zoning Map Amendment</p> <p><input type="checkbox"/> Planned Unit Development</p>
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PRE-SUBMITTAL STEPS. Pre-submittal steps, such as a pre-application conference, environmental analysis, or neighborhood meeting, are required before application submittal for some application types. See Section 8.1.5, Summary of Procedures, for requirements applicable to your application package. If a pre-submittal step is required, please provide the information below. If you need assistance locating the project number or other information related to a pre-submittal step, contact the Planning Department. **If this application is amending a previous approval, indicate the original permit number.**

Pre-application Conference #: P014-087 Environmental Analysis #: _____
Original Permit #: _____ Date of Neighborhood Meeting: _____

SUBMITTAL REQUIREMENTS. Twelve (12) hard copies and one (1) digital copy of the application package (this form, plus all applicable attachments) should be submitted to the Planning Department.. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant.

Have you attached the following?

- Application Fee.** Fees are cumulative. Applications for multiple types of permits, or for multiple permits of the same type, require multiple fees. See the currently adopted Fee Schedule in the Administrative Manual for more information.
- Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. If the owner is a partnership or corporation, proof that the owner can sign on behalf of the partnership or corporation is also required. Please see the Letter of Authorization template in the Administrative Manual for a sample.
- Response to Submittal Checklist.** All applications require response to applicable review standards. These standards are outlined on the Submittal Checklists for each application type. If a pre-application conference is held, the Submittal Checklists will be provided at the conference. If no pre-application conference is required, please see the Administrative Manual for the applicable Checklists. The checklist is intended as a reference to assist you in submitting a sufficient application; submitting a copy of the checklist itself is not required.

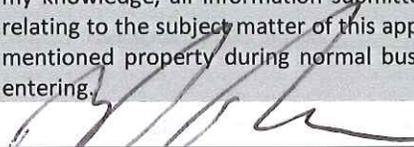
FORMAT.

The main component of any application is demonstration of compliance with all applicable Land Development Regulations (LDRs) and Resolutions. The submittal checklists are intended to identify applicable LDR standards and to outline the information that must be submitted to sufficiently address compliance with those standards.

For some submittal components, minimum standards and formatting requirements have been established. Those are referenced on the checklists where applicable. For all other submittal components, the applicant may choose to make use of narrative statements, maps, drawings, plans and specifications, tables and/or calculations to best demonstrate compliance with a particular standard.

Note: Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.



Signature of Owner or Authorized Applicant/Agent
Stewart Mendelbom

Name Printed

4/21/15

Date
Director

Title

RELEASED	
INDEXED	
ABSTRACTED	
SCANNED	



WARRANTY DEED *First American Title Insurance Company*

Dorothy C. Mercer, Trustee of the Dorothy C. Mercer Revocable Trust, dated November 11, 2008, and any amendments thereto, and Graham D. Mercer, Trustee of the Graham D. Mercer Revocable Trust, dated November 11, 2008, and any amendments thereto, GRANTORS, of Teton County, Wyoming, for and in consideration of TEN DOLLARS (\$10.00) and other good and valuable consideration, in hand paid, receipt of which is hereby acknowledged, CONVEY AND WARRANT to Chabad Lubavitch of Wyoming, Inc., a Wyoming non-profit corporation, GRANTEE, whose address is Post Office Box 3609, Jackson, Wyoming 83001, the following described real estate, situate in the County of Teton, State of Wyoming, hereby waiving and releasing all rights under and by virtue of the homestead exemption laws of the State of Wyoming, to-wit:

See Exhibit A attached hereto.

PIN #22-41-16-27-3-00-005

Together with and including all improvements thereon and all appurtenances and hereditaments thereunto belonging. Subject to all covenants, conditions, restrictions, easements, reservations, and rights-of-way of record.

WITNESS my hand this 11th day of September, 2014.

Dorothy C. Mercer Revocable Trust, dated November 11, 2008, and any amendments thereto:

Dorothy C. Mercer

 Dorothy C. Mercer, Trustee

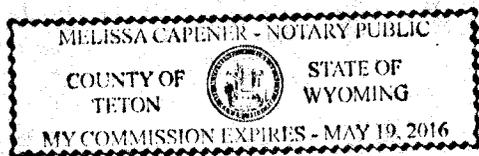
STATE OF Wyoming)
)
 COUNTY OF Teton)

The foregoing instrument was acknowledged before me this 11th day of September, 2014 by Dorothy C. Mercer as Trustee of the Dorothy C. Mercer Revocable Trust, dated November 11, 2008, and any amendments thereto.

WITNESS my hand and official seal.

Melissa Capener

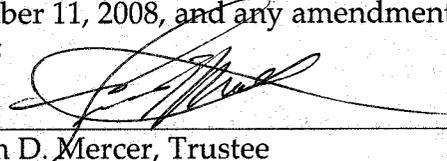
 Notary Public
 My Commission Expires: 5/19/16



GRANTOR: MERCER, DOROTHY C ET AL TRUSTEE
 GRANTEE: CHABAD LUBAVITCH OF WYOMING INC
 Doc 0866931 bk 876 pg 1020-1022 Filed At 15:48 ON 09/11/14
 Sherry L. Daigle Teton County Clerk fees: 18.00
 By Mary D Antrobus Deputy

WITNESS my hand this 11th day of September, 2014.

Graham D. Mercer Revocable Trust, dated November 11, 2008, and any amendments thereto:

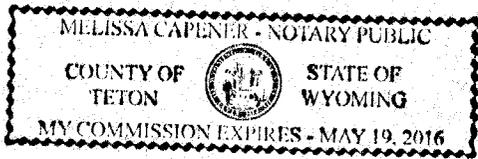


Graham D. Mercer, Trustee

STATE OF WYOMING)
COUNTY OF TETON)

The foregoing instrument was acknowledged before me this 11th day of September, 2014 by Graham D. Mercer as Trustee of the Dorothy C. Mercer Revocable Trust, dated November 11, 2008, and any amendments thereto.

WITNESS my hand and official seal.



Melissa Capener
Notary Public
My Commission Expires: 5/19/16

Law Office of:
Hess D'Amours & Krieger, LLC
Post Office Box 449
30 East Simpson Street
Jackson, Wyoming 83001
307-733-7881

Exhibit "A"

A tract of land located in the SE $\frac{1}{4}$ SW $\frac{1}{4}$ of Section 27, T41N, R116W, 6th P.M., Teton County, WYoming, and lying wholly within the incorporated limits of the Town of Jackson, said tract being more particularly described as follows:

Beginning at a point which lies East, 1335.91 feet and North, 0.18 feet from the Southwest corner of said Section 27, said Point of Beginning also lying on the North line of Broadway Street;

thence North, 199.82 feet to a point;

thence East, 65.00 feet to a point being identical with the Northwest corner of Lot A, Block 1, L.G. Gill Subdivision;

thence South, 198.34 feet along the West line of said Lot A to a point lying on said North line of Broadway Street, and being identical with the Southwest corner of said Lot A;

thence S 88°42'00"W, 65.00 feet along the said North line of Broadway Street to the Point of Beginning.

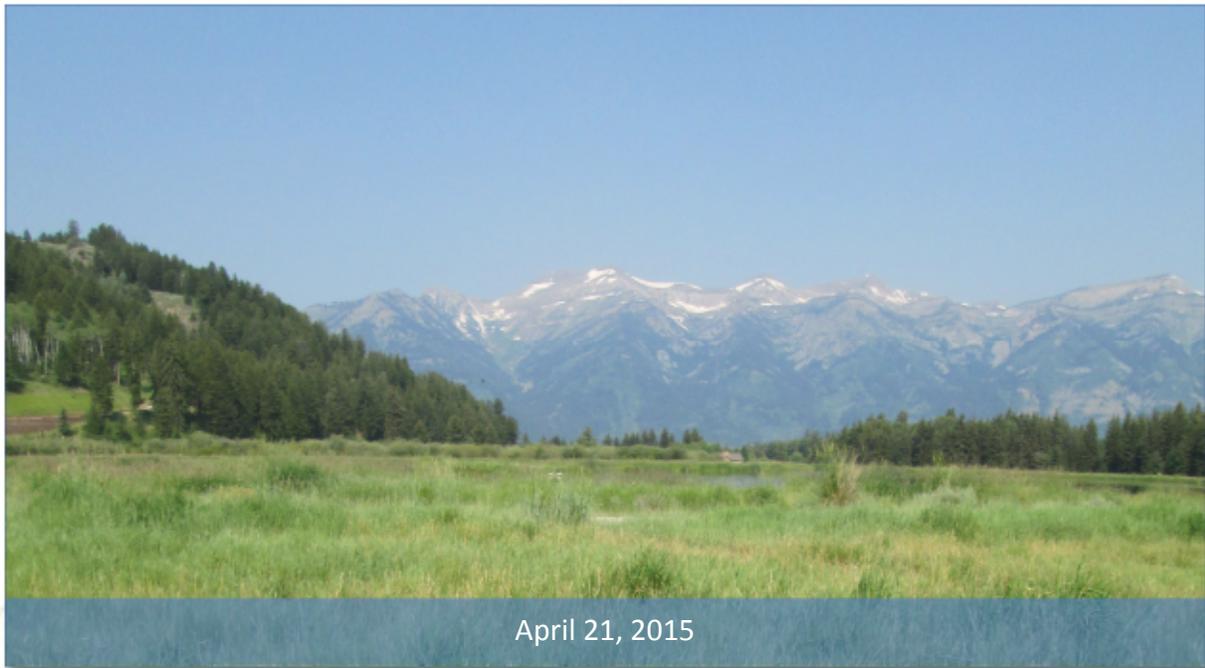
All previous mentioned points being monumented with 5/8 inch diameter by 16 inch long steel reinforcing bars with aluminum Surv Kaps inscribed "Nelson Engineering PE & LS 578". The Basis of Bearing for this survey being East along the South Line of said Section 27.

PIDN: 22-41-16-27-3-00-005

CHABAD JEWISH CENTER OF JACKSON HOLE SITE REDEVELOPMENT REPORT

TO ACCOMPANY DEVELOPMENT PLAN APPLICATION

265 EAST BROADWAY
JACKSON, WYOMING



Prepared For:

Chabad Lubavitch of Wyoming, Inc.
P.O. Box 9818 Jackson, WY 83001

Prepared By:



Y2 Consultants, LLC.

Natural Resource Services
Civil, Structural & Environmental Engineering
P.O. Box 2674, 215 East Simpson, Jackson, WY 83001-2674
www.Y2Consultants.com

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Scope and Purpose

This report provides supporting information and a narrative to accompany the Chabad Jewish Center of Jackson Hole Development Plan application. The proposed project involves the redevelopment of an existing residential and commercial property addressed 265 East Broadway Jackson, Wyoming, located in the Urban Commercial – 2 (UC-2) zone within the Lodging Overlay.

The existing structure is currently used as the residence of Rabbi Zalman Mendelsohn and his family of six. The residence was previously used as a pawn shop. The other structures on site include a standalone garage and two storage sheds. Chabad Lubavitch of Wyoming, Inc. proposes to remove the existing residence and construct two new buildings. The first building will be comprised of a religious Mikvah, four short-term rental units, and the residential unit for Rabbi Zalman Mendelsohn and his family of six. The second building will be the Synagogue, a place for worship, and a religious community center.

This application considers existing utility services and new utility services that will be needed. Substantial grading of the site is not proposed as all building areas and paving will match existing grades to the extent that the grading provides appropriate stormwater drainage.

Proposed Development Program & Quantities

The proposed development abides by all standards set forth in the Town of Jackson Land Development Regulations (LDRs). This section considers the physical development standards, use standards, and additional requirements specific to the UC-2 zoning.

Physical Development Standards

The site area is 12,891 square feet, as determined by the survey performed by Nelson Engineering. Please see Sheet C1.1 for the existing site survey. This property is located in the UC-2 zone within the lodging overlay. The following table reviews the physical development standards specific to the UC-2 zone, pursuant to Section 2.3.3.B.1 of the LDRs.

Table 1: Site Data Summary

Standard within LDRs	Requirement	Proposed	Complies?
Maximum FAR	0.80 x 12,891= 10,313 SF	10,215 SF	Yes
Minimum LSR	0.20 x 12,891 = 2,578 SF	2,578 SF	Yes
Maximum Lot Coverage	n/a	n/a	n/a
Height	35'	35'	Yes
Street Setback (north and south)	10'	10'	Yes
Side Setback (east and west)	0'	0'	Yes



Allowed Uses and Use Standards

This project is located in the Urban Commercial – 2 (UC-2) zone, within the Lodging Overlay. Pursuant to Division 6.1: Allowed Uses, 6.1.1 Use Schedule, one proposed use for this project, Residential – Attached Single-Family Unit, is allowed within the UC-2 zone if a basic use permit is acquired. Pursuant to Division 6.1: Allowed Uses, 6.1.1 Use Schedule, another proposed use for this project, Lodging – Short Term Rental Unit, is allowed within the UC-2 zone if a basic use permit is acquired, only in the lodging overlay. Furthermore, per Division 6.1: Allowed Uses, 6.1.1 Use Schedule, the main proposed use for this project, Institutional - Assembly, is allowed within the UC-2 zone if a conditional use permit is acquired. Please see Table 2: Existing Uses and Table 3: Proposed Uses below;

Table 2: Existing Uses

Description	Use	Square Feet
House (Above Grade)	Residential	1,931*
House (Below Grade)	Residential	1,251*
Detached Garage	Residential	400*
Pawn Shop	Commercial	444**

*Information from Teton County GIS, Property Details, Assessor

**Rabbi Zalman Mendelsohn measured area

Table 3: Proposed Uses

Description	Use	Location	Square Feet
Mikvah	Institutional	B1, Basement	723
Open Storage, Laundry, Electrical and Mechanical Room	Institutional	B1, Basement	1,920
Four Condo Units	Lodging	B1, 1 st & 2 nd & 3 rd Floor	2,434 (4 different units)
Residence	Residential	B1, 1 st & 2 nd & 3 rd Floor	3,667
Studies (2), Play Area	Institutional	B2, Basement	B2 Basement Total = 2,993
Commercial Kosher Kitchens	Institutional	B2, Basement	492
Library / Boardroom	Institutional	B2, Basement	B2 Basement Total = 2,993
Office	Institutional	B2, Basement	B2 Basement Total = 2,993
Bathrooms, Halls, Storage	Institutional	B2, Basement	B2 Basement Total = 2,993
Foyer, Halls, Stairs, Storage & Bathrooms	Institutional	B2, 1 st and 2 nd Floors	1,567
Multi-Purpose Room	Institutional	B2, 1 st Floor	1,370
Sanctuary	Institutional	B2, 2 nd Floor	686
Bldg. #2 Rooftop Balconies	Institutional	B2, Roof	1,099

Note: B1 = Building 1, B2 = Building 2



Parking Requirements

Table 4 shows the parking requirements pursuant to Section 4240 Off-Street Parking Required, from the *previous* Town of Jackson Land Development Regulations (LDRs).

Table 4: Parking Requirement UC-2 Zone within Lodging Overlay, Previous LDRs

Use	Requirement in UC-2 Zone	Required Parking
Residential: Single-Family Attached	2 per DU	2 spaces
Commercial Lodging	1 per guest room, plus 1 per 500 sf of accessory commercial space	4 guest rooms, 0 commercial space → 4 spaces
Institutional	0.25 per seat OR 1 per 30 sf of floor area used for seating in the main sanctuary. Whichever is greater	40 seats x 0.25 = 10 spaces 650 sf floor area of Sanctuary, 540 sf floor area used for seating in the main sanctuary = 18 spaces x 50% (Downtown Parking Credit) → 9 spaces

Table 5 shows the required parking pursuant to the following sections found in the current LDRs.
Section 2.3.3.C.2. Use Requirements for Urban Commercial-2
Section 6.2.6. Parking and Loading Standards in the Downtown Parking District

Table 5: Parking Requirement UC-2 Zone within Lodging Overlay, Current LDRs

Use	Requirement in UC-2 Zone	Requirement in Downtown Parking District	Required Parking
Residential Use: Attached Single-Family Unit	2/DU + 0.5 per DU if ≥ 3 units served by lot	1.5 space / 1,000 SF Min. 1 space/ unit Max. 2 spaces / unit	1 residential unit → 2 spaces
Lodging: Short-term Rental Unit	2/LU	1.5 space / 1,000 SF Min. 1 space/ unit Max. 2 spaces / unit	666 SF / 1000 x 1.5 = 0.99 space x (4) units → 4 spaces
Institutional: Assembly	Independent Calculation	N/A	See Independent Calculation & Explanation

The Chabad Jewish Center Development Permit Application will be submitted under the current LDRs, and therefore use the requirements found in Table 2. Both tables are displayed for a comparison. Considering this proposed development program, there are no changes between the previous and current LDRs for both the residential and lodging parking requirements. The institutional use previously had a specific calculation for the parking requirement. Under the current LDRs, this requirement is an independent calculation.



Parking Independent Calculation & Explanation

The proposed Synagogue building will be classified as Institutional Use. The previous LDRs specified a calculation for Institutional Use, which will be incorporated into this independent calculation. The circumstances pertaining to the particular use will also be considered for this independent calculation.

Previous LDRs Calculation

The parking requirement calculation from the previous LDRs is the greater of the following:

0.25 per seat

1 per 30 sf of floor area used for seating in the main sanctuary

40 seats x 0.25 = 10 spaces

540 sf floor area used for seating in the main sanctuary = 18 spaces

Low Calculation: 10 x 50% (Downtown Parking Credit) = 5 spaces

High Calculation: 18 x 50% (Downtown Parking Credit) = 9 spaces

Chabad Jewish Center Background

The mission statement of Chabad Lubavitch of Wyoming is the following:

“Chabad Lubavitch of Wyoming is dedicated to strengthening the Wyoming Jewish community by promoting Jewish pride, study and celebration. To serving individuals and families looking for a non-judgmental, accepting, personalized Jewish experience and to establish a warm and traditional community center where everyone is made to feel welcome and comfortable. To provide for the spiritual and material needs of all Jews living in and visiting Wyoming – regardless of their background or affiliation.”

Shabbat is the Jewish day of rest, observed from Friday evening until Saturday night. Jewish holidays such as Rosh Hashanah and Yom Kippur are also observed as days of rest in the Jewish tradition. Members of the Chabad Jewish Center, both local and visiting, do not use cars on the holy day of Shabbat or Jewish holidays. The primary use of the Synagogue occurs during Shabbat services and Jewish holidays. These services are held in the Shul, the Synagogue’s sanctuary space. Services with the most participants occur on Friday and Saturday evenings, along with Jewish holidays. Members will walk to the Synagogue to attend these services.

Beyond Shabbat and Jewish holidays, the use within the Synagogue will be minor. It will serve as a location for those in the community wishing to meet with the Rabbi. This use currently takes place in the Rabbi’s existing residence. Members of the congregation may stop in to pick up a book from the library. Rabbi Zalman offers small adult educational classes, with attendance ranging from one to seven people. All events with a significant parking demand coincide with Shabbat and Jewish holidays, reducing the need to provide parking typical to the Town of Jackson’s parking standards.

Walkability is important to the Chabad Jewish Center, as supporting a strong sense of community is central to the organization. Members of the Chabad Jewish Center do not drive during Shabbat and holidays. This aligns with the Jackson Comprehensive Plan by promoting vibrant, walkable mixed use areas that support Downtown Jackson as the central complete neighborhood.



The development plan will encourage walkability by including pathways throughout the property and allowing pedestrian access from both Broadway and Deloney. A town sidewalk along the Deloney streetscape will also be provided. Given the project’s service to the community and its given location in the UC-2 zone close to Downtown, incorporating a pedestrian accessible site is beneficial for the Chabad Jewish Center as well as the Jackson community.

Proposed Independent Calculation

A new Synagogue was developed in Aspen, Colorado and can be considered as a reference for this project. There were six parking spaces on the property before a Synagogue was developed. These spaces remained, but the City of Aspen did not require any parking spaces for the project. The Aspen Synagogue’s sanctuary is 3,000 square feet and the total building area is 19,000 square feet. This is approximately three times the size and scope of the proposed Jackson Hole Jewish Center. The Aspen Synagogue is an operation property, similar to the goals of the Jackson Hole Jewish Center. The site has plenty of parking to serve its needs. This offers real world information for the Jackson Hole Jewish Center project. Adjusting proportionally for the different project sizes, the Jackson Hole Jewish Center should provide two parking spaces.

The previous LDRs High Calculation is excessive for the specific Institutional Use proposed. Members of the Chabad Jewish Center attending services will walk. Additionally, some visitors wishing to attend services may join from the on-site lodging units, which have their own specified parking spaces. One of the main reasons the Chabad Jewish Center purchased property in the downtown Jackson area is so members and visitors can choose from a variety of lodging options on Shabbat and Jewish holidays. Rabbi Zalman and his family will be living on the property with separate residential parking. Shared parking within the UC-2 zone between Institutional Use and Lodging and Residential Uses is not considered within the LDRs. However, in this case, Institutional, Lodging, and Residential Uses should be considered as a whole. Rabbi Zalman and his family, who already have parking spaces through the Residential Use requirement, are central to the Chabad Jewish Center’s operations. Furthermore, one of the main attractions of the Chabad Jewish Center’s on-site lodging is its proximity to the Synagogue for visiting Jewish people, allowing them to walk to the Synagogue.

Final Proposed Independent Calculation:

$$\begin{aligned}
 &5 \text{ spaces} && \text{(previous LDRs Low Calculation)} \\
 &\times 50\% && \text{(to adjust for the community and religious aspects that encourage Jewish} \\
 &&& \text{people to walk to services \& rental units occupied by those planning to} \\
 &&& \text{attend services)} \\
 &= 2.5 \rightarrow \mathbf{3 \text{ parking spaces}}
 \end{aligned}$$

Parking Summary

Table 6: Parking Summary

Use	Requirement	Rules for Providing Parking
Residential	2 spaces	On-Site ONLY
Lodging	4 spaces	On-Site ONLY
Institutional	3 spaces	On-Site, On-Street, and Fee-In-Lieu acceptable
Total	9 Parking Spaces	



If the Planning Department agrees with the proposed three parking spaces as an appropriate independent calculation for the Institutional Use, the total required parking is 9 spaces for this development plan. Six of the spaces must be provided on-site for lodging and residential use. The remaining three spaces may be provided on-site, on-street or as a fee-in-lieu payment.

Affordable & Employee Housing Requirements

Affordable housing standards and employee housing requirements have been considered pursuant to Division 7.4 and 6.3 respectively. This redevelopment project creates no additional residential units. Therefore, the project is exempt from the standards of Division 7.4 Affordable Housing Standards. The Jewish Center is considered an institutional use, and therefore exempt from employee housing requirements. The lodging use carries an employee housing requirement. The total employee housing requirement is 45.14 square feet. Please refer to Appendix A for the Housing Mitigation Plan and Employee Housing Calculation worksheet. The applicant meets the income limits to qualify for employee housing. However, he does not wish to deed-restrict his residence. The applicant will fulfill this requirement by paying a fee-in-lieu of \$5,164.02.

Landscaping Requirements

The landscaping requirements are summarized in Table 7.

Table 7: Landscaping Requirements

Landscaping	Required (SF)	Required (Plant Units)	Plant Units Provided	Complies?
LSR = 20% of Base Site Area	2,578	5	5+	Yes

The landscaping requirements have been satisfied for this development. Please refer to Sheets LP 101, LP 102, IR101, and IR102 for the complete Landscape Plan, provided by a licensed landscape architect.

Infrastructure & Utilities

Parking and Access Plan

The parking provided on-site is located within the interior of the property. A 12-foot wide access drive entrance branches from Deloney and runs south to the center of the site. Four partially covered parking spaces are available for the lodging use, one of which is an ADA handicap space accessible for a van. A vehicle parked in any of these four spaces can perform a K-turn to leave the site. The handicap space striping offers a buffer on the east, where vehicles can back into during the first half of the K-turn. Two additional parking spaces are available for the residential use, on-site in an enclosed garage. Vehicles parked in these two spaces have the width of the property to perform a K-turn and exit the site driving forwards. Please refer to Appendix B for the Parking and Access Plan, illustrating the access plan with arrows.



Preliminary Utilities Plan

This project will be constructed in two phases, with the intention of installing utility services for Building #1, while retaining the active utility services for the existing residence. The existing sanitary sewer service and buried telephone service are located where Building #1 is to be built. These service lines will be temporarily rerouted to the west of the Building #1 footprint, to continuously serve the existing residence during the first phase of the project. Existing overhead power and overhead cable TV will remain throughout Building #1 construction. The water service from the existing residence is serviced by a water main under Broadway Ave, and therefore will not be disrupted during Building #1 construction.

Sanitary Sewer Plan

The sanitary sewer from the existing residence is serviced by a sewer main under Deloney. This sewer service will be rerouted west of the Building #1 footprint to allow for continued services during the first phase of construction. A new sanitary sewer service will be installed for Building #1 and Building #2 and once operational, the existing rerouted service will be abandoned. Please refer to Sheet C1.3 for the sanitary sewer plan layout.

Potable Water Plan

The potable water service from the existing residence is serviced by the water main under Broadway. The water service serving the existing residence will be inspected and reused if deemed to be in satisfactory condition. A new water service will then connect the existing water service to Building #2. If the existing water service line is in need of replacement, a new water service line will be installed, connecting Building #2 to the water main under Broadway.

Building #1 will have a separate water service, running north to the water main under Deloney. This will entail the installation of a curb stop and water service connecting Building #2 to the water main under Deloney. Please refer to Sheet C1.3 for the potable water plan layout.

Power

The existing residence receives single-phase power by an overhead line. The proposed development requires three-phase power for the elevator in the Synagogue. Three phase-power is available at a power pole located at the northwest corner of Deloney Avenue and Jean Street. Three-phase will run down the pole and bore under Deloney to a Lower Valley Energy (LVE) vault in the Town of Jackson Right-Of-Way. The power will connect to a three-phase transformer located in the northeast corner of the property. From here, the buried power will run south near the east property boundary, to serve single-phase power to Building #1 and three-phase power to Building #2.

Additional Utilities

The proposed development requires natural gas in both buildings. The proposed gas line will connect to an existing gas line under Deloney. The proposed gas line will run south along the western property boundary to Building #2. The line will also tee east in the north section of the



property and travel to the front of Building #1. The gas service lines will be sized after the loads are calculated.

An existing buried telephone line serves the existing residence, pulling from the telephone pedestal in the Deloney Right-Of-Way. This line will be re-routed to the west of the Building #1 footprint and will serve both new buildings if the condition is deemed acceptable. Otherwise, a new buried telephone line will be installed, pulling from the existing telephone pedestal. Please see Sheet C1.3 for the telephone line layout.

Existing overhead cable TV will remain throughout Building #1 construction. A new cable pedestal will be installed adjacent to the existing telephone pedestal. The buried cable run down the power pole located at the corner of Deloney and Jean. A buried cable TV line will serve both new buildings.

Storm water Management

A preliminary storm water management plan has been prepared, pursuant to Section 5.7.4 of the LDRs. The rational method and modified-rational method were used to calculate the peak flow rates and volumetric requirements. The Intensity-Duration-Frequency Curve Data found in the LDRs was utilized for these calculations. Please refer to Appendix C for the Storm Water Calculations. Based on these calculations, 40 cubic feet of storage must be provided on-site to ensure the proposed project storm water runoff does not increase compared to the existing site runoff conditions. Please refer to Sheet C1.2 for the grading plan which includes storm water facilities and appropriate grading measures.

Construction Staging

The project will be constructed in two phases. Phase I consists of the demolition of a freestanding garage and the construction of Building #1. This is planned to begin fall of 2015 and completed 12 months later in fall of 2016. Phase II is comprised of the demolition of the existing residence and two small sheds and the construction of Building #2. Phase II will begin immediately after Phase I is complete in the fall of 2016. Once a certificate of occupancy is granted for the residence in Building #1, Rabbi Zalman Mendelsohn and his family will move out of their existing residence and into the new residence. The remaining structures on the property will then be demolished and Building #2 construction will begin soon after. Phase II will begin in the fall of 2016 and is expected to be completed 12 months later in the fall of 2017.

Phase I

Phase I demolition will be limited to a freestanding garage and typical site clearing activities for the construction of Building #1. Staging for Building #1 construction is expected to be on-site from the north edge of the existing residence and continue into Deloney Avenue approximately nine feet, the width of a normal parking lane. Disruptions on Deloney Avenue are expected to be minimal since vehicles will enter gates into the staging area and not be held up in



the street. Construction employees will use public parking spaces in the neighborhood, respecting all time limits and Jackson laws.

The installation of buried cable and three-phase buried power will cause a temporary disruption to Deloney Ave, as these utilities will be bored under Deloney Avenue. The gas line, sewer main and water main located in Deloney will serve the property. Connecting to these services will cause a short disruption to Deloney Ave.

Phase II

Phase II demolition will consist of the remaining structures on the site: the residence and two small sheds, and typical site clearing for the construction of Building #2. Staging for Building #2 construction is expected to be on-site from the south edge of Building #1 and continue into Broadway approximately nine feet, the width of a parking lane. Disruptions on Broadway are expected to be minimal since vehicles will enter gates into the staging and not be held up in the street. Employees will use public parking spaces, respecting all time limits and Jackson laws.

The water main under Broadway will serve Building #2. The water service serving the existing residence will be inspected and reused if deemed satisfactory conditions. Otherwise, a new water service will be installed, connecting to the water main under Broadway, causing a short disruption to Broadway.



APPENDIX A – Housing Mitigation Plan

TOWN OF JACKSON AFFORDABLE HOUSING CALCULATIONS - EMPLOYEE (Fee in Lieu)

Date: 4 - 20 - 2015

1. Project Name: Chabad Lubavitch of Wyoming Jewish Community Center
2. Project Address/Location: 265 E Broadway Jackson, Wyoming
3. Existing Use: Residential / Commercial Proposed Use: Institutional, Lodging & Residential
4. Calculate Employee Housing Requirements for Existing & Proposed Uses

	Floor Area (Sq. Ft.)	x	Sq. Ft. Ratio*	x		=	Sq. Ft. of Employee Housing
Existing Use	<u>Pawn Shop - 444 Sq. Ft.</u>		<u>156</u>			.001	<u>69.26 Sq. Ft.</u> (Credit)
Proposed Use	<u>Lodging - 2,434 Sq. Ft.</u>		<u>47</u>			.001	<u>114.40 Sq. Ft.</u> (Requirement)

* Insert Ratio from Table on reverse side.

5. If the employee requirement for the proposed use is more than the credit for the existing use, subtract the credit from the requirement to calculate employee housing requirements for project.

Proposed Use Requirement.	-	Existing Use Credit.	=	Sq. Ft. of Employee Housing Req'd
<u>114.40 Sq. Ft.</u>	-	<u>69.26 Sq. Ft.</u>	=	<u>45.14 Sq. Ft. Employee Housing Req'd</u>

6. Submit Housing Mitigation Plan per Section 49560 or pay Fee-In-Lieu of housing per Section 49540.B.

7. Fee in Lieu of Housing

Employee Housing Requirement	x	\$114.40	=	Fee-In-Lieu Payment
<u>45.14 Sq. Ft.</u>	x	<u>\$114.40</u>	=	<u>\$5,164.02</u>



HOUSING MITIGATION PLAN

Affordable Housing Standards (Division 7.4)

Section 7.4.2.D.1 of the LDRs states that redevelopment of preexisting uses are exempt from a housing requirement provided that no additional residential units are created by the development. The section also states that if the residential unit is converted to a townhome or a condominium there is not an exemption.

There currently exists a residential building on the property, housing Rabbi Zalman Mendelsohn and his family of six. This building will be demolished and redeveloped. The applicant wishes to build one 3,673 SF residential unit within proposed Building 1. This residence will be one unit, housing Rabbi Zalman Mendelsohn and his family.

The phasing of construction and demolition will allow Rabbi Zalman and his family to live in their current residence on-site until the proposed Building 1 is constructed and a Certificate of Occupancy is acquired. The Rabbi and his family will then move from the existing residence to the new residence, and the existing residence will be demolished. At no point in time will there be two occupied residential units on the property. The proposed construction staging plan allows the Rabbi's family to live in their current residence until the proposed new residence is ready for occupancy.

As no additional residential units are created by the redevelopment, the development is exempt from the standards of Division 7.4 Affordable Housing Standards.

Employee Housing Requirements (Division 6.3)

Section 6.3.1.C.2 of the LDRs states that a change of use that results in an employee housing requirement less than or equal to a prior use legally existing on the effective date of the Division of the LDRs is exempt from the provisions of the Division.

Existing Commercial Use

The pawn shop that has existed on the property provides an exemption, pursuant to Section 6.3.1.C.2. The Use of the Pawn is Commercial Retail and is 444 square feet.

Proposed Institutional Use

Pursuant to Section 6.3.1.C.5, any institutional use is exempt from the standards of this Division. The proposed institutional use on the property is the dominant use. Building 2 is proposed as a Jewish Center, comprised of a sanctuary, multi-purpose room, foyer, commercial Kosher kitchen, library / boardroom, studies, and an office. The entirety of this building is considered an institutional use. The basement of Building 1 will be comprised of the Mikvah (723 SF) and storage space (1,920 SF), both ancillary to the Jewish Center. The Mikvah is a bath used for ritual immersion in Judaism. The storage space will contain items associated with the Jewish Center.



Proposed Short Term Rental Use

Along with the Residence, Mikvah, and storage space, Building 1 is proposed to consist of four short term rental units, for a total of 2,434 square feet. This Lodging Use is accessory to the Institutional Use on the property.

Please see the attached Town of Jackson Affordable Housing Calculations worksheet for the complete calculations. Additionally, please refer to the Table of Uses for all existing and proposed uses associated with the property.

The employee housing requirement is 45.14 square feet. This will be fulfilled as a fee-in-lieu of \$5,164.02.



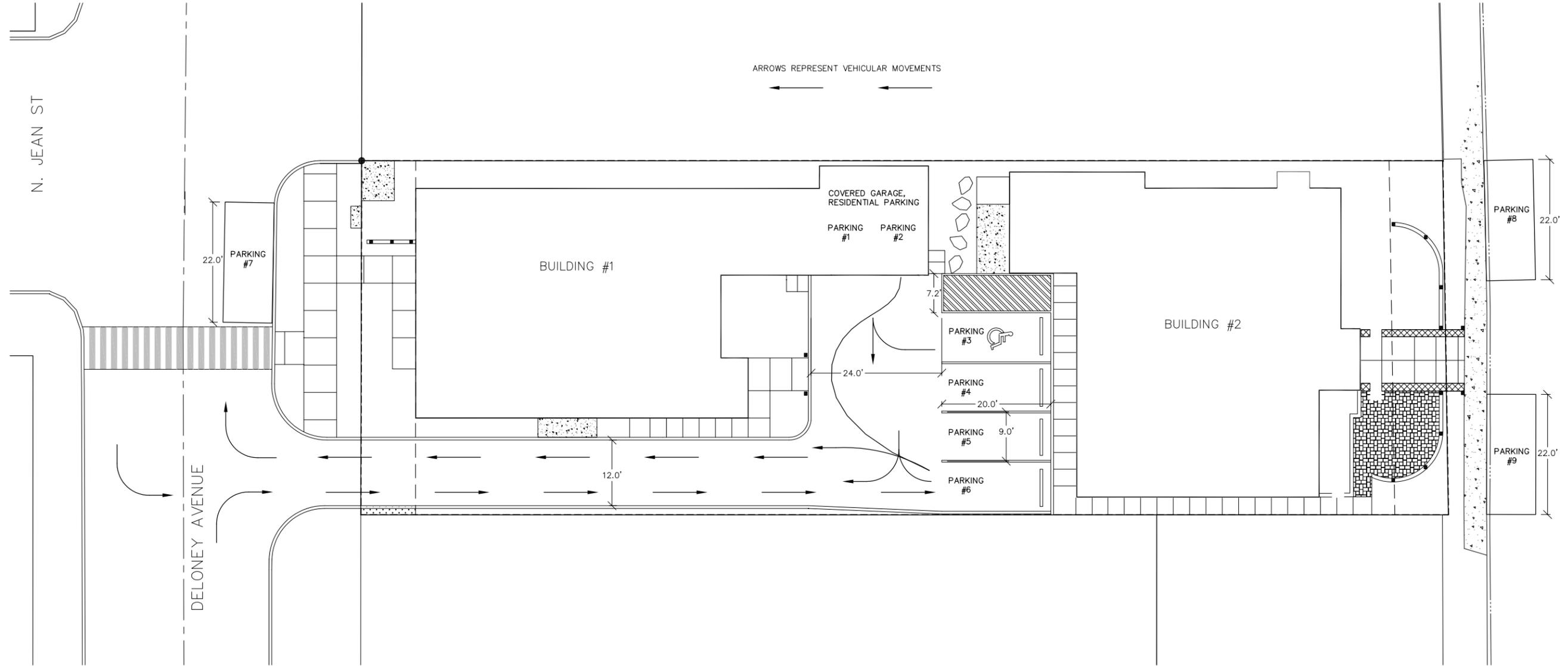
APPENDIX B – Parking & Access Plan

Please refer to the attached 11 x 17 sheet.



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ARROWS REPRESENT VEHICULAR MOVEMENTS

DRAWING SET TITLE	DATE
DEVELOPMENT PLAN	4-17-2015

Y2 Consultants
 215 East Simpson
 P.O. Box 2674
 Jackson, WY 83001
 Ph 307-733-2999



CHABAD LUBAVICH OF WYOMING
JEWISH CENTER OF JACKSON HOLE
 265 East Broadway
 Jackson, Wyoming

SHEET:

Appendix B

Parking & Access Plan

DRAWN BY: HS

APPENDIX C – Storm Water Calculations

265 E BROADWAY STORMWATER RUNOFF CALCULATIONS

MODIFIED RATIONAL METHOD

Composite C:

EXISTING	AREA	RATIONAL 'C'	PROPOSED	AREA	RATIONAL 'C'
FLAT LAWN	6,848 SF	0.17	FLAT LAWN	2,000 SF	0.17
PAVEMENTS & ROOFS	6,043 SF	0.90	PAVEMENTS & ROOFS	10,891 SF	0.90
TOTAL	12,891 SF	0.51	TOTAL	12,891 SF	0.79

Q_{peak} :

$$Q = C i A$$

PRE-DEVELOPMENT

Composite C	0.51
Area	12,891 sf
	0.30 acres
t_c	6 min
i_{10}	1.72 in/hr
i_{100}	2.87 in/hr
Q_{10}	0.26 cfs
Q_{100}	0.44 cfs

Calculate t_c

Greatest length of travel: L = 200 ft.
 Elevation change: h = 6267 - 6238.85 = 28.15 ft.
 Slope: s = 14.1%

$$t_c = \frac{(1.1 - C) * L^{(1/2)}}{s^{(1/3)}}$$

$t_c = 6.2$
 Use 6 minutes

POST-DEVELOPMENT

Composite C	0.79
Area	12,891 sf
	0.30 acres
t_c	5 min
i_{10}	1.80 in/hr
i_{100}	3.00 in/hr
Q_{10}	0.42 cfs
Q_{100}	0.70 cfs

Calculate t_c

Greatest length of travel: L = 150 ft.
 Elevation change: h = 6275 - 6238.5 = 36.5 ft.
 Slope: s = 24.3%

$$t_c = \frac{(1.1 - C) * L^{(1/2)}}{s^{(1/3)}}$$

$t_c = 2.4$
 Use 5 minutes

Required Storage Volume:

$$V = (Q - Q_R) * [(Duration - t_c) + ((Q - Q_R)/Q)] * 60$$

$Q_R = 0.44$ cfs
$C = 0.79$
$A = 0.3$ acres
$t_c = 5$ min

Duration	Intensity	Q	Volume
5	3.00	0.71	30
10	2.33	0.55	40
15	1.90	0.45	5
20	1.65	0.39	-44
30	1.30	0.31	-182
40	1.08	0.25	-348
50	0.95	0.22	-520
60	0.82	0.19	-719

Required Storage Volume = 40 cubic feet



Findings for Approval

Chabad Jewish Center Of Jackson Hole Development

This narrative addresses the Findings for Approval for the Development Plan standards for the Chabad Jewish Center of Jackson Hole application. The discussion includes the findings for the Development Plan, Conditional Use Permit, and two Basic Use Permits.

Zoning Background

The project location is within District 2 - the Town Commercial Core, as classified by the Jackson Comprehensive Plan. Within District 2, the project is located in Subarea 2.6 - Mixed Use Office and Residential.

District 2: Town Commercial Core

District 2, the Town Commercial Core, is considered the economic hub of Teton County, according to the Jackson Comprehensive Plan. This district contains much of the town's commercial uses, employment prospects, and lodging availability. The Comprehensive Plan states that the future goal of this district is to:

...create a vibrant pedestrian-oriented mixed use district, with a variety of non-residential and residential uses. A key component of achieving this goal will be to have visitors and residents visit the area more often and stay longer by increasing the availability of lodging and residential units and creating a vibrant Retail Shopping District.

The Comprehensive Plan specifies that new building in this district should be pulled to the street, to create an attractive street wall. Parking should be located underground or out of site, as much as possible. In the future, the district should incorporate strategically located public parking lots and street parking to enhance the pedestrian experience. The goal is to have visitors and residents park once and enjoy a variety of uses and community events by foot. Future improvements to the streetscape is emphasized by the Comprehensive Plan in District 2. Inviting public spaces and complete street amenities will contribute to a vibrant mixed use district.



Subarea 2.6: Mixed Use Office and Residential

This subarea is considered transitional under the Comprehensive plan. It should be a pedestrian-oriented mixed use area. The area currently contains single family and multifamily residential, office and institutional uses. The future development patterns includes the following guidelines:

- Locate buildings toward the street predominantly two stories in height
- Parking should be minimized and screened from the view of the public right of way
- Office, residential, and local convenience commercial should be located on the first level with residential above and behind
- Some limited local convenience commercial is desirable to service the surrounding residential areas with the goal of reducing trips outside the neighborhood

Additionally, the existing institutional uses shall remain as anchors to the local economy that provide many jobs and services to the community. These institutional uses include St. John's Hospital, the National Elk Refuge Headquarters and Town and County administrative buildings.

Development Plan Findings for Approval

A development plan shall be approved upon finding the application:

1. *Is consistent with the desired future character described for the site in the Jackson/Teton County Comprehensive Plan*

The project site is located within District 2, Subarea 2.6. The project is consistent with the desired future character for this district and subarea, defined in the Jackson Comprehensive Plan. The new buildings will be pulled to the street, creating an attractive street wall. The on-site parking will be hidden from both the Deloney and Broadway streetscapes. Complete street amenities are enhanced in many ways with this project, an important aspect in District 2. A public sidewalk will be installed along Deloney, with a handicap accessible ramp connecting the crosswalk to the new sidewalk. The Broadway streetscape is enhanced with the Synagogue's building frontage and inviting landscaped plaza with seating. This enhanced streetscape creates a welcoming and diverse experience for the public.

The Chabad organization purchased this property, in part, because of its proximity to Town Square and Downtown Jackson. Pedestrian-orientation is very important to the Chabad organization, as to include and welcome members of their organization who follow the tradition of not driving on holy days. Pedestrian-oriented, vibrant, mixed use areas are also important for the Jackson Comprehensive Plan in this district and subarea.



The Chabad Jewish Center will provide services to the community by increasing the cultural diversity, adding fitting and attractive architecture to the Broadway and Deloney streetscapes, and enhancing the complete streets amenities in the project area. The institutional parking need is unique for the Jewish Center, as members of the denomination will walk to religious services. The on-site parking provided is minimized, which supports the needs of this project and the Comprehensive Plan. All on-site parking is screened from Broadway and Deloney.

This project is consistent with the desired future character described in the Comprehensive Plan, and enhances many of these desired features.

2. *Achieves the standards and objective of the Natural Resource Overlay (NRO) and Scenic Resources Overlay (SRO), if applicable*

Not Applicable. The property is not located within the Natural Resource Overlay (NRO) or the Scenic Resource Overlay (SRO).

3. *Does not have a significant impact on public facilities and services, including transportation, potable water and wastewater facilities, parks, schools, police, fire and EMS facilities*

This project will have no significant adverse impact on public facilities above and beyond that typical of a development of this size. The Town's existing municipal services available on site, water and sewer, can continue to serve the site. The existing sewer service line will be abandoned and a new service line will tie into the Deloney sewer main. The existing water service line, connecting to the 10" water main under Broadway, will continue to serve the south portion of the property. A new service will tie into the 8-inch water distribution line under Deloney. Water and wastewater demand will increase with the new lodging and institutional uses proposed on-site, along with the larger residential unit. The Town of Jackson municipal services are available at this project location, with capacity to take on the additional demand.

The project will have no adverse impact on transportation, parks, schools, police, fire, or EMS facilities. The location near town square supports compact development in which locals and visitors can access the site and other Town Square destinations on foot. The project will contribute to the Town's public facilities with the construction of a 6-foot wide sidewalk in the Town's Right-Of-Way parallel to Deloney. Furthermore, a 6-foot wide



sidewalk and ADA compliant ramp will connect the existing crosswalk on the corner of Deloney and Jean to the proposed new sidewalk.

4. *Complies with the Town of Jackson Design Guidelines, if applicable*

The development plan complies with all Town of Jackson Design Guidelines, considering the public space, composition, massing, and materials.

Public Space

The Synagogue consists of two primary buildings, Building #1 (residence/lodging above grade), and Building #2 (worship/community above grade).

Building #2 is the projects primary facility where most congregational activity will occur, and is located on the front of the site facing Broadway. Careful attention has been taken to transition the south facing façade of the building to the street through a landscaped plaza that is inviting to the public and incorporates gathering and seating space off of the street. The Broadway spaces utilize seating walls and landscape for screening, shading, and edging, which will accentuate and create a diverse experience for the public.

Building #1 is more supportive in nature, will be the residence for the Rabbi and his family, and will also have short-term lodging for those traveling to use the Mikvah located in its basement. This building's main entry faces Deloney. Although it is secondary to the primary building it also has a landscaped approach leading to the façade, including a small seating area.

The landscaping, both paving and plantings, lighting (both building mounted and landscape located), and the building massing transition to a human scale from both building to pedestrian paths and streets. Interior functions translate to the exterior of the buildings through the architecture and landscaping is an extended expression accordingly.

Composition, Massing & Street Wall

Building #2 facing Broadway reaches out with its projected entry while the rest of the building steps back gracefully with an exterior balcony on the west and gathering spaces in front of it below. The east side of the façade is also set back from the entry, and both sides have a large amount of south facing clear glazing that adds to the transition experience from the street, then to the sidewalk, and then to the interior of the building. The gable roofs of the 35' high structure, the subtractive massing of the balconies, and the subtractive



massing of the west second level cantilever all break up the volume and massing so the building is natural in its setting and not obtrusive.

Building #1 facing Deloney also uses many of the same elements such as balconies along with flat roof overhangs to break up volume and massing. In addition, existing mature trees are retained that provide a friendly transition from the street to the building. Medium height glazed walls help transition from exterior to interior similar to the other building. Parking for both buildings is on the site interior which accentuates the street wall on Broadway and Deloney.

Materials

Four primary materials, all common to Jackson tradition, are used on both buildings. Slate style roofing is used on the gable roofs, and if preferred these roofs could also be constructed of shake style roofing. Natural wood colors will abound with the generous use of siding. Stone of a color common in Jackson will be used throughout on the bases of the buildings as well as other natural occurring locations such as chimneys. Appropriate amounts of glazing will be seen throughout the project enabling sunlight and natural ventilation to be enjoyed by building occupants.

5. Complies with all relevant standards of these LDRs and other Town Ordinances

All aspects of the proposed development comply with the applicable provisions of the Land Development Regulations (LDRs) and other Town Ordinances. This includes, but is not limited to, setbacks, FAR, LSR, height, parking, landscaping, and snow storage. The project redevelopment report and plan set describe the physical development standards and use standards in detail, clearly showing compliance with all applicable standards from these LDRs.

6. Is in substantial conformance with all standards or conditions of any prior applicable permits or approvals.

There are not prior permits or approvals that are applicable to this development permit.



Institutional Use: Conditional Use Permit Findings for Approval

1. Is compatible with the desired future character of the area

The Institutional Use is compatible with the desired future character of the area. The Comprehensive Plan describes institutional uses in Subarea 2.6 that are anchors to the local economy, providing jobs and services to the Town. The Jewish Center would be a new institutional use, providing cultural and religious diversity to the Town. As pedestrian access is connected to the institutional use, it will further promote the goal of Subarea 2.6, creating a vibrant, mixed use, pedestrian oriented community.

This institutional use is the primary purpose for this project. Aesthetically, the result will be an attractive architectural structure contributing to the Broadway streetscape. A community benefit includes an increase in religious and cultural diversity within the Town of Jackson.

2. Complies with the use specific standards of Division 6.1: Allowed Uses and the zone

This project is located in the Urban Commercial – 2 (UC-2) zone. Pursuant to Division 6.1: Allowed Uses, 6.1.1 Use Schedule, the proposed use for this project, Institutional - Assembly, is allowed within the UC-2 zone if a conditional use permit is acquired.

3. Minimizes adverse visual impacts

All adverse visual impacts are minimized for the Institutional Use. The Jewish Center will add an attractive architectural work and improved landscaping features to the Broadway streetscape. Furthermore, on-site parking is screened from the Broadway and Deloney streetscape view.

4. Minimizes adverse environmental impacts

All adverse environmental impacts are minimized. Compared to the existing conditions, the additional stormwater runoff generated by the proposed development will be retained on-site. A Grading and Erosion Control plan will be prepared at a future date, outlining how erosion and sediment displacement will be controlled during the construction of the this project.



5. *Minimizes adverse impacts from nuisances*

All adverse impacts from nuisances will be minimized. All lighting and signs will be permitted through the Town of Jackson, pursuant to the standards of the LDRs. The Jewish Center will function as a space for the Jewish Community, operated by Rabbi Zalman Mendelsohn and his wife Raizy Mendelsohn. Rabbi Zalman and his family of six will reside in the residential unit on the same property. The family's four children are home schooled and spend much time in their residence. Rabbi Zalman will ensure there are no nuisances related to the Institutional Use, out of respect for the Jackson Community, his employer the Chabad Center, his congregation and his family.

6. *Complies with all other relevant standards of these LDRs and all other Town Ordinances*

All aspects of the proposed development comply with the applicable provisions of the Land Development Regulations (LDRs) and other Town Ordinances. The project redevelopment report and plan set describe the physical development standards and use standards in detail, clearly showing compliance with all applicable standards from these LDRs.

7. *Is in substantial conformance with all standards or conditions of any prior applicable permits or approvals*

There are not prior permits or approvals that are applicable to this development permit.

Residential Use: Basic Use Permit Findings for Approval

1. *Complies with the use specific standards of Division 6.1: Allowed Uses and the zone*

This project is located in the Urban Commercial – 2 (UC-2) zone. Pursuant to Division 6.1: Allowed Uses, 6.1.1 Use Schedule, one proposed use for this project, Residential – Attached Single-Family Unit, is allowed within the UC-2 zone if a basic use permit is acquired.

2. *Complies with all other relevant standards of these LDRs and all other Town Ordinances*

All aspects of the proposed development comply with the applicable provisions of the Land Development Regulations (LDRs) and other Town Ordinances. The project redevelopment report and plan set describe the physical development standards and use



standards in detail, clearly showing compliance with all applicable standards from these LDRs.

- 3. Is in substantial conformance with all standards or conditions of any prior applicable permits or approvals*

There are not prior permits or approvals that are applicable to this development permit.

Lodging Use: Basic Use Permit Findings for Approval

- 1. Complies with the use specific standards of Division 6.1: Allowed Uses and the zone*

This project is located in the Urban Commercial – 2 (UC-2) zone, within the Lodging Overlay. Pursuant to Division 6.1: Allowed Uses, 6.1.1 Use Schedule, one proposed use for this project, Lodging – Short Term Rental Unit, is allowed within the UC-2 zone if a basic use permit is acquired, only in the lodging overlay.

- 2. Complies with all other relevant standards of these LDRs and all other Town Ordinances*

All aspects of the proposed development comply with the applicable provisions of the Land Development Regulations (LDRs) and other Town Ordinances. The project redevelopment report and plan set describe the physical development standards and use standards in detail, clearly showing compliance with all applicable standards from these LDRs.

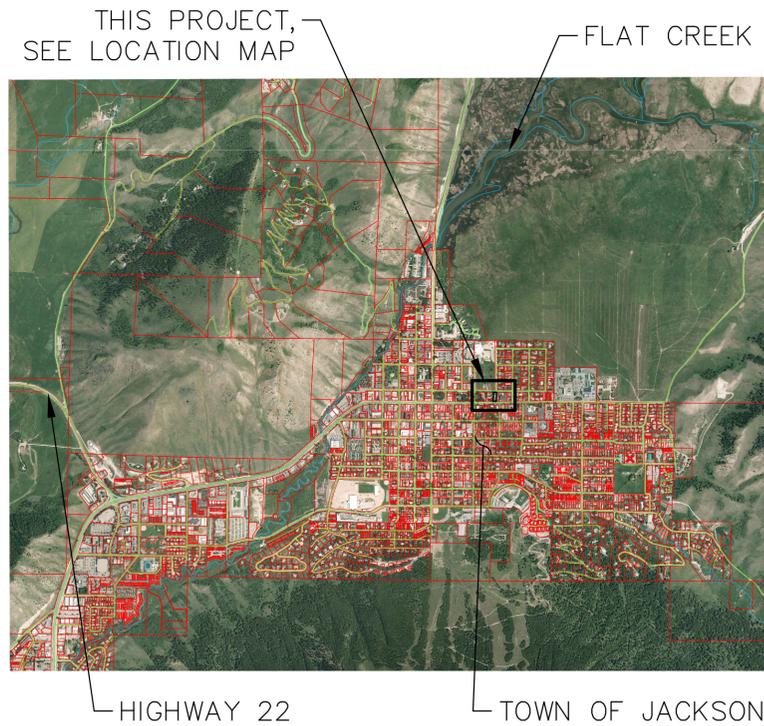
- 3. Is in substantial conformance with all standards or conditions of any prior applicable permits or approvals*

There are not prior permits or approvals that are applicable to this development permit.



CHABAD JEWISH CENTER OF JACKSON HOLE

265 EAST BROADWAY
JACKSON, WY



VICINITY MAP

0 2000' 4000'
22x34 SHEET: 1"=2000'
11x17 SHEET: 1"=4000'



LOCATION MAP

WITHIN T.41N. R.117W. SEC. 23

0 100' 200'
22x34 SHEET: 1"=100'
11x17 SHEET: 1"=200'

Sheet List Table	
Sheet Number	Sheet Title
C1.0	TITLE SHEET
C1.1	EXISTING
C1.2	GRADING PLAN
C1.3	UTILITIES PLAN
C2.1	DETAILS
C2.2	DETAILS
AE 101	FLOOR PLANS
AE 102	ROOF PLAN
AE 201	SHUL BUILDING ELEVATIONS
AE 202	RESIDENCE BUILDING ELEVATIONS
AS101	SITE PLAN
LP 101	PLANTING PLAN: BUILDING #2
LP 102	PLANTING PLAN: BUILDING #1
IR 101	IRRIGATION PLAN: BUILDING #2
IR 102	IRRIGATION PLAN: BUILDING #1

Owner

Chabad Lubavitch of Wyoming, Inc.
PO Box 9818
Jackson, WY 83001

Engineer

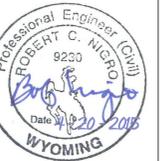
Y2 Consultants, LLC.
PO Box 2674
Jackson, WY 83001

DRAWING SET TITLE
DEVELOPMENT PLAN

DATE
4-17-2015

Y2 Consultants

215 East Simpson
P.O. Box 2674
Jackson, WY 83001
Ph 307-733-2999



CHABAD LUBAVITCH OF WYOMING

JEWISH CENTER OF JACKSON HOLE

265 East Broadway
Jackson, Wyoming

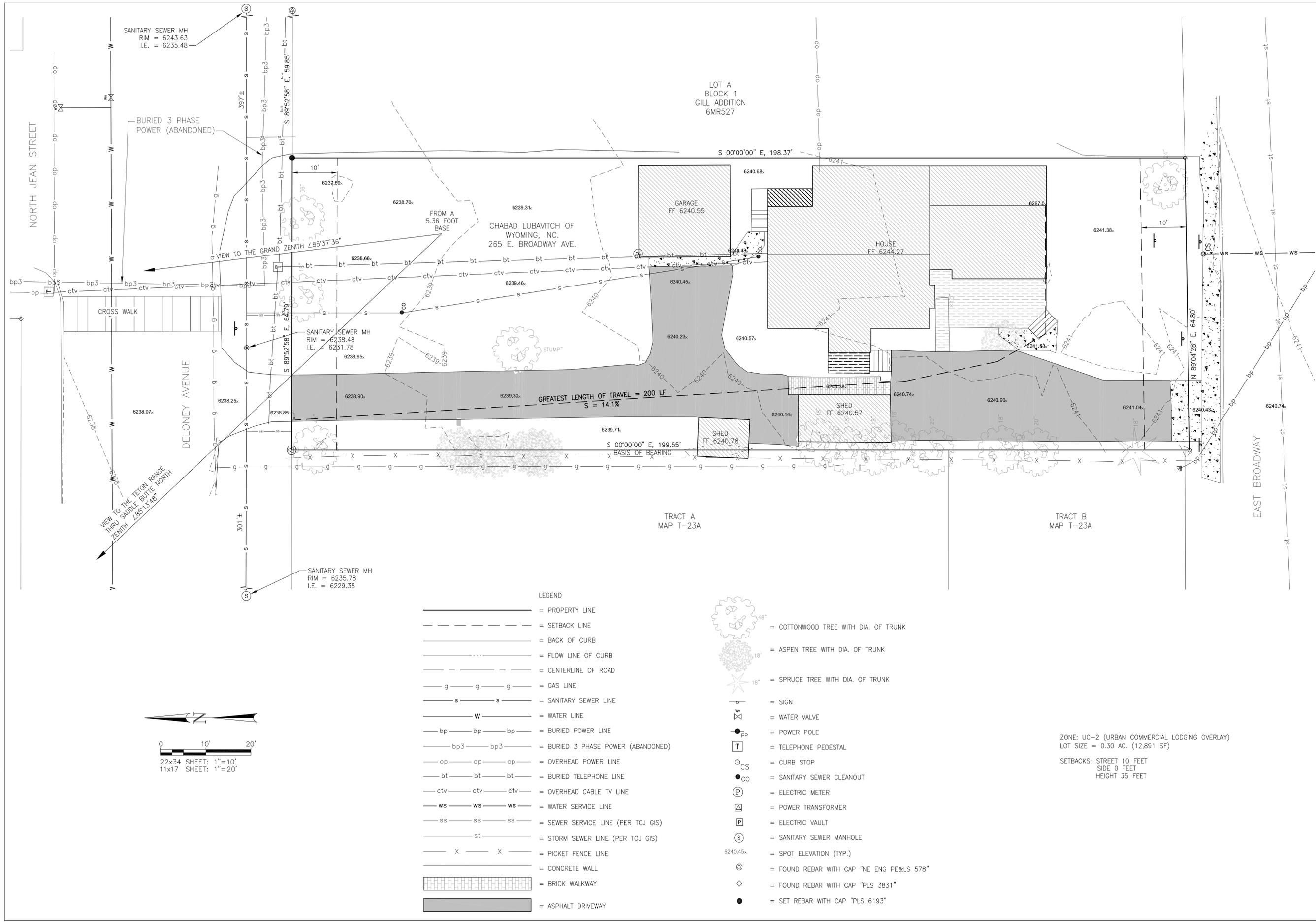
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TITLE SHEET

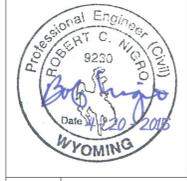
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 DEVELOPMENT PLAN
 DATE
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CHABAD LUBAVICH OF WYOMING
JEWISH CENTER OF JACKSON HOLE
 265 East Broadway
 Jackson, Wyoming

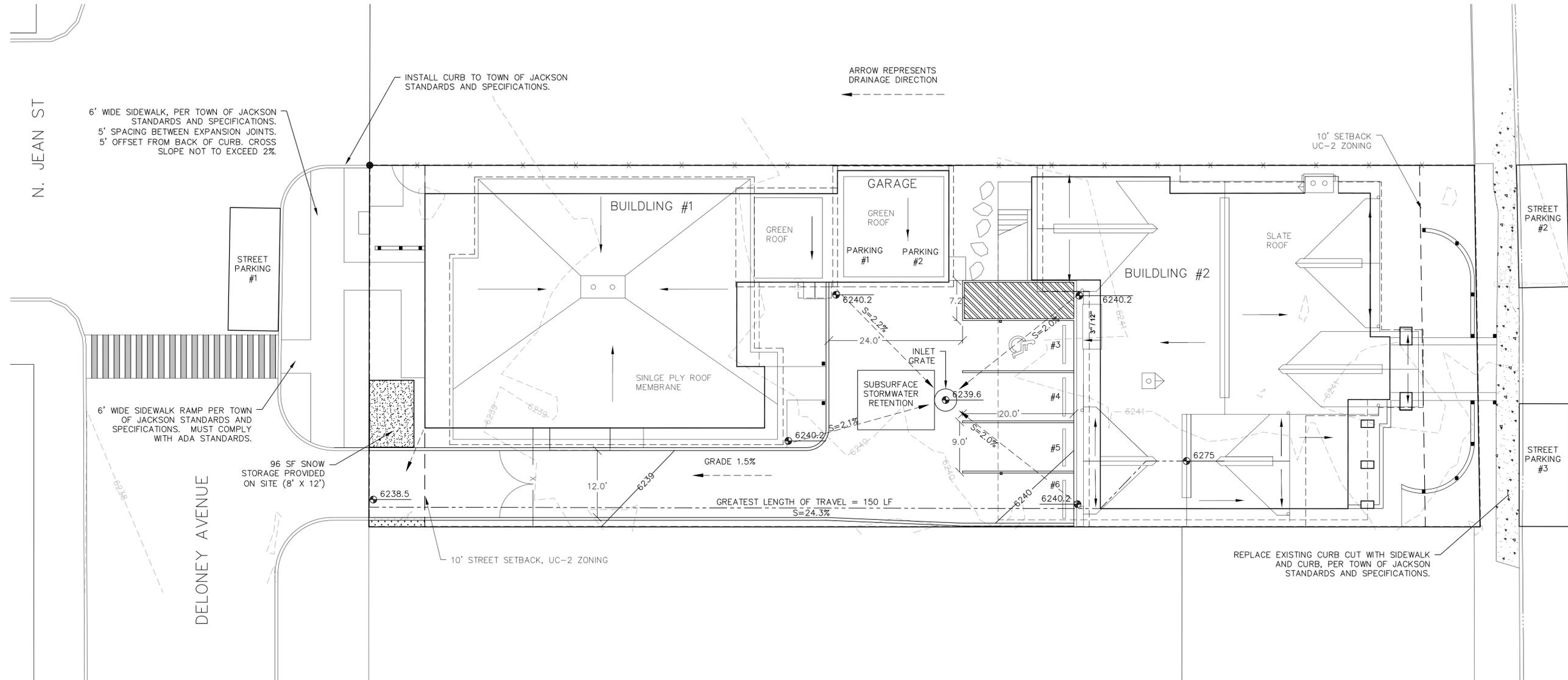
SHEET:
C1.1
 EXISTING CONDITIONS
 DRAWN BY: HS

ZONE: UC-2 (URBAN COMMERCIAL LODGING OVERLAY)
 LOT SIZE = 0.30 AC. (12,891 SF)
 SETBACKS: STREET 10 FEET
 SIDE 0 FEET
 HEIGHT 35 FEET

- LEGEND**
- = PROPERTY LINE
 - - - = SETBACK LINE
 - = BACK OF CURB
 - · — · — = FLOW LINE OF CURB
 - = CENTERLINE OF ROAD
 - g — g — g = GAS LINE
 - s — s — s = SANITARY SEWER LINE
 - W — W — W = WATER LINE
 - bp — bp — bp = BURIED POWER LINE
 - bp3 — bp3 — bp3 = BURIED 3 PHASE POWER (ABANDONED)
 - op — op — op = OVERHEAD POWER LINE
 - bt — bt — bt = BURIED TELEPHONE LINE
 - ctv — ctv — ctv = OVERHEAD CABLE TV LINE
 - ws — ws — ws = WATER SERVICE LINE
 - ss — ss — ss = SEWER SERVICE LINE (PER TOJ GIS)
 - st — st — st = STORM SEWER LINE (PER TOJ GIS)
 - X — X — X = PICKET FENCE LINE
 - = CONCRETE WALL
 - ▨ = BRICK WALKWAY
 - = ASPHALT DRIVEWAY
 - = COTTONWOOD TREE WITH DIA. OF TRUNK
 - = ASPEN TREE WITH DIA. OF TRUNK
 - = SPRUCE TREE WITH DIA. OF TRUNK
 - = SIGN
 - ⊗ = WATER VALVE
 - = POWER POLE
 - ⊞ = TELEPHONE PEDESTAL
 - = CURB STOP
 - = SANITARY SEWER CLEANOUT
 - Ⓟ = ELECTRIC METER
 - ⊞ = POWER TRANSFORMER
 - Ⓟ = ELECTRIC VAULT
 - Ⓢ = SANITARY SEWER MANHOLE
 - 6240.45x = SPOT ELEVATION (TYP.)
 - ⊞ = FOUND REBAR WITH CAP "NE ENG PE&LS 578"
 - ◇ = FOUND REBAR WITH CAP "PLS 3831"
 - = SET REBAR WITH CAP "PLS 6193"

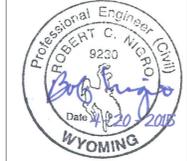
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DRAWING SET TITLE	DATE
DEVELOPMENT PLAN	4-17-2015

Y2 Consultants
 215 East Simpson
 P.O. Box 2674
 Jackson, WY 83001
 Ph 307-733-2999

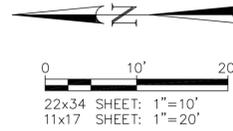
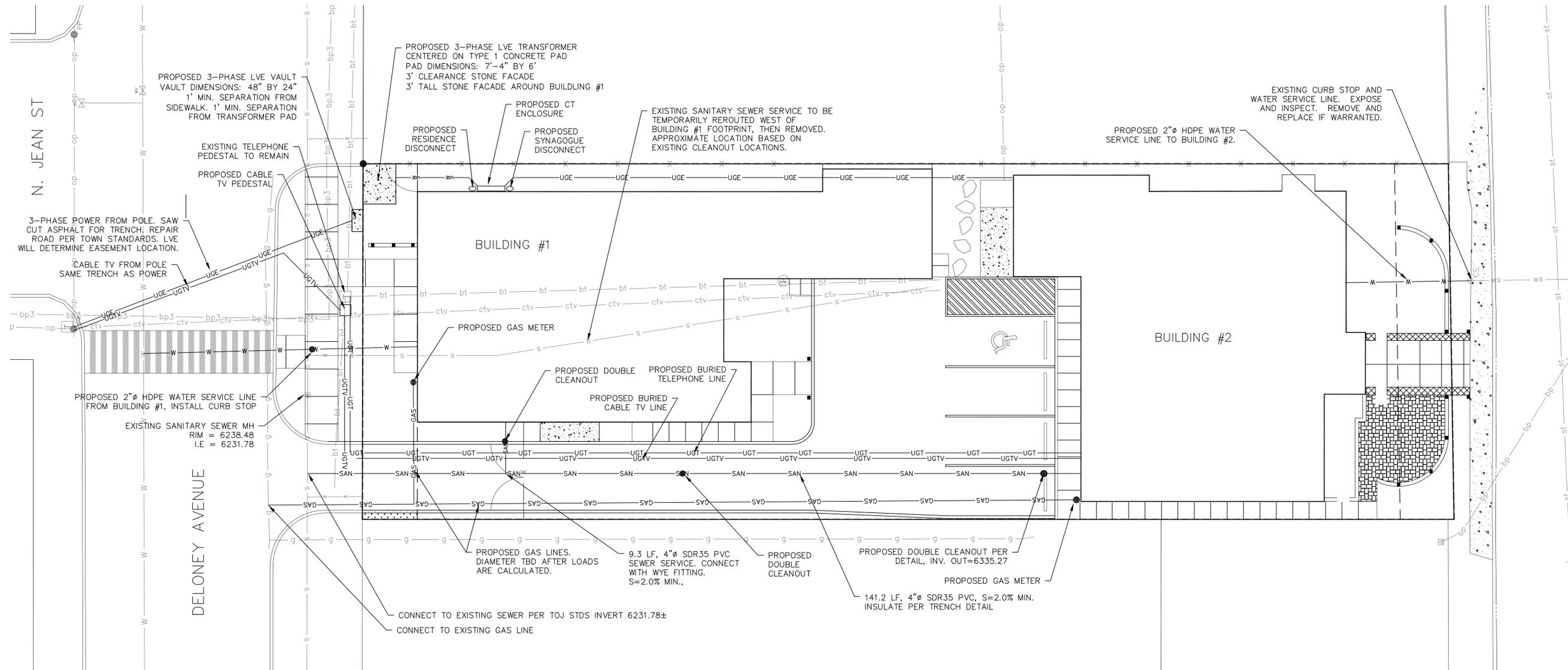


CHABAD LUBAVICH OF WYOMING
JEWISH CENTER OF JACKSON HOLE
 265 East Broadway
 Jackson, Wyoming

SHEET:
C1.2
 GRADING PLAN
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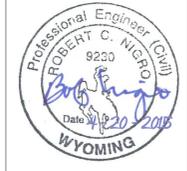
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DRAWING SET TITLE	DATE
DEVELOPMENT PLAN	4-17-2015

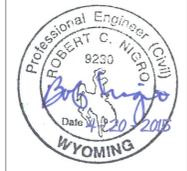
Y2 Consultants
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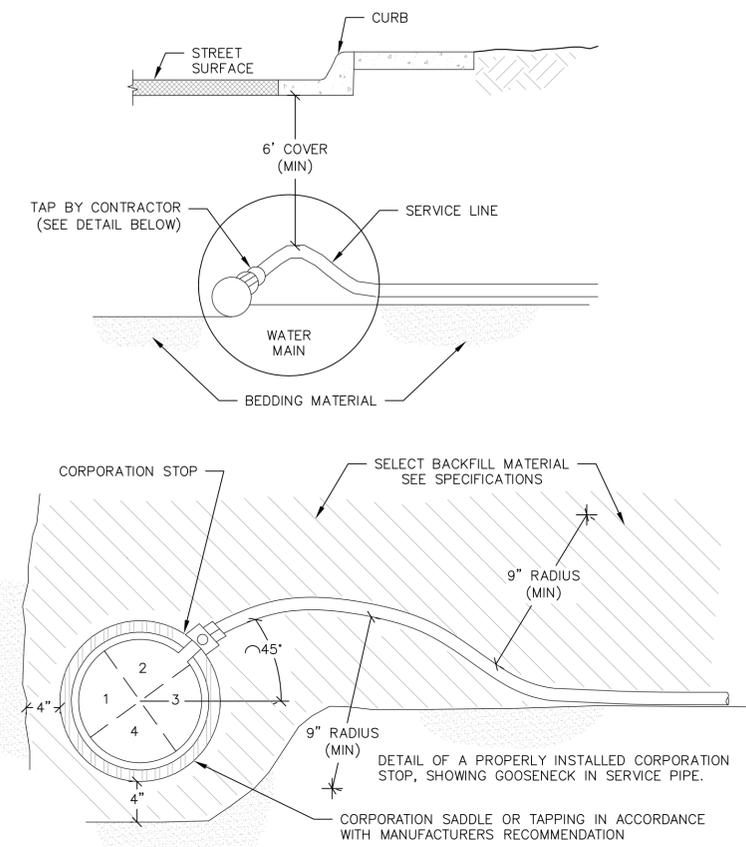
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SHEET:
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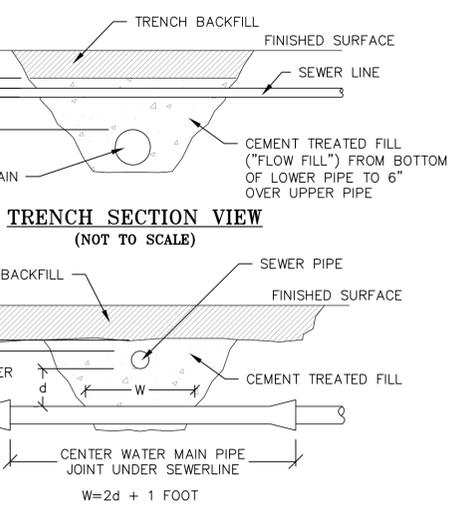
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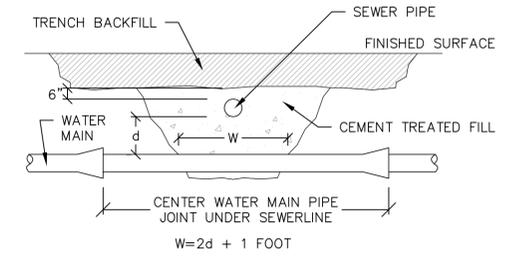
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SEVICE LINE TAP
 (NOT TO SCALE)

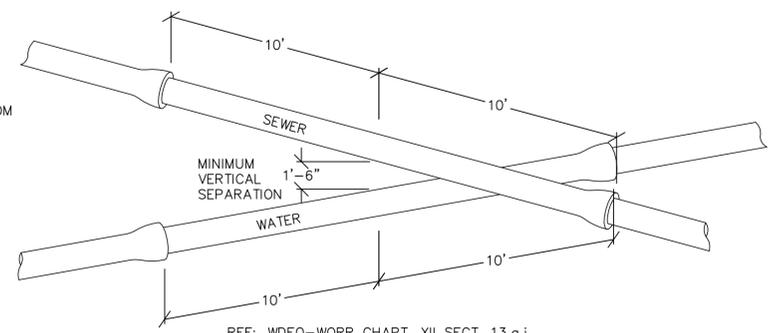


TRENCH SECTION VIEW
 (NOT TO SCALE)



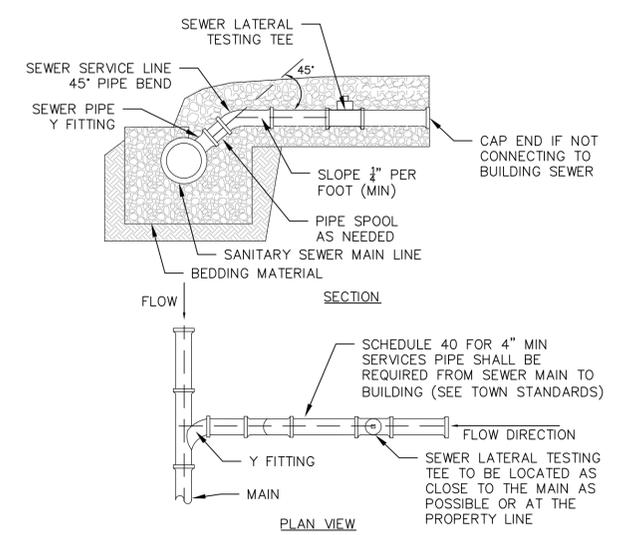
TRENCH PROFILE
 (NOT TO SCALE)

DETAIL FOR CEMENT TREATED FILL AT WATER MAIN/SEWER LINE CROSSING WHENEVER SEWER LINE IS ABOVE WATER MAIN.



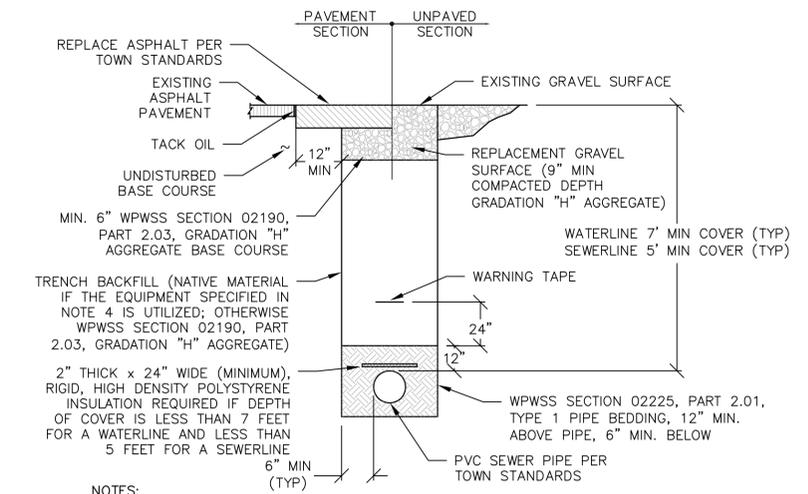
- REF: WDEQ-WQRR CHAPT. XII SECT. 13.g.i.
- NOTES:**
- WHERE VERTICAL SEPARATION IS LESS THAN 1'-6", AS SHOWN ABOVE, WATER LINES AND SEWER LINE SHALL BE AT LEAST 10' APART HORIZONTALLY.
 - MINIMUM VERTICAL SEPARATION, AS SHOWN ABOVE, WHERE PIPES CROSS SHALL BE 1'-6" AND SEWER LINE JOINTS SHALL BE CENTERED AS SHOWN TO PROVIDE A MINIMUM OF 10' HORIZONTAL SEPARATION.
 - THE UPPER PIPE SHALL BE SPECIALLY SUPPORTED BY A CONDUIT CASING OR EMBEDDED IN CONCRETE.
 - WHERE HORIZONTAL OR VERTICAL SEPARATION MINIMUMS CAN NOT BE MAINTAINED, EITHER PIPE SHALL BE SLEEVED THROUGH A CONDUIT PIPE OR EMBEDDED IN CONCRETE.

WATER-SEWER PIPE CROSSING
 (NOT TO SCALE)



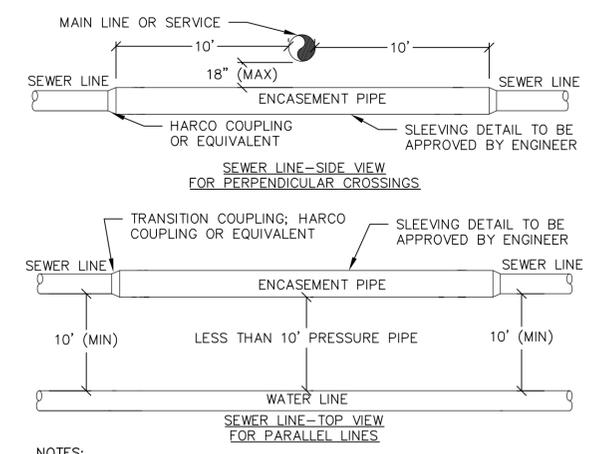
- NOTES:**
- NEW SERVICE CONNECTIONS TO EXISTING SANITARY SEWER MAINS SHALL BE COMPLETED BY TOWN OF JACKSON. THE PRIVATE PARTY BEING SERVED BY THE NEW CONNECTION SHALL BE RESPONSIBLE FOR CARRYING OUT BACKFILL OPERATIONS.
 - BACKFILL OPERATIONS AT NEW SERVICES CONNECTED TO EXISTING SANITARY SEWER MAINS SHALL BE COMPACTED PER TOWN STANDARDS.
 - CLEANOUT TO BE PROVIDED ADJACENT TO HOUSE EVERY 100' OR SERVICE LINE AND AT ALL BENDS.

SEWER SERVICE CONNECTION
 (NOT TO SCALE)



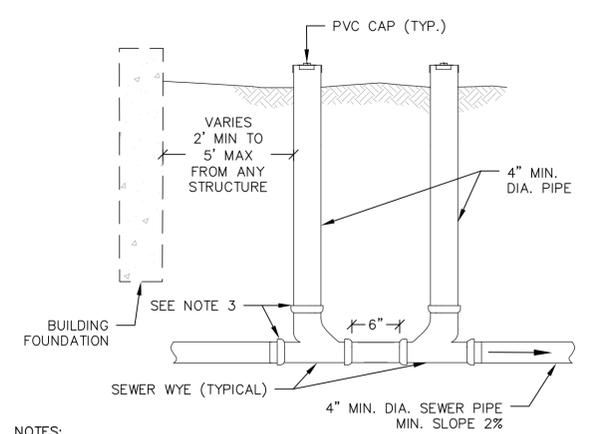
- NOTES:**
- TRENCH BACKFILL BELOW THE SURFACE SHALL MEET THE FOLLOWING CRITERIA:
 -95% MODIFIED PROCTOR DENSITY WITHIN STREET AND ALLEY RIGHTS-OF-WAY.
 -90% MODIFIED PROCTOR DENSITY OUTSIDE STREET AND ALLEY RIGHTS-OF-WAY.
 - COMPACTION OF TRENCH BACKFILL SHALL BE CARRIED OUT WITH A HOE-PACK OR A SHEEPS FOOT ROLLER ON A BACK-HOE ARM.
 - PIPE BEDDING SHALL BE PLACED IN 6" LIFTS AND THOROUGHLY COMPACTED TO PROVIDE UNIFORM PIPE SUPPORT.
 - UNLESS OTHER DIRECTED, ALL BASE COURSE AND GRAVEL SURFACE REPLACEMENT SHALL BE INSTALLED PER WPSS SECTION 02231, PART 3.03.
 - ALL TRENCH EXCAVATION SHALL CONFORM TO WYOMING OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (WOSHA) REGULATIONS.

WATERLINE-SEWERLINE TRENCH DETAIL
 (NOT TO SCALE)



- NOTES:**
- IF WATER LINE IS 18" OR LESS ABOVE SEWER LINE OR IF WATER LINE AND SEWER LINE COME WITHIN 10 FEET HORIZONTALLY, THEN THE INSTALLED SEWER LINE IS TO BE CONSTRUCTED OF C-900 PVC PRESSURE PIPE OR ENGINEER APPROVED EQUAL PIPE. PRESSURE PIPE MUST EXTEND UNTIL THE WATER AND SEWER PIPE ARE SEPARATED BY MORE THAN 10 FEET HORIZONTALLY AND OR MORE THAT 18" VERTICALLY AS MEASURED FROM EXTERIOR WALL TO EXTERIOR WALL, OR THE JOINTS OF THE SEWER LINE ARE OFFSET BY 10 FEET HORIZONTALLY FROM THE CENTER OF THE WATER LINE.
 - IF APPROVED SEWER PRESSURE PIPE IS INSTALLED, ENCASEMENT PIPE MAY NOT BE REQUIRED AT DISTANCES LESS THAN 10 FEET.

WATER-SEWER CROSSING
 (NOT TO SCALE)



- NOTES:**
- PRIOR TO BACKFILL THE TOWN PUBLIC WORKS DEPT. MUST INSPECT ALL PIPE, FITTINGS, COUPLINGS GRADE AND COMPLETE WATER TESTING.
 - INSTALL AND COMPACT ALL BACKFILL MATERIAL PER TOWN PUBLIC WORKS DEPARTMENT STANDARD SPECIFICATIONS AND AS SHOWN WITHIN THE TRENCH DETAIL.
 - ALL PVC FITTINGS SHALL MEET ASTM D3034 SPECIFICATIONS, AND SHALL ALSO MEET ASTM D312 SPECIFICATIONS FOR RUBBER GASKETED BELL AND SPIGOT TYPE WITH INTEGRAL BELL.
 - SCH 40 PVC PIPE THAT PENETRATES CONCRETE PER STRUCTURAL DETAILS OR WRAP WITH (3) 1/8" THICK LAYERS OF FOAM.

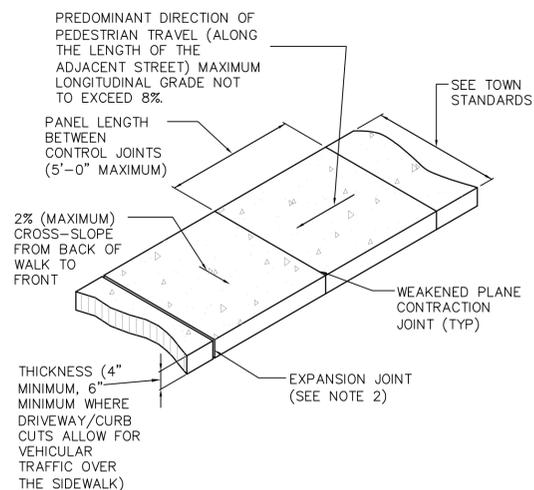
SEWER SERVICE CLEANOUT
 (NOT TO SCALE)

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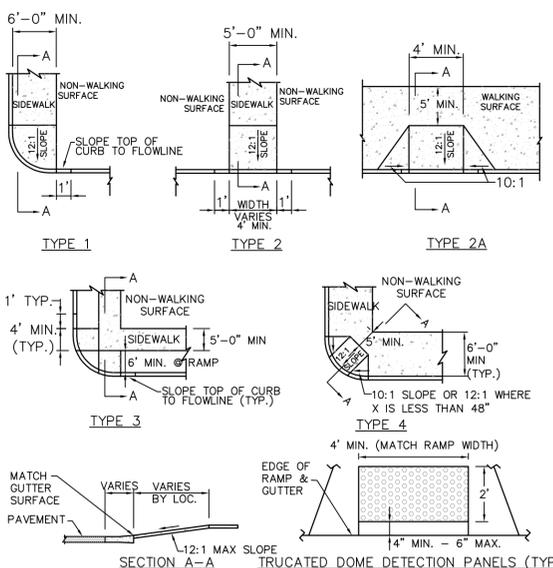
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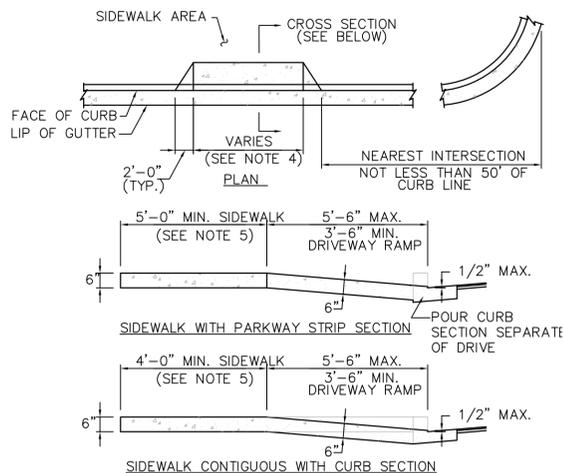


- NOTES:**
- SIDEWALK SHALL CONFORM TO ALL APPLICABLE ADA STANDARD REQUIREMENTS. SIDEWALKS SHALL CONFORM TO WPWSS SECTION 02776, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPWSS SECTION 03304, PART 2.07.
 - EXPANSION JOINTS SHALL BE PLACED IN SIDEWALK AT THE SAME LOCATIONS AS THOSE IN CURB AND GUTTER WHEN SIDEWALK IS ADJACENT TO CURB. (PER WPWSS SECTION 03251, PART 3.04 SPACING SHALL NOT EXCEED 32'-0" ON CENTER).
 - FOR SIDEWALKS GREATER THAN SIX FEET IN WIDTH, A LONGITUDINAL CONTROL JOINT SHALL BE INSTALLED AT THE CENTER OF THE WALK.
 - REMOVAL AND REPLACEMENT OF SIDEWALK SHALL TAKE PLACE IN FULL PANELS.
 - AGGREGATE BASE COURSE SHALL BE FOUR INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.

CONCRETE SIDEWALK
(NOT TO SCALE)

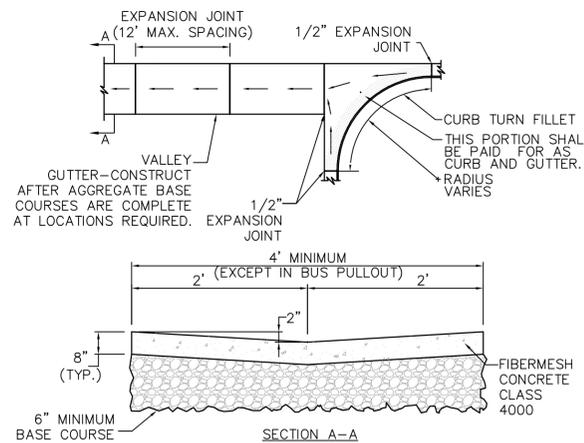


PEDESTRIAN RAMPS
(NOT TO SCALE)



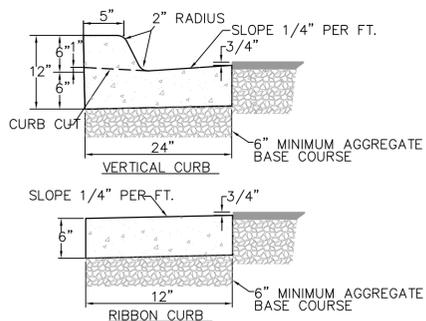
- NOTES:**
- DRIVEWAYS AND CURB CUT SHALL BE INSTALLED TO CONFORM WITH ALL APPLICABLE ADA STANDARD REQUIREMENTS
 - CONCRETE DRIVEWAY RAMPS/CURB CUTS AND ASSOCIATED ADJACENT SIDEWALK SHALL CONFORM TO WPWSS SECTION 02776, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPWSS SECTION 03304, PART 2.07.
 - AGGREGATE BASE COURSE SHALL BE SIX INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
 - THE FLAT BOTTOM WIDTH DIMENSION OF CURB CUTS SHALL NOT EXCEED THE DIMENSIONS SET FORTH IN THE TOWN LAND DEVELOPMENT REGULATIONS.
 - THE ENTIRE SIDEWALK AND RAMP SHALL BE DEPRESSED AND INSTALLED AT A MAXIMUM CROSS-SLOPE OF 2% LONGITUDINAL SLOPE (ALONG THE SIDEWALK) AT EACH END OF THE DEPRESSED SECTION SHALL NOT BE STEEPER THAN 1:12.
 - SIDEWALK CONSTRUCTION SHALL BE PER TOWN STANDARDS.

DRIVEWAY CURB CUT
(NOT TO SCALE)



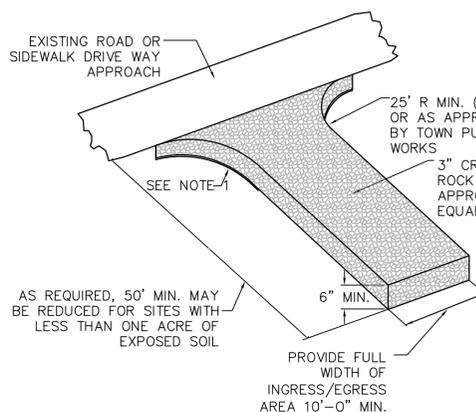
- NOTES:**
- VALLEY GUTTERS AND CURB TURN FILLETS SHALL CONFORM TO WPWSS SECTION 02528, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH CLASS 4000 CONCRETE CONFORMING WITH WPWSS SECTION 03304, PART 2.08.
 - AGGREGATE BASE COURSE SHALL BE SIX INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
 - REMOVAL AND REPLACEMENT OF VALLEY GUTTER SHALL TAKE PLACE IN FULL PANELS.
 - CURB AND GUTTER SECTION SHALL BE POURED SEPARATE OF VALLEY PAN AS WELL AS PEDESTRIAN RAMP AND/OR SIDEWALK.

VALLEY CURB AND TURN
(NOT TO SCALE)



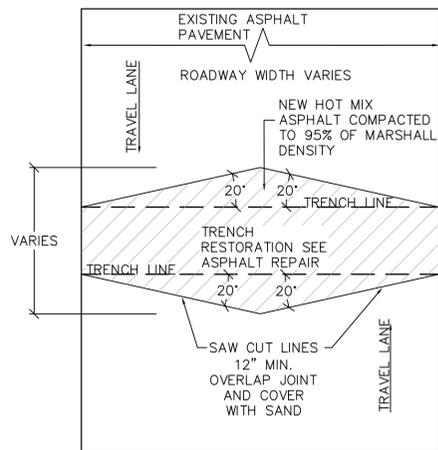
- NOTES:**
- CURBS SHALL CONFORM TO WPWSS SECTION 02525, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPWSS SECTION 03304, PART 2.07.
 - AGGREGATE BASE COURSE SHALL BE SIX INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
 - REMOVAL AND REPLACEMENT OF CURB SHALL TAKE PLACE IN FULL PANELS.
 - ROLL CURB SHALL NOT BE ALLOWED.

CURB SECTIONS
(NOT TO SCALE)



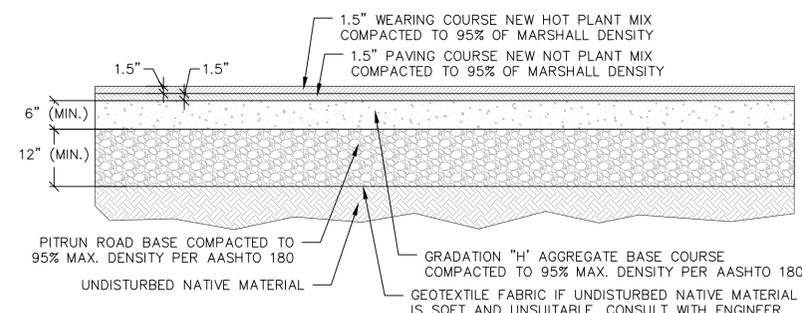
- NOTES:**
- PLACE CONSTRUCTION GEOTEXTILE FOR SOIL STABILIZATION UNDER THE CRUSHED ROCK FROM THE EDGE OF THE EXISTING ROADWAY TO THE RADIUS RETURNS, OR AS DIRECTED BY PUBLIC WORKS.
 - ENTRANCE SHALL BE REMOVED AND RECONSTRUCTED AS REQUIRED TO PREVENT EXCESS TRACKING OF MATERIALS ONTO RIGHT-OF-WAY, OR WHEN DIRECTED BY THE TOWN PUBLIC WORKS DEPARTMENT.

STABILIZED CONST. ENTRANCE
(NOT TO SCALE)



- NOTES:**
- 20' DIAMOND PATCH TO BE CONSTRUCTED WHEN REQUIRED BY PUBLIC WORKS DEPARTMENT.
 - PLACEMENT OF ASPHALT SHALL BE 1" GREATER THAN EXISTING AND NO LESS THAN 3" MIN. ALSO SEE THE ASPHALT PATCH REPAIR DETAIL.
 - HOT MIX ASPHALT SHALL MEET THE APPLICABLE REQUIREMENTS OF WYOMING PUBLIC WORKS STANDARDS AND SPECIFICATIONS FOR BITUMINOUS MATERIALS.
 - ALTERNATIVE HOURGLASS LAYOUT MAY BE USED UPON APPROVAL BY TOWN.

TRENCH RESTORATION
(NOT TO SCALE)



- NOTES:**
- AGGREGATE BASE COURSE SHALL CONFORM TO WPWSS SECTION 02190, PART 2.3, GRADING "H", AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.
 - ALL PAVED AREAS SHALL RECEIVE (2) 1.5" LIFTS OF HOT MIX ASPHALT PER SECTION 02511 AND 02512.
 - BITUMINOUS MATERIAL SHALL MEET THE REQUIREMENTS OF SECTION 02545 BITUMINOUS MATERIALS.
 - MATCHING EXISTING PAVED AREAS SHALL BE DONE TO SAW CUT CLEAN LINES. APPLY TACK COAT PER SECTION 02551 TO ALL EXISTING ASPHALT EDGES.

SPECIFICATIONS:
ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS. SPECIAL PROVISIONS AMENDING, SUPPLEMENTING, AND CLARIFYING THE ABOVE REFERENCED SPECIFICATIONS ARE AS FOLLOWS:

SECTION 02231-AGGREGATE SUB-BASE AND BASE COURSES

- 2.01.A.1 THE AGGREGATE SHALL MEET THE REQUIREMENTS OF SECTION 02190, AGGREGATES. AGGREGATE SUB-BASE SHALL BE PITRUN OR SCREENED MATERIAL WITH A MAXIMUM SIZE OF 6". AGGREGATE BASE COURSE SHALL BE GRADING H.

SECTION 02512-PLANT MIX PAVEMENTS

- 1.04.A.2 THE BITUMINOUS PAVEMENT MIXTURE SHALL MEET THE FOLLOWING TEST CRITERIA:
STABILITY (MARSHALL METHOD): 1,500 POUNDS MINIMUM
FLOW (MARSHALL METHOD) (0.01 IN): 8 TO 18
AIR VOIDS SURFACE COURSE: 3 TO 5%
AIR VOIDS BASE COURSE: 3 TO 8%
VOIDS IN MINERAL AGGREGATE: 14% MINIMUM

- 2.01.A.1 THE PERCENTAGE OF BITUMINOUS MATERIAL TO BE ADDED TO THE JOB MIX FORMULA SHALL BE 4.5 TO 7.5% OF THE WEIGHT OF THE TOTAL MIXTURE.

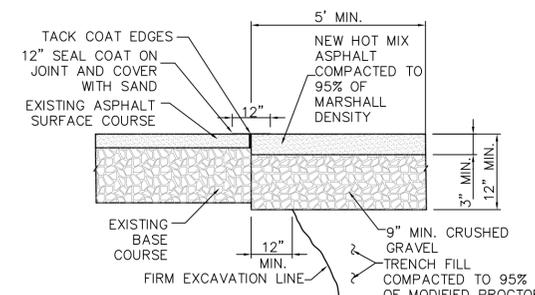
- 2.01.A1 BITUMINOUS MATERIAL SHALL BE AC-10.

- 2.01.B.5 AGGREGATE FOR THE PLANT MIX BITUMINOUS SURFACE SHALL CONFORM TO SECTION 02190, 2.07.D, FOR 3/4" MAXIMUM.

SECTION 02776-CONCRETE SIDEWALKS, DRIVEWAY APPROACHES, CURB TURN FILLETS, VALLEY GUTTERS AND MISCELLANEOUS NEW CONCRETE CONSTRUCTION

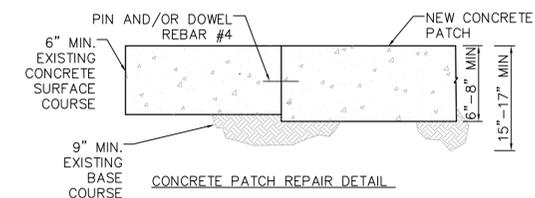
- 2.01.A PORTLAND CEMENT CONCRETE SHALL BE CLASS 4000

TYPICAL PARKING LOT SECTION
(NOT TO SCALE)



BITUMINOUS MATERIAL SHALL MEET THE APPLICABLE REQUIREMENTS OF SECTION 02545 BITUMINOUS MATERIALS OF WYOMING PUBLIC WORKS STANDARDS AND SPECIFICATIONS

ASPHALT PATCH REPAIR DETAIL

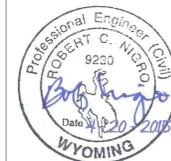


- NOTES:**
- REPLACEMENT ASPHALT THICKNESS SHALL BE 1" GREATER THAN EXISTING AND NO LESS THAN 3" MINIMUM.
 - ASPHALT SHALL BE PLACED IN TWO (2) LIFTS, EACH NO LESS THAN 1 1/2" IN THICKNESS, AND COMPACTED TO 95% OF MARSHALL DENSITY.
 - PORTLAND CEMENT CONCRETE PAVEMENT SHALL MEET APPLICABLE REQUIREMENTS OF SECTION 02520, 02776 AND 03304 AS DIRECTED BY TOWN PUBLIC WORKS DEPARTMENT.

ASPHALT & CONCRETE PATCH REPAIR
(NOT TO SCALE)

DATE: 4-17-2015
DRAWING SET TITLE: DEVELOPMENT PLAN

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215 East Simpson
P.O. Box 2674
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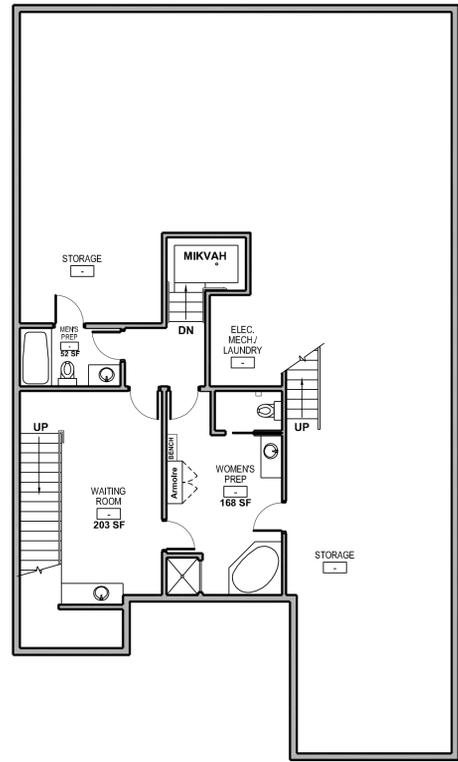
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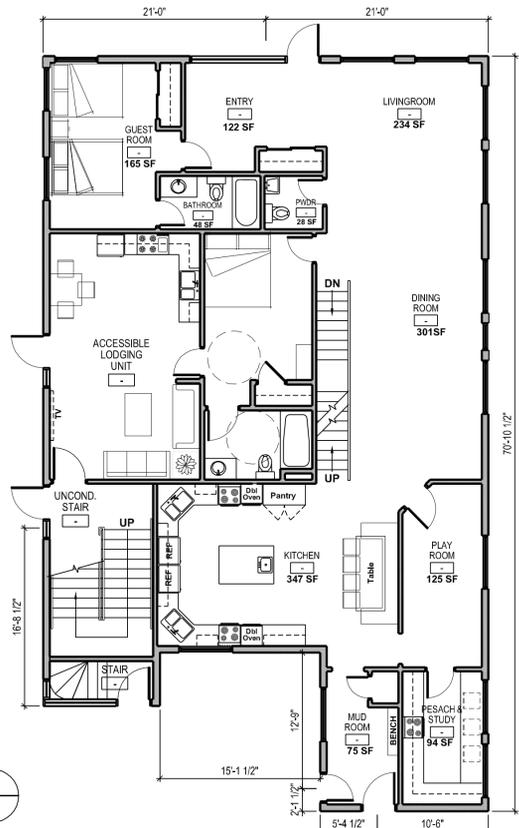
DETAILS

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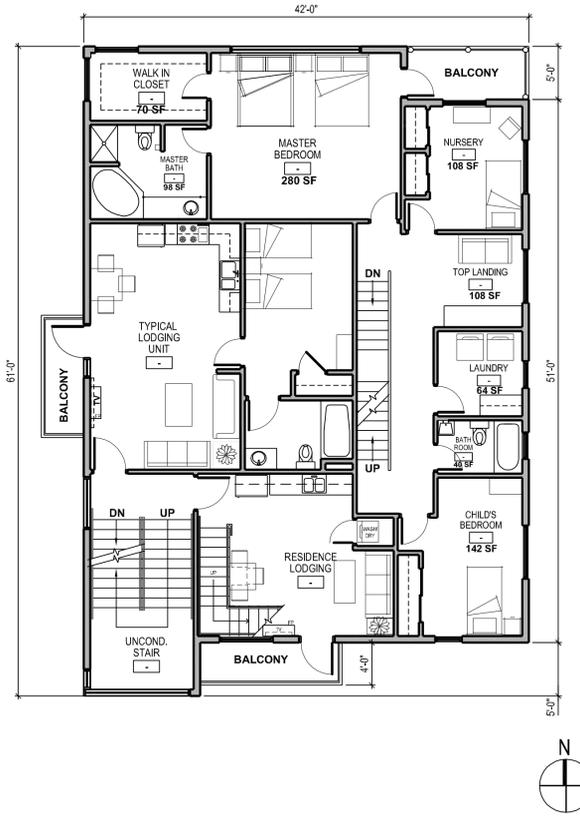
NOTE:
 FIRE RESISTIVE CONSTRUCTION SYSTEMS USED THROUGHOUT ON ALL BUILDING EXTERIORS AS REQUIRED BY BUILDING CODE.
 ALL 2012 ICC CODES WILL BE FOLLOWED.



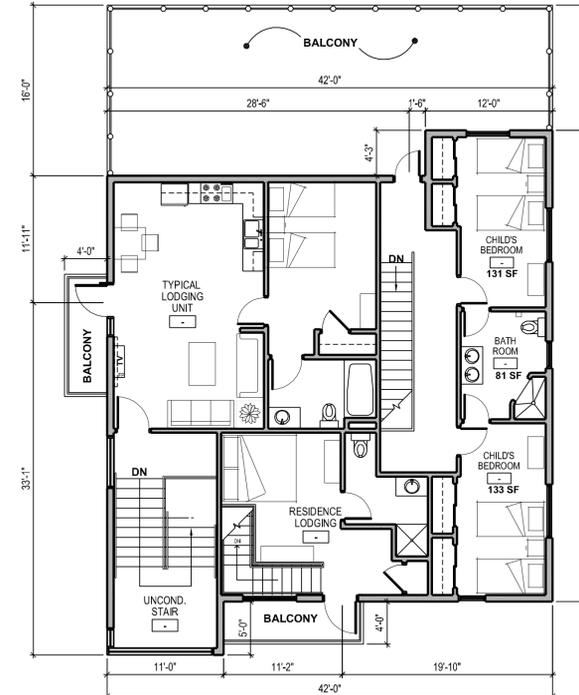
C1 RESIDENTIAL BUILDING - PART BSMT
 SCALE: 1/8"=1'-0"



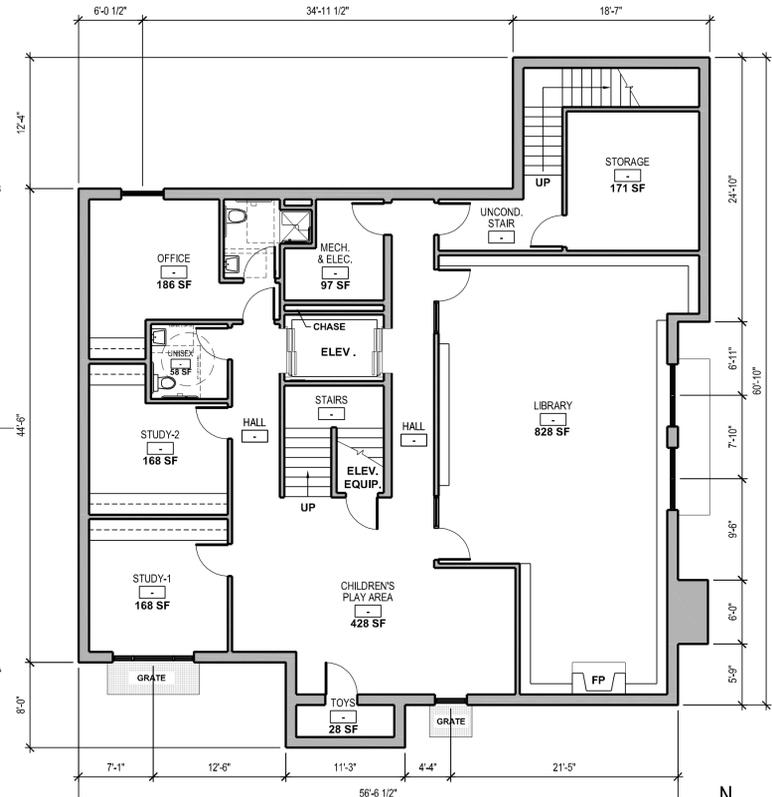
C2 RESIDENTIAL BUILDING - MAIN FLOOR
 SCALE: 1/8"=1'-0"



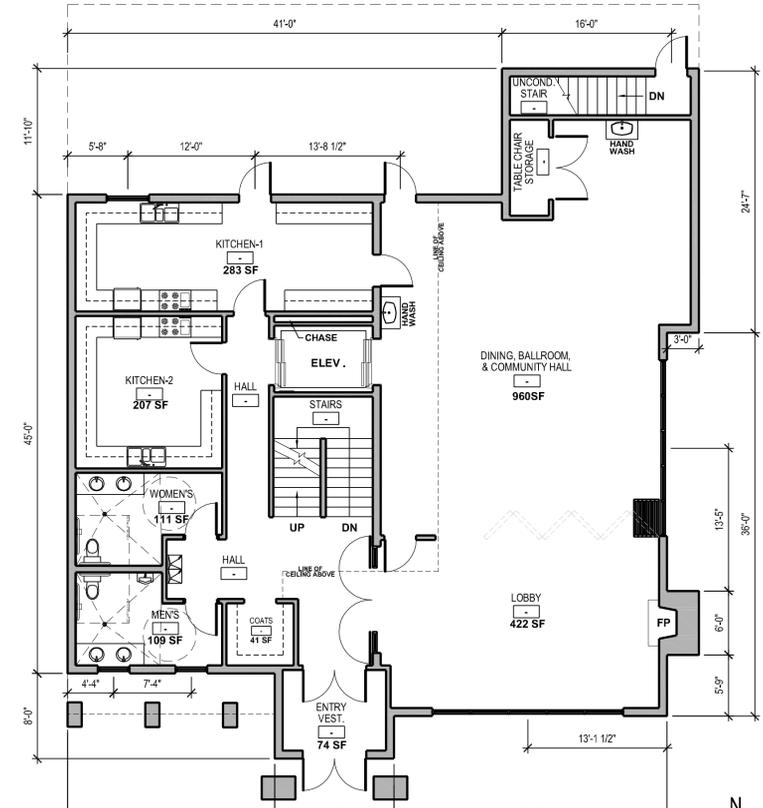
C3 RESIDENTIAL BUILDING - 2ND FLOOR
 SCALE: 1/8"=1'-0"



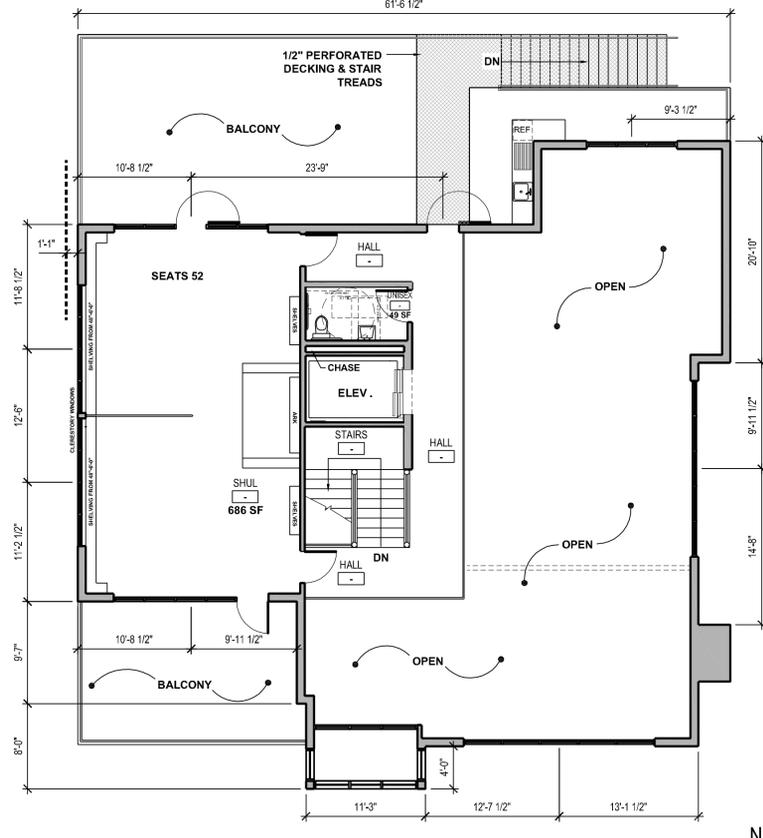
C4 RESIDENTIAL BUILDING - 3RD FLOOR
 SCALE: 1/8"=1'-0"



A1 SHUL BASEMENT PLAN
 SCALE: 1/8"=1'-0"



A2 SHUL MAIN FLOOR PLAN
 SCALE: 1/8"=1'-0"



A4 SHUL SECOND FLOOR PLAN
 SCALE: 1/8"=1'-0"



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 CN Engineering
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ELECTRICAL ENGINEER
 BRADLEY ENGINEERING
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**CHABAD JEWISH
 CENTER OF WYOMING**
 269 EAST BROADWAY
 JACKSON WYOMING 83001

STAMP

ISSUE: DATE:
DPA PACKAGE 4-17-15

CD -J-15 CODE PERMIT

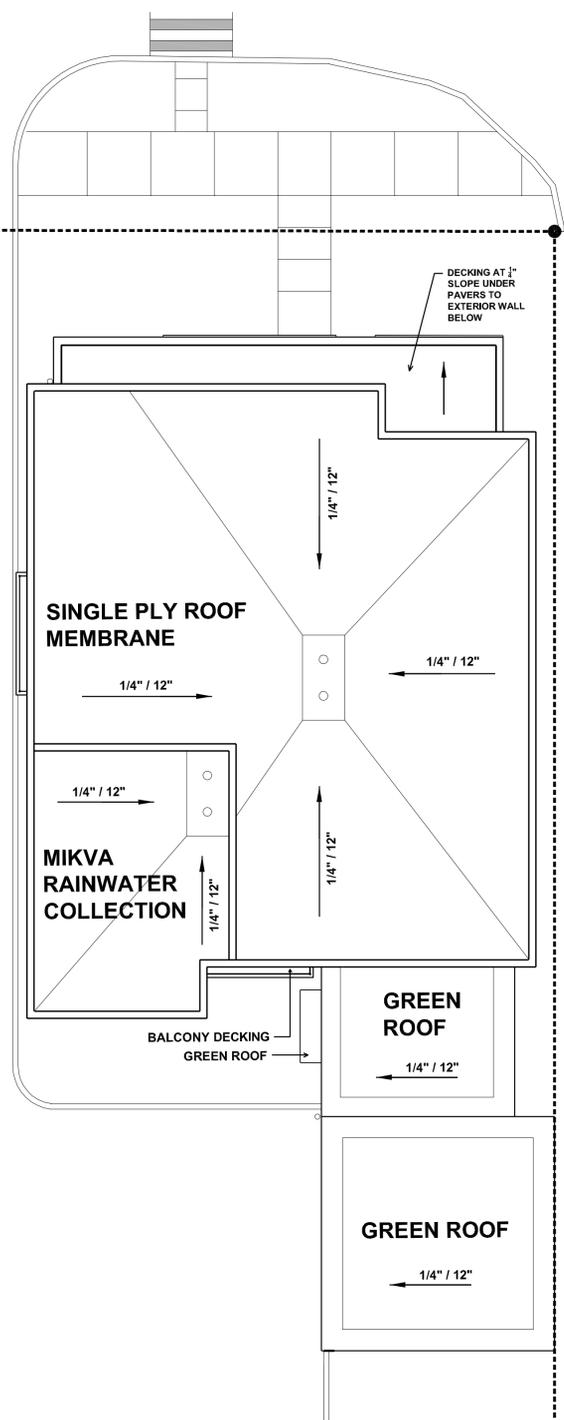
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 DRAWN BY: RVF
 CHECKED BY: RVF

FLOOR PLANS

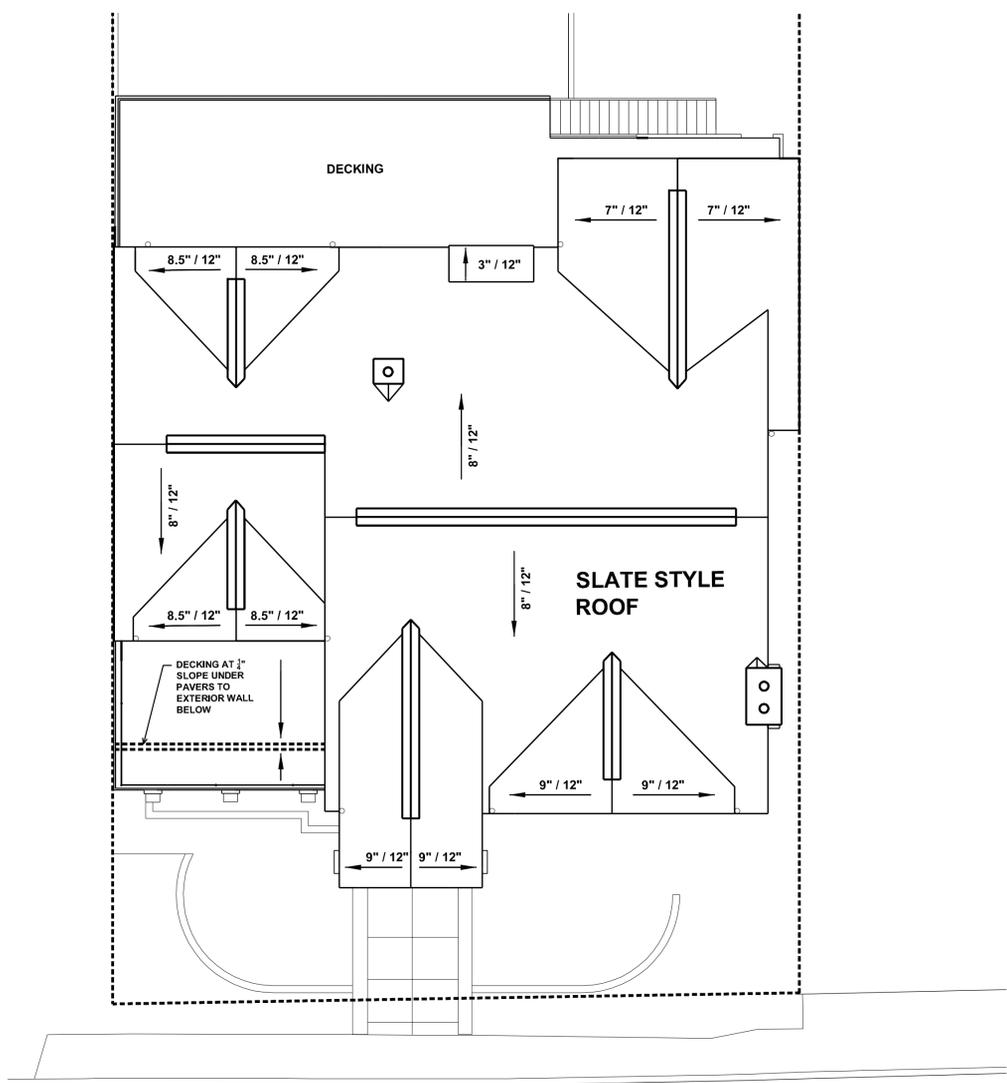
AE101

SHEET - OF -

NOTE:
 FIRE RESISTIVE CONSTRUCTION SYSTEMS USED THROUGHOUT ON ALL BUILDING EXTERIORS AS REQUIRED BY BUILDING CODE.
 ALL 2012 ICC CODES WILL BE FOLLOWED.



A1 RESIDENCE BUILDING ROOF PLAN
 SCALE: 1/8"=1'-0"



A1 SHULE BUILDING ROOF PLAN
 SCALE: 1/8"=1'-0"



**ARCHITECTURE
 PLANNING
 DESIGN**

151 N RIDGE AVE SUITE 113
 IDAHO FALLS, ID 83402
 208.524.4621
 www.crsa-us.com
 SALT LAKE CITY • ST GEORGE • IDAHO FALLS

LANDSCAPE ARCHITECT
 CRSA SITE STUDIO - KELLY GILLMAN
 649 EAST SOUTH TEMPLE
 SLC, UTAH 84102
 kelly@crsa-us.com
 801-355-5915

LOCAL ARCHITECT
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 PO Box 9227
 Jackson, WY 83002
 307-733-9551

CIVIL & STRUCTURAL ENGINEERS
 Y2 CONSULTANTS
 PO BOX 2674
 215 E. SIMPSON AVE
 JACKSON, WY 83001
 307-733-2999

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 CN Engineering
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 P.O. BOX 4195
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 307 733 8765

ELECTRICAL ENGINEER
 BRADLEY ENGINEERING
 382 WALNUT STREET
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 208 523-2862

**CHABAD JEWISH
 CENTER OF WYOMING**
 269 EAST BROADWAY
 JACKSON WYOMING 83001

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ISSUE: DATE:
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CD -J-15 CODE PERMIT

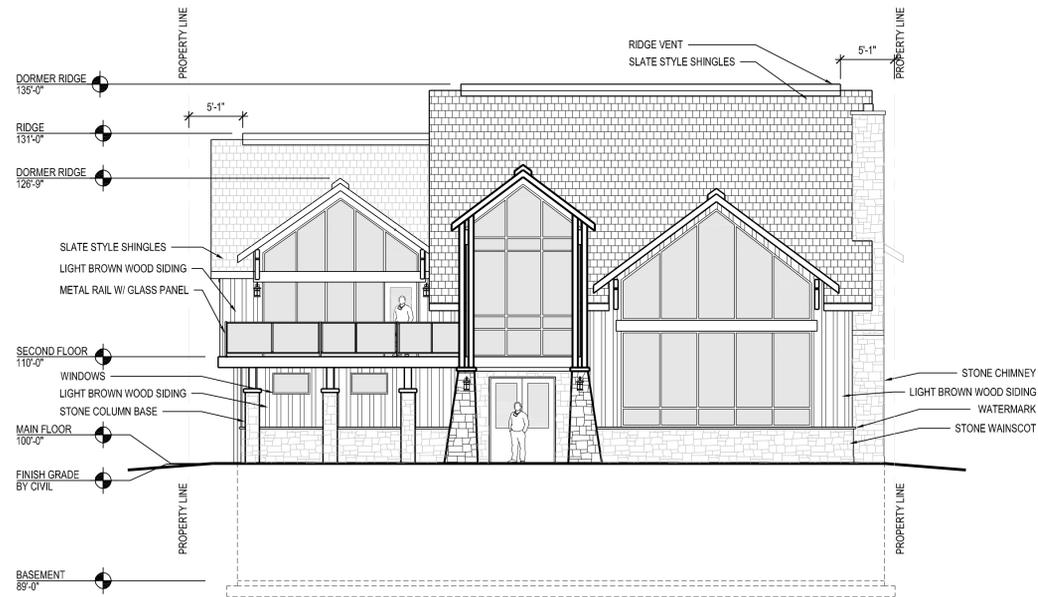
PROJECT NUMBER: 15-007
 DRAWN BY: RVF
 CHECKED BY: RVF

ROOF PLAN

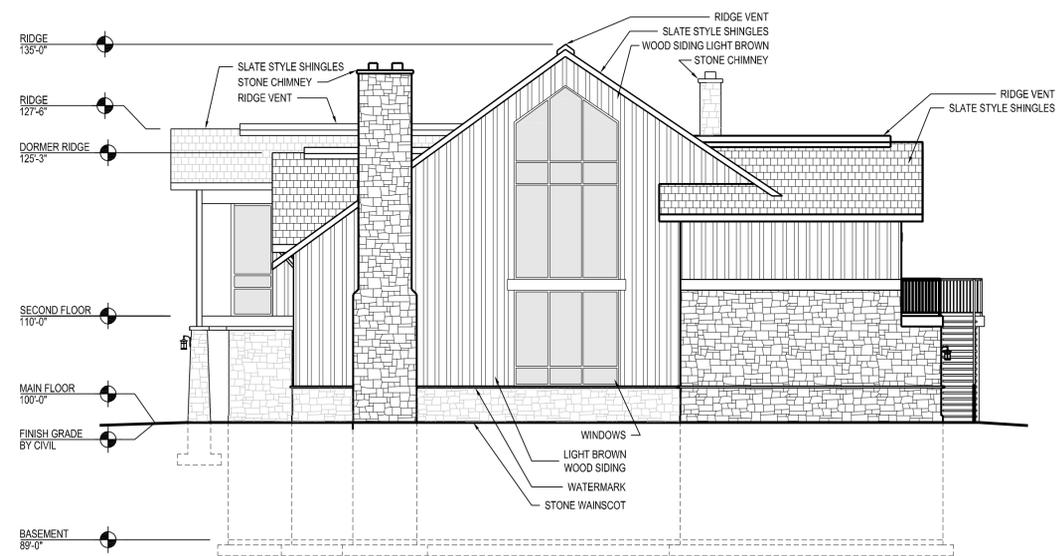
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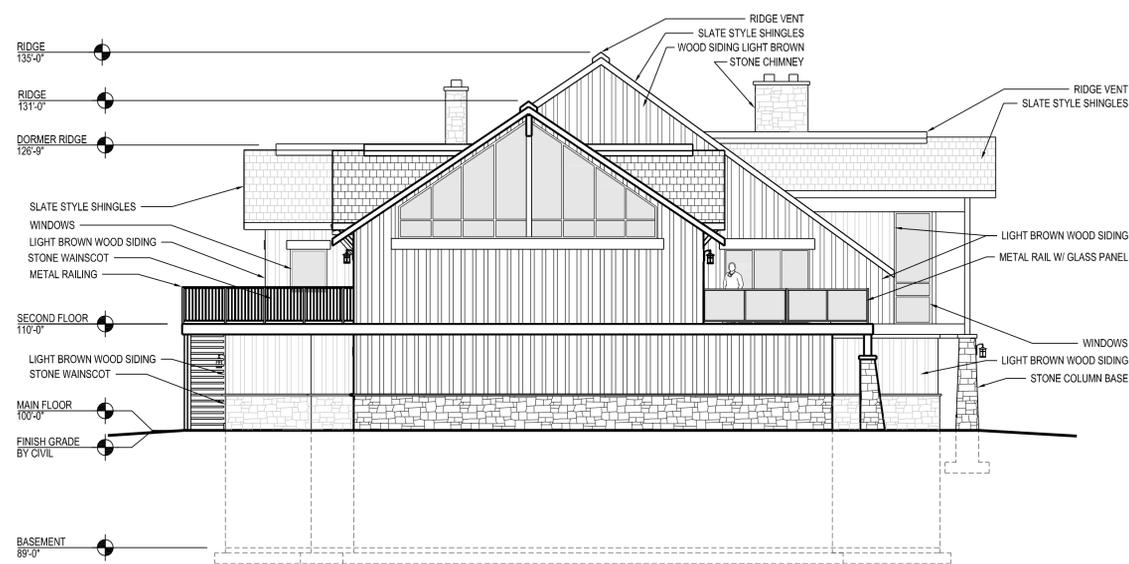
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C1 SHUL SOUTH ELEVATION
 SCALE: 1/8"=1'-0"

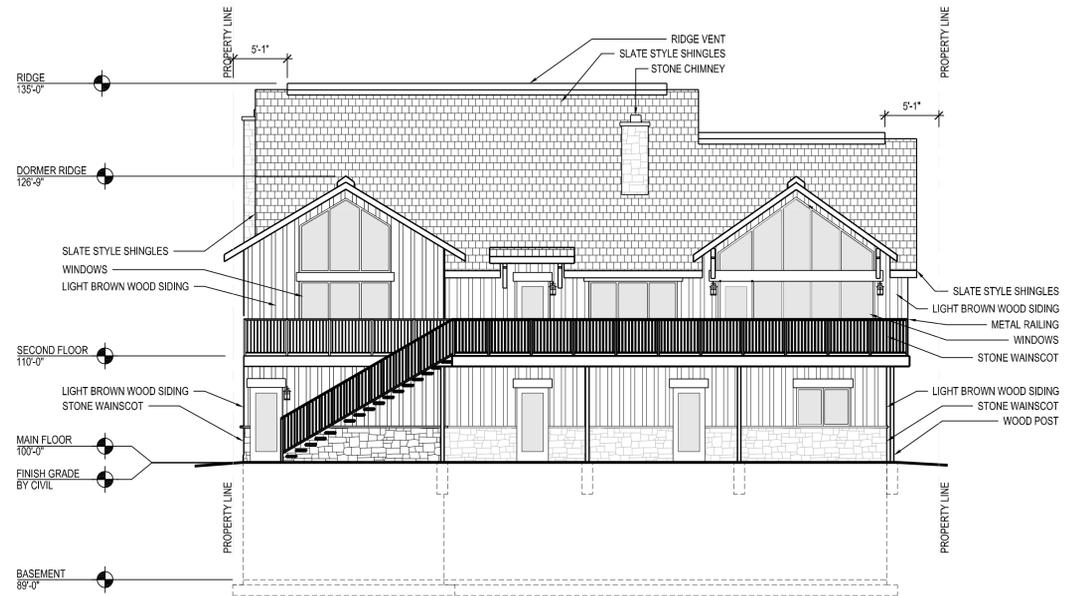


C3 SHUL EAST ELEVATION
 SCALE: 1/8"=1'-0"



Shul West Elevation
 SCALE: 1/8" = 1'-0"

A1 SHUL WEST ELEVATION
 SCALE: 1/8"=1'-0"



A3 SHUL NORTH ELEVATION
 SCALE: 1/8"=1'-0"



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**CHABAD JEWISH
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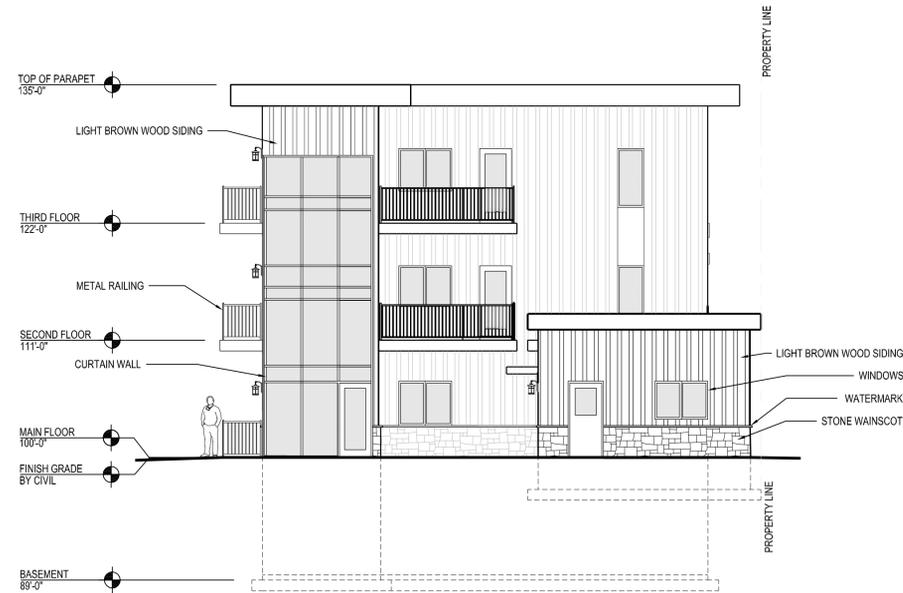
PROJECT NUMBER: 15-007
 DRAWN BY: RVF
 CHECKED BY: RVF

**SHUL BUILDING
 ELEVATIONS**

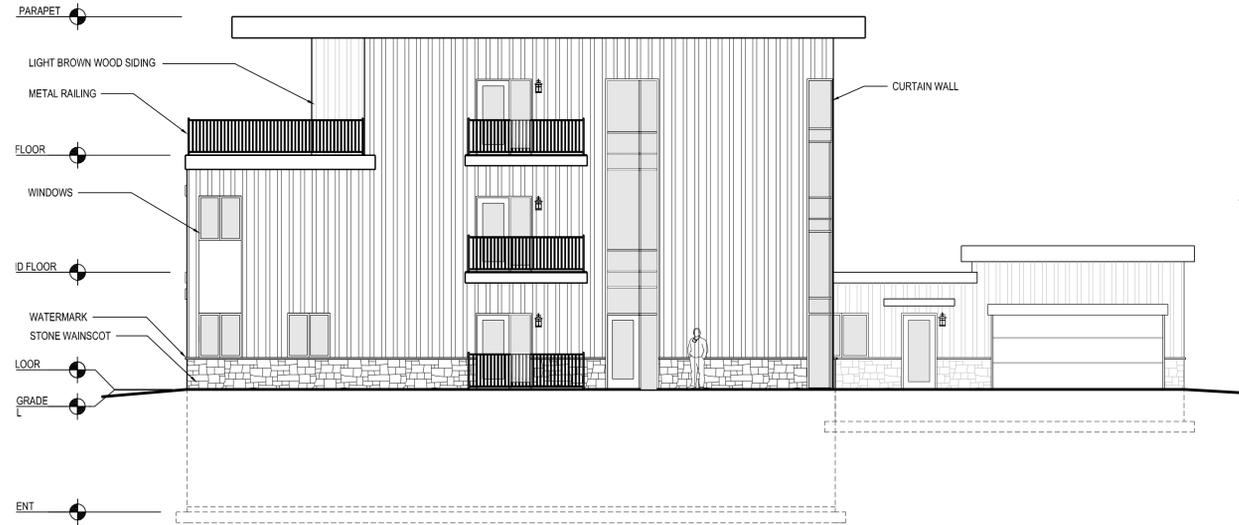
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SHEET - OF -

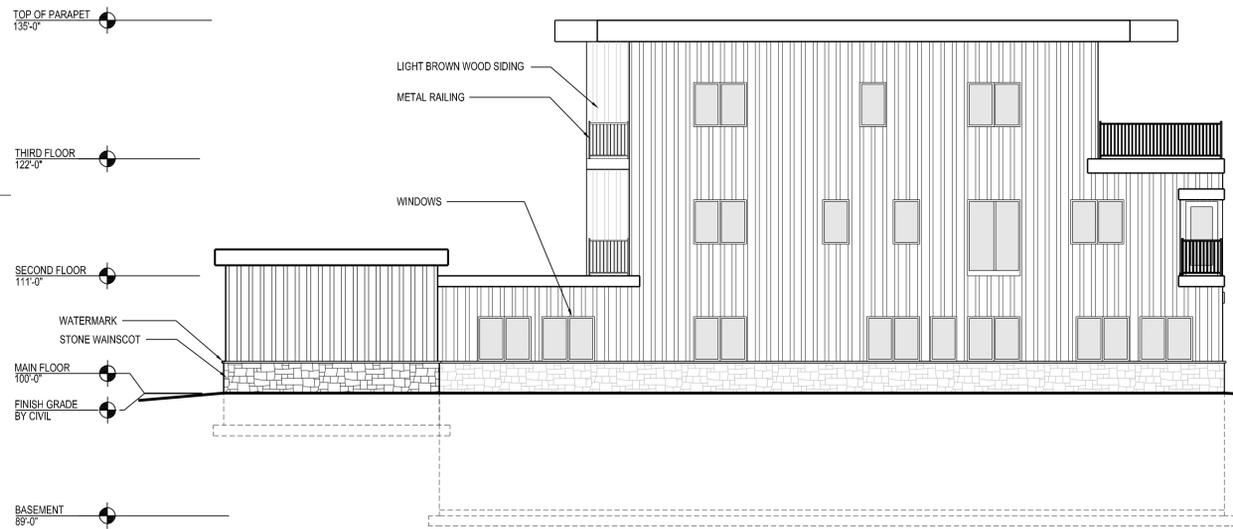
NOTE:
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 ALL 2012 ICC CODES WILL BE FOLLOWED.



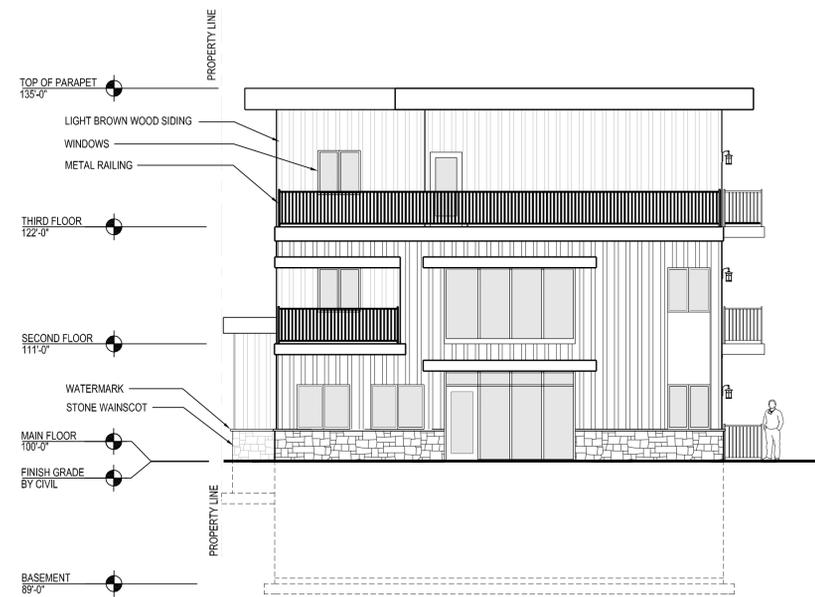
C1 RESIDENCE SOUTH ELEVATION
 SCALE: 1/8"=1'-0"



C3 RESIDENCE WEST ELEVATION
 SCALE: 1/8"=1'-0"



A1 RESIDENCE EAST ELEVATION
 SCALE: 1/8"=1'-0"



A3 RESIDENCE NORTH ELEVATION
 SCALE: 1/8"=1'-0"



**ARCHITECTURE
 PLANNING
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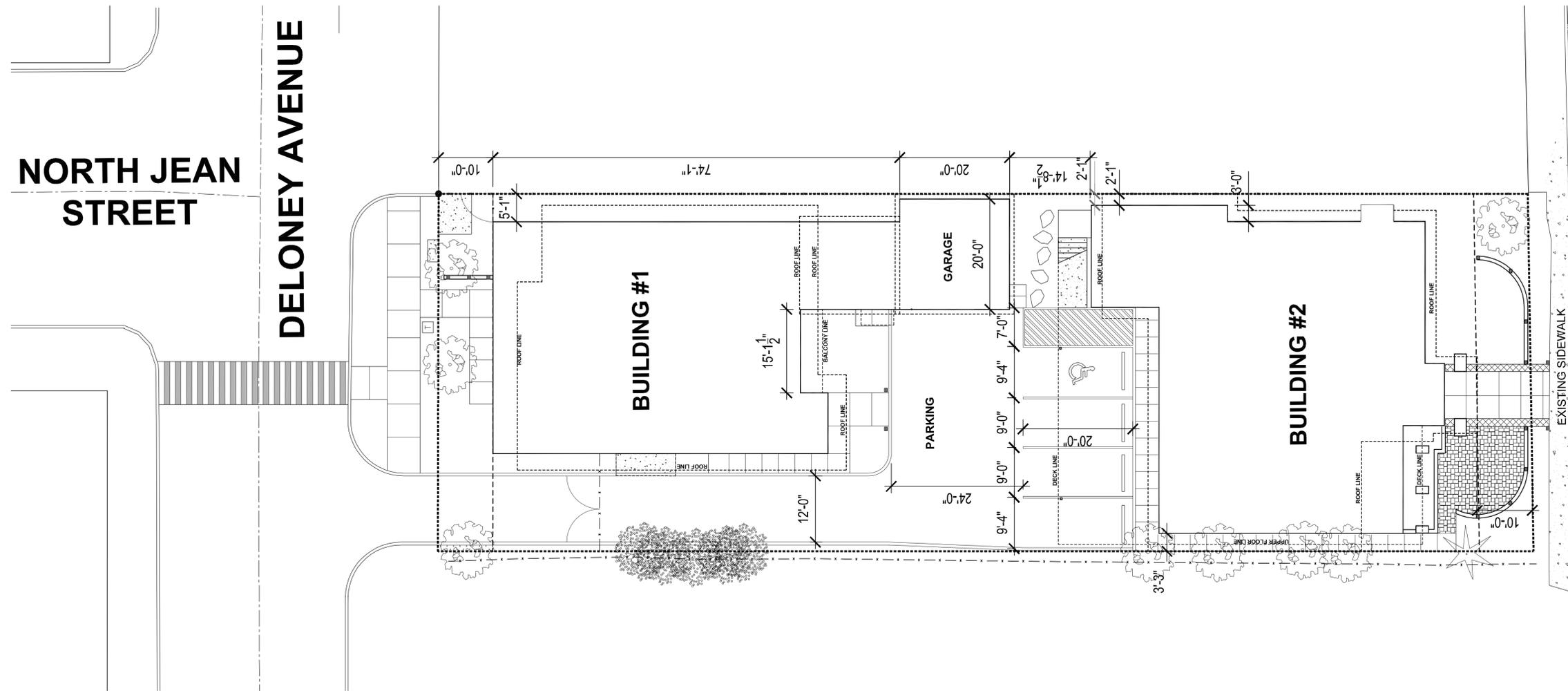
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 DRAWN BY: RVF
 CHECKED BY: RVF

**RESIDENCE
 BUILDING
 ELEVATIONS**

AE202

SHEET - OF -

NOTE:
 FIRE RESISTIVE CONSTRUCTION SYSTEMS USED THROUGHOUT ON ALL BUILDING EXTERIORS AS REQUIRED BY BUILDING CODE.
 ALL 2012 ICC CODES WILL BE FOLLOWED.



A1 SITE PLAN
 SCALE: 3/32"=1'-0"



**ARCHITECTURE
 PLANNING
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CD -J-15 CODE PERMIT

PROJECT NUMBER: 15-007
 DRAWN BY: RVF
 CHECKED BY: RVF

SITE PLAN

AS101

SHEET - OF -

PLANTING GENERAL NOTES:

- SPACING FOR ALL PLANTINGS SHALL BE AS SHOWN ON THE PLANS AND ON THE PLANTING SCHEDULE. MASS PLANTINGS OF PERENNIALS AND GROUND COVERS SHALL BE EVENLY DISTRIBUTED WITHIN DESIGNATED PLANTING AREA. PLANTINGS SHALL COVER 50% OF TOTAL LANDSCAPE AREA AT TIME OF INSTALLATION.
- ANY PLANT QUANTITIES SHOWN ARE FOR THE CONVENIENCE OF THE CONTRACTOR. CONTRACTOR SHALL VERIFY ALL QUANTITIES REQUIRED AND PROVIDE THE PLANTS NECESSARY TO COMPLETE THE PLANTINGS. PLANT MATERIAL QUANTITIES INDICATED FOR BEDS/PLANTERS ARE ESTIMATES. VERIFY QUANTITY TO MATCH DETAILED DESIGN INTENT. PLANT QUANTITIES ARE FOR INDIVIDUAL PLANTS ONLY, AND DO NOT APPLY TO MIXES.
- GROUND COVER MATERIALS SHALL BE PLACED A MINIMUM OF 18 INCHES FROM THE EDGE OF ADJACENT PAVING TO ALLOW ADEQUATE ROOM FOR GROWTH.
- LANDSCAPE CONTRACTOR SHALL EXAMINE SITE CONDITIONS UNDER WHICH WORK IS TO BE PERFORMED. IF CONDITIONS ARE UNSATISFACTORY CONTRACTOR SHALL CONTACT OWNER'S REPRESENTATIVE IN WRITING. DO NOT PROCEED UNTIL CONDITIONS ARE SATISFACTORY.
- BEFORE EXCAVATING, DIGGING, OR DISTURBING SITE FOR ANY REASON, LANDSCAPE CONTRACTOR SHALL HAVE AREA "BLUE STAKED" IN ORDER TO LOCATE UNDERGROUND UTILITIES. LANDSCAPE CONTRACTOR SHALL ALSO NOTE LOCATION OF NEW AND PROPOSED UTILITIES AND WORK IN SUCH A MANNER TO PROTECT EXISTING AND PROPOSED UTILITIES FROM DAMAGE.
- THE LANDSCAPE CONTRACTOR SHALL COORDINATE THE WORK WITH OTHER CONTRACTORS. LANDSCAPE CONTRACTOR SHALL BE FAMILIAR WITH ALL ASPECTS OF THE SITE AND WORK IN SUCH A MANNER AS TO AVOID DAMAGING ANY PORTION OF THE SITE OR STRUCTURE. LANDSCAPE CONTRACTOR SHALL REPAIR ANY DAMAGE, AT NO EXPENSE TO THE OWNER, THAT IS INCURRED BY THE LANDSCAPE CONTRACTOR.
- GENERAL SITE CONTRACTOR IS RESPONSIBLE FOR FINISHES WITH SUB-GRADES AND BACKFILL WITH CONSTRUCTION LIMIT BOUNDARIES. THERE SHALL BE A MINIMUM OF 12" OF CLEAN GROWING MEDIUM IN ALL PLANTING AREAS.
- THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FINISH GRADE ELEVATIONS IN ALL LANDSCAPED AREAS. ALLOW FOR 4" (DEPTH) ROCK MULCH IN ALL SHRUB/GROUND COVER BEDS AND AT BASE OF TREES (5 FEET DIA. AROUND TREE TRUNK). DO NOT BURY GROUND COVERS WITH MULCH.
- LANDSCAPE CONTRACTOR TO LAYOUT PLANTS PRIOR TO PLANTING. ADJUSTMENT MAY BE REQUIRED. PLANT MATERIAL LOCATED IN GROUPINGS OR ROWS SHALL BE MATCHED IN SIZE, FORM, AND APPEARANCE. NOTIFY OWNER'S AUTHORIZED REPRESENTATIVE BEFORE PROCEEDING.
- ALL PLANT MATERIALS MUST MEET SIZES INDICATED IN SCHEDULES, AND SHALL MEET MINIMUM REQUIREMENTS OF LOCAL CODES. THE OWNER'S AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO REFUSE PLANT MATERIALS WHICH DO NOT MEET SPECIFICATIONS, OR DO NOT MEET THE QUALITY STANDARDS OF THE OWNER. ALL PLANT MATERIAL SHALL HAVE WELL DEVELOPED FIBROUS ROOT SYSTEM THAT ARE FREE OF PHYSICAL DAMAGE, DISEASE, AND INSECT INFESTATION.
- ANY PLANT DAMAGED DURING ANY STAGE OF THE INSTALLATION PROCESS SHALL BE REPLACED AT NO EXPENSE TO THE OWNER.

DETAILED NOTES:

- A1-FLAGSTONE PLAZA
- A2-PAVER/STONE SIDEWALK
- A3-CONCRETE WALK (NEW)
- A4-CONCRETE WALK (EXISTING)
- A5-SEAT WALL W/LIGHT FIXTURES
- B1-TURF GRASS
- B2-PERENNIAL PLANTER BED
- B3-SHRUB BED W/MULCH
- C1-STONE ROCK MULCH
- F1-6' HIGH WOOD FENCE
- F2-EXISTING FENCE
- F3_GATE
- L1-WALL MOUNTED LIGHT FIXTURE
- L2-BOLLARD LIGHT FIXTURE
- T1-EXISTING TREE TO REMAIN
- T2-EXISTING TREE TO BE REMOVED

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	
	PB	3	Colorado Spruce	Picea pungens glauca 'Babies Blue'	8' Tall	
	PP2	4	Prairie Gold Aspen	Populus tremuloides 'Prairie Gold'	3" Caliper	
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	
	AS	21	Serviceberry	Amelanchier alnifolia	5 Gal/6'	
	EH	19	Coneflower	Echinacea x 'Harvest Moon'	1 gal	
	E'	13	Firebird Echinacea	Echinacea 'Firebird'	1 gal	
	GK	11	Petite Pink	Gaura lindheimeri 'Karale Petite Pink'	1 gal	
	HY	23	Yao Ming Daylily	Hemerocallis citrina 'Yah Ming'	1 gal	
	PW	16	Wild Mockorange	Philadelphus lewisii	5 Gal/6'	
	PM	13	Mallow Ninebark	Physocarpus malvaceus	1 gal	
	SD	8	Mountain Spiraea	Spiraea splendens	3 gal	
	SA	32	Common White Snowberry	Symphoricarpos albus	#5 Container Shrub	
GROUND COVERS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SPACING
	VM	4,439	Periwinkle	Vinca major	flat	6" o.c.
	WR	37	Native Plant Mix Antennaria microphylla, Liatris punctata, Phlox hoodii, Ratibida columnifera, Sphaeralcea coccinea, Bouteloua gracilis, Schizachyrium scoparium, Achnatherum hymenoides	Wyoming Native	flat	30" o.c.
SOD/SEED	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SPACING
	FR	250 sf	BioNative	Festuca rubra Festuca Mix	sod	

**CODE REQUIREMENTS, TOWN OF JACKSON:
STANDARD PLANT UNITS REQUIRED:**

- 1 PER RESIDENTIAL UNIT = 1 REQUIRED (1 PERMANENT RESIDENCE)
- 1 PER 12 PARKING STALLS = 1 REQUIRED (FEWER THAN 12 STALLS)
- 1 PER 1000 SF REQUIRED LANDSCAPE = 3 REQUIRED (2500 SF LANDSCAPE)
- TOTAL REQUIRED = 5 PLANT UNITS

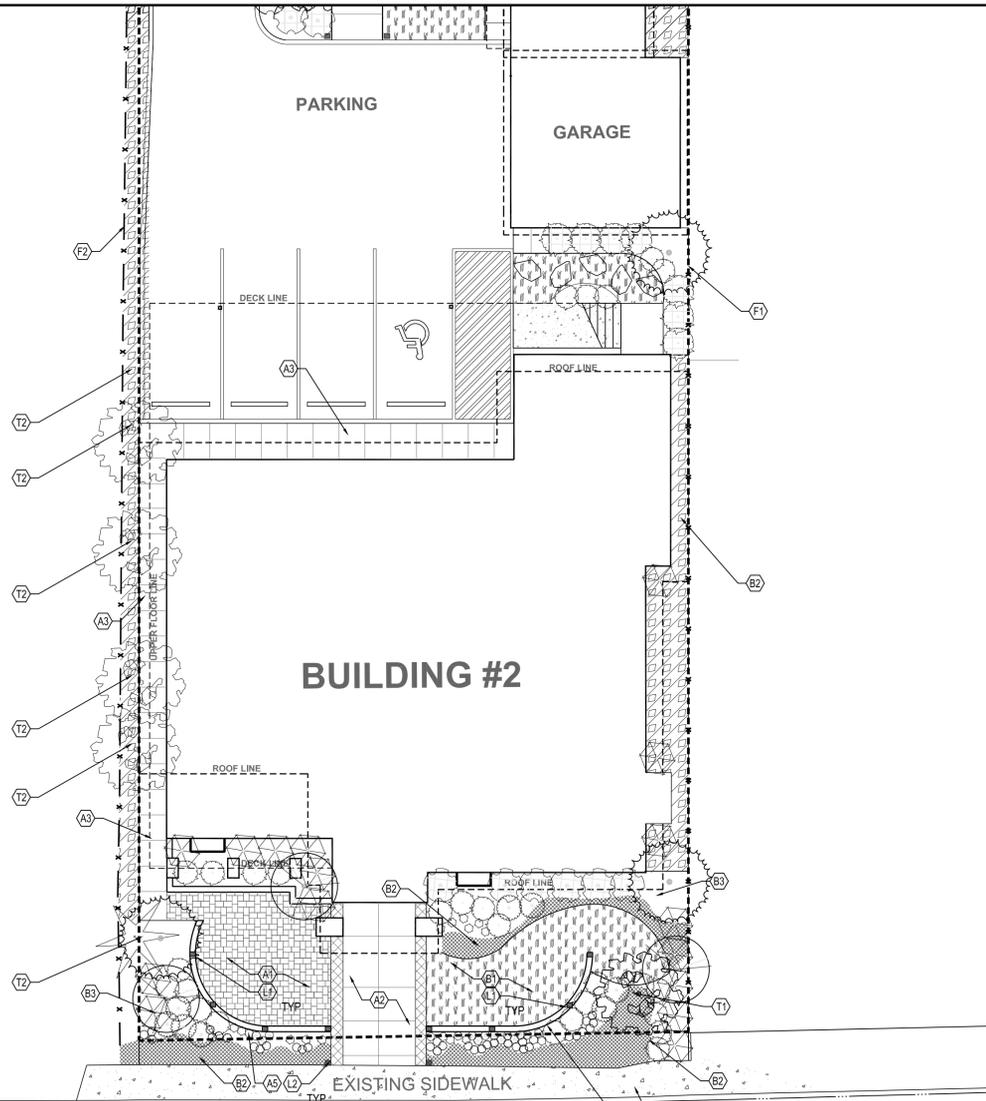
- PLANT UNIT REQUIREMENTS: QUANTITY, SIZE & TYPE OF PLANTS REQUIRED FOR ONE UNIT**
- (3) 6'-8' large shrub or multi-stem trees
 - (3) 8' high evergreens trees
 - (2) #5 container shrubs

PROVIDED PLANT MATERIALS ON PLAN:

- PLANT UNIT #1, #2, #3, #4 (ALTERNATIVE A)**
- (1) 3" Caliper Trees (3 Existing) 04 REQ, 07 PROVIDED
 - (6) 6'-8' Large Shrubs 32 REQ, 32 PROVIDED
 - (4) #5 Container Shrubs 16 REQ, 16 PROVIDED

- PLANT UNIT #5 (ALTERNATIVE C)**
- (3) 6'-8' Large Shrubs 03 REQ, 03 PROVIDED
 - (3) 8' High Evergreen Trees 03 REQ, 03 PROVIDED
 - (2) #5 Container Shrubs 02 REQ, 02 PROVIDED

- ADDITIONAL PLANT COUNTS BEYOND REQUIREMENTS**
- #5 Container Shrubs 14 ADDITIONAL PROVIDED
 - #3 Container Shrubs SEE PLANT LEGEND
 - SMALLER POTS AND GROUNDCOVERS SEE PLANT LEGEND



A1 PLANTING PLAN
SCALE: 1" = 10'



**ARCHITECTURE
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**CHABAD JEWISH CENTER
OF WYOMING**
269 EAST BROADWAY
JACKSON, WYOMING 83001

PROJECT NO: 15-007
DRAWN BY: CV
CHECKED BY: JKG

**PLANTING PLAN:
BUILDING #2**

LP101

PLANTING GENERAL NOTES:

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DETAILED NOTES:

- A1-FLAGSTONE PLAZA
- A2-PAVER/STONE SIDEWALK
- A3-CONCRETE WALK (NEW)
- A4-CONCRETE WALK (EXISTING)
- A5-SEAT WALL W/LIGHT FIXTURES
- B1-TURF GRASS
- B2-PERENNIAL PLANTER BED
- B3-SHRUB BED W/MULCH
- C1-STONE ROCK MULCH
- F1-6' HIGH WOOD FENCE
- F2-EXISTING FENCE
- F3-GATE
- L1-WALL MOUNTED LIGHT FIXTURE
- L2-BOLLARD LIGHT FIXTURE
- T1-EXISTING TREE TO REMAIN
- T2-EXISTING TREE TO BE REMOVED

TREES	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	
	PB	3	Colorado Spruce	Picea pungens glauca 'Babies Blue'	8' Tall	
	PP2	4	Prairie Gold Aspen	Populus tremuloides 'Prairie Gold'	3" Caliper	
SHRUBS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	
	AS	21	Serviceberry	Amelanchier alnifolia	5 Gal/6'	
	EH	19	Coneflower	Echinacea x 'Harvest Moon'	1 gal	
	E'	13	Firebird Echinacea	Echinacea 'Firebird'	1 gal	
	GK	11	Petite Pink	Gaura lindheimeri 'Karale Petite Pink'	1 gal	
	HY	23	Yao Ming Daylily	Hemerocallis citrina 'Yah Ming'	1 gal	
	PW	16	Wild Mockorange	Philadelphus lewisii	5 Gal/6'	
	PM	13	Mallow Ninebark	Physocarpus malvaceus	1 gal	
	SD	8	Mountain Spiraea	Spiraea splendens	3 gal	
	SA	32	Common White Snowberry	Symphoricarpos albus	#5 Container Shrub	
GROUND COVERS	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SPACING
	VM	4,439	Periwinkle	Vinca major	flat	6" o.c.
	WR	37	Native Plant Mix Antennaria microphylla, Liatris punctata, Phlox hoodii, Ratibida columnifera, Sphaeralcea coccinea, Bouteloua gracilis, Schizachyrium scoparium, Achatherum hymenoides	Wyoming Native	flat	30" o.c.
SOD/SEED	CODE	QTY	COMMON NAME	BOTANICAL NAME	CONT	SPACING
	FR	250 sf	BioNative	Festuca rubra Festuca Mix	sod	

CODE REQUIREMENTS, TOWN OF JACKSON:
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 1 PER 12 PARKING STALLS = 1 REQUIRED (FEWER THAN 12 STALLS)
 1 PER 1000 SF REQUIRED LANDSCAPE = 3 REQUIRED (2500 SF LANDSCAPE)
 TOTAL REQUIRED 5 PLANT UNITS

PLANT UNIT REQUIREMENTS: QUANTITY, SIZE & TYPE OF PLANTS REQUIRED FOR ONE UNIT
 (3) 6'-8' large shrub or multi-stem trees
 (3) 8' high evergreen trees
 (2) #5 container shrubs

PROVIDED PLANT MATERIALS ON PLAN:
 PLANT UNIT #1, #2, #3, #4 (ALTERNATIVE A)
 (1) 3" Caliper Trees (3 Existing) 04 REQ, 07 PROVIDED
 (6) 6'-8' Large Shrubs 32 REQ, 32 PROVIDED
 (4) #5 Container Shrubs 16 REQ, 16 PROVIDED

PLANT UNIT #5 (ALTERNATIVE C)
 (3) 6'-8' Large Shrubs 03 REQ, 03 PROVIDED
 (3) 8' High Evergreen Trees 03 REQ, 03 PROVIDED
 (2) #5 Container Shrubs 02 REQ, 02 PROVIDED

ADDITIONAL PLANT COUNTS BEYOND REQUIREMENTS
 6'-8' Large Shrub 2 ADDITIONAL PROVIDED
 #5 Container Shrubs 13 ADDITIONAL PROVIDED
 #3 Container Shrubs SEE PLANT LEGEND
 SMALLER POTS AND GROUNDCOVERS SEE PLANT LEGEND



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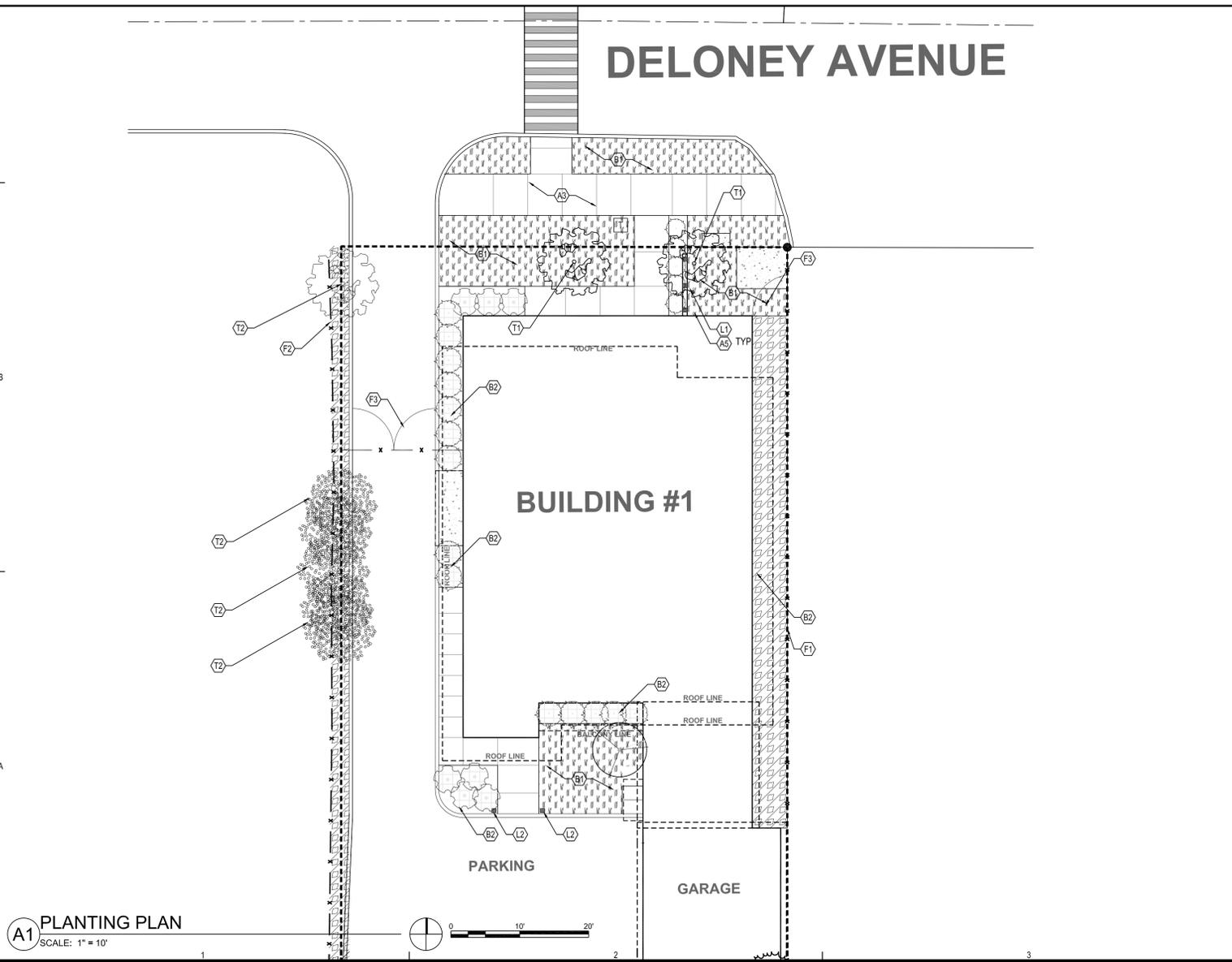


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OF WYOMING**
 269 EAST BROADWAY
 JACKSON, WYOMING 83001

PROJECT NO: 15-007
 DRAWN BY: CV
 CHECKED BY: JKG

**PLANTING PLAN:
BUILDING #1**

LP102



A1 PLANTING PLAN
 SCALE: 1" = 10'

