



**PLANNING PERMIT APPLICATION**  
**Planning & Building Department**  
**Planning Division**

150 E Pearl Ave. | ph: (307) 733-0440  
 P.O. Box 1687 | fax: (307) 734-3563  
 Jackson, WY 83001 | [www.townofjackson.com](http://www.townofjackson.com)

**For Office Use Only**

Fees Paid \_\_\_\_\_

Check # \_\_\_\_\_ Credit Card \_\_\_\_\_ Cash \_\_\_\_\_

Application #s \_\_\_\_\_

**PROJECT.**

Name/Description: \_\_\_\_\_

Physical Address: \_\_\_\_\_

Lot, Subdivision: \_\_\_\_\_ PIDN: \_\_\_\_\_

**OWNER.**

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_

E-mail: \_\_\_\_\_

**APPLICANT/AGENT.**

Name: \_\_\_\_\_ Phone: \_\_\_\_\_

Mailing Address: \_\_\_\_\_ ZIP: \_\_\_\_\_

E-mail: \_\_\_\_\_

**DESIGNATED PRIMARY CONTACT.**

\_\_\_\_\_ Owner      \_\_\_\_\_ Applicant/Agent

**TYPE OF APPLICATION.** *Please check all that apply; see Fee Schedule for applicable fees.*

- |                                    |                                       |                                      |
|------------------------------------|---------------------------------------|--------------------------------------|
| <b>Use Permit</b>                  | <b>Physical Development</b>           | <b>Interpretations</b>               |
| _____ Basic Use                    | _____ Sketch Plan                     | _____ Formal Interpretation          |
| _____ Conditional Use              | _____ Development Plan                | _____ Zoning Compliance Verification |
| _____ Special Use                  |                                       |                                      |
| <b>Relief from the LDRs</b>        | <b>Development Option/Subdivision</b> | <b>Amendments to the LDRs</b>        |
| _____ Administrative Adjustment    | _____ Development Option Plan         | _____ LDR Text Amendment             |
| _____ Variance                     | _____ Subdivision Plat                | _____ Zoning Map Amendment           |
| _____ Beneficial Use Determination | _____ Boundary Adjustment (replat)    | _____ Planned Unit Development       |
| _____ Appeal of an Admin. Decision | _____ Boundary Adjustment (no plat)   |                                      |

**PRE-SUBMITTAL STEPS.** *Pre-submittal steps, such as a pre-application conference, environmental analysis, or neighborhood meeting, are required before application submittal for some application types. See Section 8.1.5, Summary of Procedures, for requirements applicable to your application package. If a pre-submittal step is required, please provide the information below. If you need assistance locating the project number or other information related to a pre-submittal step, contact the Planning Department. **If this application is amending a previous approval, indicate the original permit number.***

Pre-application Conference #: \_\_\_\_\_ Environmental Analysis #: \_\_\_\_\_  
Original Permit #: \_\_\_\_\_ Date of Neighborhood Meeting: \_\_\_\_\_

**SUBMITTAL REQUIREMENTS.** *Twelve (12) hard copies and one (1) digital copy of the application package (this form, plus all applicable attachments) should be submitted to the Planning Department.. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant.*

*Have you attached the following?*

\_\_\_\_\_ **Application Fee.** Fees are cumulative. Applications for multiple types of permits, or for multiple permits of the same type, require multiple fees. See the currently adopted Fee Schedule in the Administrative Manual for more information.

\_\_\_\_\_ **Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. If the owner is a partnership or corporation, proof that the owner can sign on behalf of the partnership or corporation is also required. Please see the Letter of Authorization template in the Administrative Manual for a sample.

\_\_\_\_\_ **Response to Submittal Checklist.** All applications require response to applicable review standards. These standards are outlined on the Submittal Checklists for each application type. If a pre-application conference is held, the Submittal Checklists will be provided at the conference. If no pre-application conference is required, please see the Administrative Manual for the applicable Checklists. The checklist is intended as a reference to assist you in submitting a sufficient application; submitting a copy of the checklist itself is not required.

#### **FORMAT.**

The main component of any application is demonstration of compliance with all applicable Land Development Regulations (LDRs) and Resolutions. The submittal checklists are intended to identify applicable LDR standards and to outline the information that must be submitted to sufficiently address compliance with those standards.

For some submittal components, minimum standards and formatting requirements have been established. Those are referenced on the checklists where applicable. For all other submittal components, the applicant may choose to make use of narrative statements, maps, drawings, plans and specifications, tables and/or calculations to best demonstrate compliance with a particular standard.

**Note:** *Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.*

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

\_\_\_\_\_  
Signature of Owner or Authorized Applicant/Agent

\_\_\_\_\_  
Date

\_\_\_\_\_  
Name Printed

\_\_\_\_\_  
Title

**LETTER OF AUTHORIZATION**

CHILDREN'S LEARNING CENTER, "Owner" whose address is: \_\_\_\_\_

145 MERCILL AVE  
(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

\_\_\_\_\_, as the owner of property  
more specifically legally described as: PT. LOTS 15-17, BUK. 2 JR  
JONES (CHILDRENS CENTER.)

(If too lengthy, attach description)

HEREBY AUTHORIZES KRIKOR Architecture, LLC, GREGORY MASON as

agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER:

Patricia Boyd  
(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: EXECUTIVE DIRECTOR CHILDREN'S LEARNING CENTER  
(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

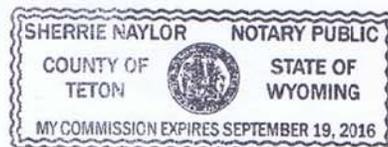
STATE OF Wyoming )  
 )SS.  
COUNTY OF Teton )

The foregoing instrument was acknowledged before me by Patricia L. Boyd this 17<sup>th</sup> day of March, 2015.

WITNESS my hand and official seal.

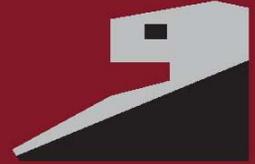
Sherrie Naylor (Seal)  
(Notary Public)

My commission expires: Sept. 19, 2016



July 20, 2015

TOJ Planning & Development, C/o Paul Anthony  
PO Box 687  
Jackson, WY 83001  
307.733.0440



**Response to Submittal Checklist Letter**

Dear Paul,

Enclosed is a Final Development Submittal for the proposed 15,000sf three story Children's Learning Center at 105 Mercill Ave (western half) in the AC Zone / downtown Parking Overlay. The project has already been through a Pre-Application Review P15-025 and has been presented to the DRC for informal feedback. This submitted application already takes into account suggestions made during these two initial steps. Items check marked for response during Pre-App Review are as follows:

Planning Permit Application: Basic Use Permit and Grading Permit submitted as part of this application.

Notarized Letter of Authorization: Enclosed in application. Land – County, Building CLC

Application Fees: Waived for Non-Profit Child Care Applicant

Mailed Notice: TBD

Other Information Needed: Application will be submitted as an Electronic File once found Sufficient.

Response Letter: This is the Response Letter

Narrative Description of Proposed Development: See DRC Cover Letter

Proposed Development Program – Pre-Application Conference Summary Checklist is being used.

Site Plan: Please see enclosed drawing set.

Floor Plans: Please see enclosed drawing set.

Neighborhood Meeting Summary: This is optional with this application and will not be pursued.

Posted Notice: TBD once project is found Sufficient and date with Planning Commission is offered.

**Article 2 Complete Neighborhoods**

**Subsection B Physical Development**

Structure Location and Mass: All requirements are met By-Right and an FAR is used as prescribed by the Planning Director.

Max Scale of Development: All requirements are met By-Right. 15,000sf max single building is proposed

Building Design: Already was reviewed at DRC Workshop. Package includes formal submittal for already scheduled DRC Meeting on 8.12.15.

Site Development: All requirements are met By-Right. Proposed development has eliminated one curb cut onto the property from the western alley. This was a preliminary review requirement by the TOJ Engineer.

Fencing: All requirements are met By-Right. All fence is 48" in height. Western fence is on property line in Side Yard Setback. Southern Fence is a vehicle Crash Barrier located to meet TOJ R.O.W. requirements. See all proposed fencing design on Sheet A003. Fencing it designed to keep children contained outdoors.

**Subsection C Allowable Uses**

Allowed Uses

Use Requirements

Max Scale of Use

Subsection D Development Options n/a

Subsection E Additional Zone Specific Standards n/a

Article 4 Special Purpose Zones n/a

Article 5 Physical Development Standards Applicable In All Zones

Division 5.3 Scenic Standards are met with the use of can down lights on wall with concealed bulbs

Division 5.5 Landscaping Standards are met as shown on Landscape drawings.

Division 5.6 Sign Standards are met as shown on Sht A200 East Elevation and as noted on A002

Division 5.7 Grading, Erosion Control Stormwater Management are met – See Civil Drawings

Division 5.8 Design Guidelines are met – See DRC Drawing Set.

## **Article 6 Use Standards Applicable in All Zones**

### **Division 6.1 Allowable Uses**

Proposed development meets all Allowable Use requirements

### **Division 6.2 Parking and Loading Standards**

(6.2.2) Required Parking and Loading is as calculated on Sheet A002 Parking Calculations (site is in Downtown Parking Overlay so 50% reduction has been factored).

(6.2.3) Location of Required Parking for Off-Street and On-Street is as required and shown on Sheet A002.

(6.2.4) Maintenance of Off-Street Parking and Loading as per the CLC Lease Agreement with Teton County.

(6.2.5) Off-Street Parking and Loading Design Standards are met and as shown on Sheet A002.

(6.2.6) Parking and Loading Standards in the Downtown Parking District for deliveries to this site will occur near the back northwest corner of the parking lot. There is a rear gate and rear building entry that gives easy access to an exterior storage shed and interior back of building delivery support spaces such as the Warming Kitchen. Staff will park in the northwest corner of the lot. If a delivery truck was temporarily parked near these back stalls there will not be an issue due to infrequent staff departures. See Sheet A002

### **Division 6.4 Operational Standards**

(6.4.1) Outside Storage requirements are met and shown in the Shed detail on Sheet A004.

(6.4.2) Refuse and Recycling required is met and shown in the enclosed dumpster detail on Sheet A002.

(6.4.3) Noise is addressed by stating that due to the nature of the Proposed Childcare Facility and Certification Requirements for Outdoor Classroom space, playground type noise will come from the property during normal business operating hours. This will be similar to the historical use on the property

(6.4.4) Vibration is not proposed from this development.

(6.4.5) Electrical Disturbances are not proposed from this development.

(6.4.6) Fire and Explosive Hazards are not proposed from this development.

Please let me know if there are any other requirements that need to be met in order to expedite this project through the Public Review and Approval Process.

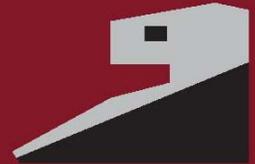
Best Regards,



\_\_\_\_\_  
Gregory Mason, AIA, LEED AP  
**KRIKOR Architecture, L.L.C.**

July 20, 2015

TOJ Planning Department c/o Paul Anthony  
PO Box 1687  
Jackson, WY 83001  
307.733.0440



RE: Proposed New Building for CLC  
105 Mercill Ave (West Half)  
Jackson, Wyoming

I am pleased to submit a Development Plan / Design Review Committee package for the Proposed Children's Learning Center (CLC) at their 105 Mercill Ave location in the Town of Jackson. CLC owns the existing building in which they currently operate and Teton County owns the land. The project consists of removing all structures and some trees from the western half of the property and constructing a new child care facility. The new building will house the organizations Early Head Start, Head Start, Early Childhood Education, Montessori, Special Education Programs and the Non-Profit Organizations new Regional Office. The new building is 15,000sf total. It contains two stories of habitable space above grade with a partial third floor used only for storage.

The new building purposely sits back as far as possible from the street yard setbacks to create as much "Outdoor Classroom" as possible facing south and west. The outdoor space is used by children all year. Having these sun exposures is critical to creating useable outdoor "Natural Play" areas.

The building volume is a solid / void & added / subtractive exercise that uses design techniques as follows:

The **north and south** longer facades are broken up vertically by having the second floor overhang the lower. These facades are also broken up horizontally with "additive" two story window bays that accent special gathering areas inside the building and classrooms. There are also attached covered patio canopies to reduce wall scale and protect discharge points from classrooms. The **west** façade is "subtractive" and has carved out space for a covered secondary First Floor Entry and upper floor exterior deck. The deck rail is attached as a screen that overlaps the line of the floor plate and reduces vertical scale. The **east** façade is "additive" which includes a three story volume set back from the north/ south walls but raises up above the main building roof line. This pronounced form contains the primary First Floor Entry and public vertical circulation for the building. It also contains the third floor storage area.

The roof line has been designed with no overhangs in order to eliminate water, snow and ice dropping down to the building perimeter below. The area of "Outdoor Classroom" provided to meet State Certification requirements is very tight. Every square foot of ground surface needs to remain useable throughout the seasons. Loss of useable play area cannot occur due to falling hazards from above that create large ice mounds on the ground. Roof areas slope back into the building form and water is discharged out roof drains to a drywell. The main second floor walls are visually incorporated into the horizontal roof line to create a smaller scale building. However, the main front entry roof has a singular shed slope that is independent from the rest of the building.

CLC is constructing the building and turning ownership over to Teton County upon completion. Teton County Facilities has requested exterior materials that are very low maintenance. The roof is membrane, the upper walls are painted vertical metal 6" wide T&G panels, the window bays are painted horizontal metal 4" wide T&G panels, main horizontal siding is painted wood grained 6" wide metal panels, vertical siding is random ribbed cement board panels and stone is dry stack appearance Farmers Rock. All canopies are exposed timber and steel with membrane roof. Exterior window and doors are thermally broken aluminum and glass storefront system or wood/metal clad units.

Best Regards,

Gregory Mason, AIA, LEED AP  
KRİKOR Architecture, L.L.C.



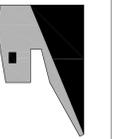
# CHILDREN'S LEARNING CENTER



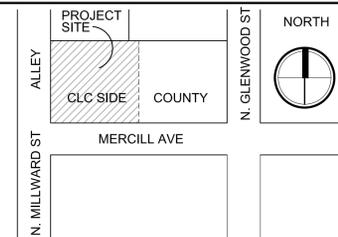
## DRAWING INDEX

A000	PROJECT COVER SHEET
A001	EXISTING CONDITIONS SURVEY
A002	ARCHITECTURAL SITE PLAN AND DEVELOPMENT CALC'S
A003	EXITING PATH AND SITE FENCING PLAN & ELEVATIONS
A004	OUTDOOR CLASSROOM SITE PLAN
LP 1.0	TREE REMOVAL PLAN
LP 1.1	PROPOSED LANDSCAPE PLAN
LP 1.2	LANDSCAPE PLANTING SCHEDULE
LP 1.3	LANDSCAPE DETAILS
C1.1	EXISTING SITE CONDITIONS
C1.2	PROPOSED GRADING
C1.3	PROPOSED GRADING - ENLARGED
C1.4	UTILITIES SITE PLAN
C1.5	STORM WATER PLAN
C2.1	CIVIL DETAILS
C2.2	CIVIL DETAILS
C2.3	CIVIL DETAILS
C2.4	CIVIL DETAILS
C2.5	CIVIL DETAILS
C2.6	CIVIL DETAILS
C2.7	CIVIL DETAILS & CRASH BARRIER WALL DETAIL
A100	FIRST FLOOR PLAN
A101	SECOND FLOOR PLAN
A102	THIRD FLOOR PLAN / ROOF PLAN
A103	FIRST FLOOR REFLECTED CEILING PLAN
A104	SECOND FLOOR REFLECTED CEILING PLAN
A200	EXTERIOR ELEVATIONS
A201	EXTERIOR ELEVATIONS

**KRIKOR Architecture**  
 1125 Deer Creek Drive P.O. Box 4659 Jackson, WY 83001  
 tel.307.413.6874 email: KRIKORARCH@GMAIL.COM



## SITE VICINITY MAP



## PROJECT TEAM

**SITE LOCATION**  
 105 MERCILL AVE ( WEST HALF )  
 JACKSON, WYOMING

**OWNER**  
 CHILDREN'S LEARNING CENTER, PATTI BOYD  
 P.O. BOX 4100  
 JACKSON, WY 83001  
 307.733.1616

**ARCHITECT**  
 KRIKOR ARCHITECTURE, GREGORY MASON  
 P.O. BOX 4659  
 JACKSON, WY 83001  
 307.413.6874

**CIVIL ENGINEER**  
 Y2 CONSULTANTS  
 P.O. BOX 2674  
 JACKSON, WY 83001  
 307.733.2999

**GEOTECHNICAL ENGINEER & ASBESTOS INSPECTION SERVICES**  
 NELSON ENGINEERING  
 P.O. BOX 1599  
 JACKSON, WY 83001  
 307.733.2087

**LANDSCAPE ARCHITECT**  
 INSIDE OUT LANDSCAPE ARCHITECTURE  
 5263 TORRENCE ROAD  
 WILSON, WYOMING 83014  
 307.690.4907

**STRUCTURAL ENGINEER**  
 TAMARACK GROVE ENGINEERING  
 812 S. LA CASSIA DRIVE  
 BOISE, IDAHO 83705  
 208.345.8941

**MEP & FIRE ALARM SYSTEMS ENGINEER**  
 ENGINEERING CONSULTING INCORPORATED  
 303 FEDERAL WAY  
 BOISE, IDAHO 83705  
 208.376.9820

**GENERAL CONTRACTOR**  
 BIG-D CONSTRUCTION  
 P.O. BOX 12680  
 JACKSON, WY 83002  
 307.733.9822

**MODULAR BUILDING CONTRACTOR**  
 NASHUA MODULAR BUILDERS OF IDAHO  
 5200 SOUTH FEDERAL WAY  
 BOISE, IDAHO 83716  
 208.345.0222

COVER PAGE  
 PROPOSED NEW FACILITY  
 FOR  
**CHILDREN'S LEARNING CENTER**  
 105 Mercill Ave Jackson, Wyoming

REVISIONS	DATE	DESCRIPTION
1	3.24.15	TOI PRE APPLICATION SUBMITTAL
2	7.20.15	TOI FDP & DRC SUBMITTAL

date 7.20.15  
 job no. 2214

**A000**

**LEGEND**

- ⊙ Indicates 3" brass cap inscribed "Nelson Eng" found this survey
- + Indicates a steel magnail set this survey (control point)
- △ Indicates a steel T-stake with chrome cap inscribed "PE&S 2612" found this survey
- Indicates a rebar with aluminum cap inscribed "PLS 6447" found this survey
- Indicates a 5/8 inch diameter rebar with an aluminum cap inscribed "PLS 3831" found this survey
- ⊞ Electrical Box/Meter
- ⊞ Telecommunications Pedestal
- ⊞ Water Valve
- ⊞ Gas Tank Cover/Valve
- ⊞ Irrigation Control Valve
- ⊞ Sewer Manhole
- + Yard hydrant
- ⊞ Sign Post
- ⊞ Utility Pole
- ⊞ Water Manhole
- 12" Spruce Tree—Approx Trunk Diameter Shown
- 12" Cottonwood Tree—Approx Trunk Diameter Shown
- 12" Willow Bush—Approx Trunk Diameter Shown

- Lot Boundary Line
- Adjoining Lot Boundary Line
- Record Easement Line
- Existing Building
- Deck
- Board Walk
- Ground Lease line
- Edge of Asphalt
- Edge of Gravel
- Edge of Side Walk
- - - - - Fence
- - - - - Underground Water
- - - - - Underground Sanitary Sewer
- - - - - Underground Telecommunications
- - - - - Underground Power
- ..... Flow Line
- Center Line Road

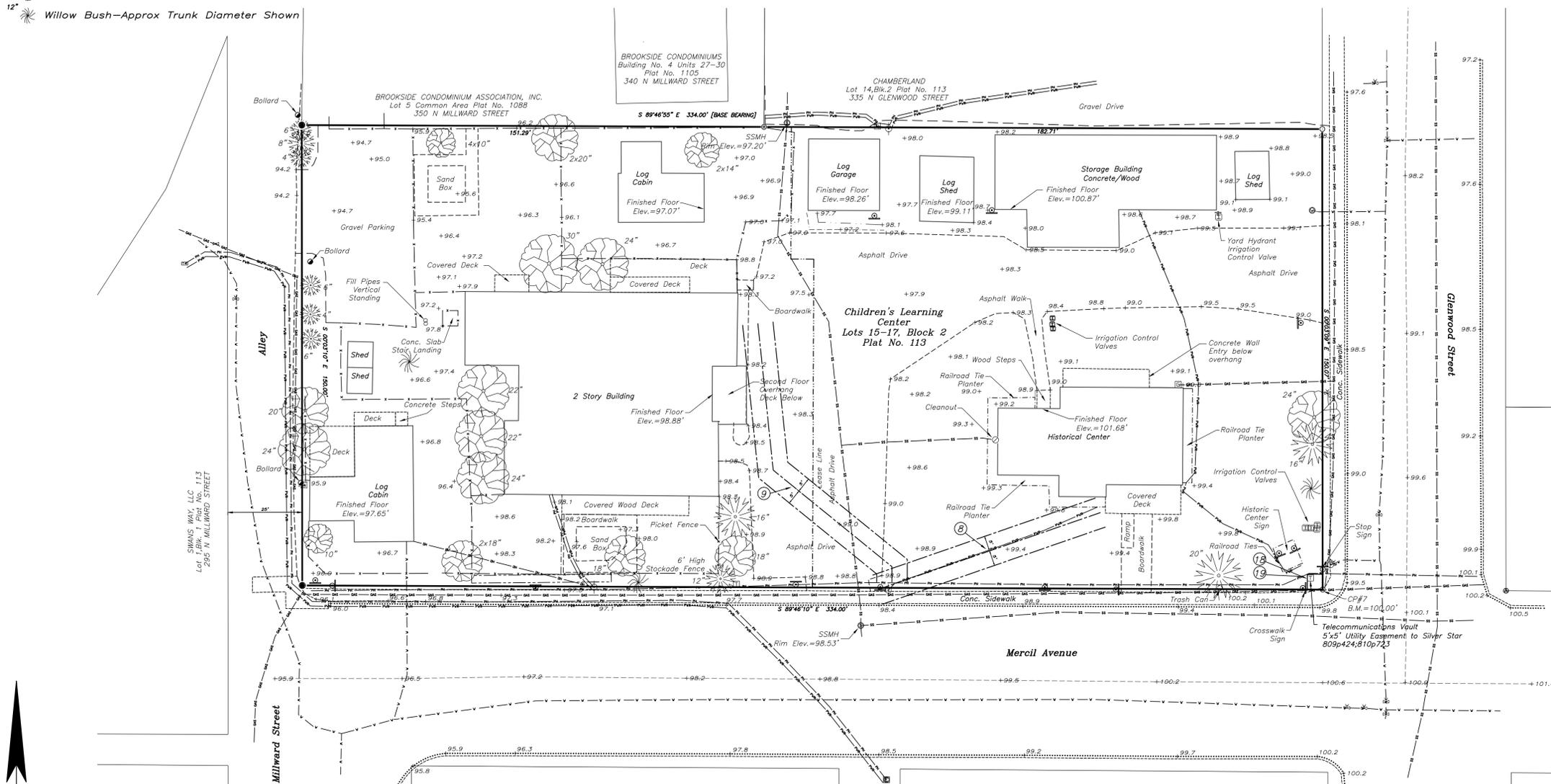
**TITLE REPORT NOTES:**

First American Title Insurance Company Commitment Order No. 4559-2465447, Effective June 22, 2015

**EXCEPTIONS**

1-7,10-17,20. General exceptions - not mapped or shown hereon.

- 8. Easement, including terms and conditions contained therein: Granted To: Lower Valley Power and Light, Inc.  
For: Construction, operation and maintenance of electric distribution circuits  
Recorded: October 18, 1982  
Recording Information: Book 130 of Photo, page 550
- 9. Easement, including terms and conditions contained therein: Granted To: Lower Valley Power and Light, Inc.  
For: Construction, operation and maintenance of electric distribution circuits  
Recorded: July 29, 1991  
Recording Information: Book 240 of Photo, page 235
- 18. Easement, including the terms and conditions contained therein: Granted To: Silver Star Telephone Company, Inc.  
For: Construction, operation and maintenance of communication facilities.  
Recorded: May 15, 2012  
Recording Information: Book 809 of Photo, page 424
- 19. Easement, including the terms and conditions contained therein: Granted To: Silver Star Telephone Company, Inc.  
For: Construction, operation and maintenance of communication facilities.  
Recorded: June 6, 2012  
Recording Information: Book 810 of Photo, page 723



**NOTES:**

Building footprints as shown hereon represent field measurements mapped as part of this survey and are not intended to represent architectural dimensions.

Underground utilities shown hereon were marked by Magic Valley Private Utility Locates Dated November 27, 2013.

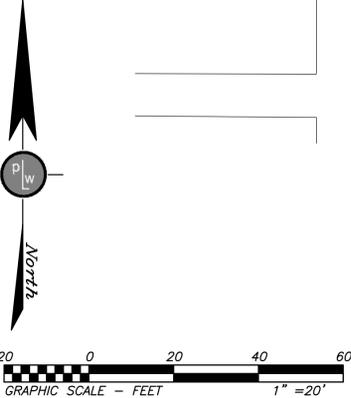
Current Zoning = AC (Auto Urban Commercial—Town)

Development setbacks are variable by use. Refer to Town Of Jackson Land Development Regulations, see section 2.3.5 (AC—ToJ) (1/1/15)

According to FEMA rate map dated 9/29/2006, Panel C2907C, show Zone AE & Zone X, an area with base flood elevations determined lying within portions of Lot 15-17 as shown hereon. Further FEMA Flood Elevation Certificate may be required prior to construction.

Features represented on this map show conditions determined by a field survey made on November 22 and 27th, 2013 and field verified July 7, 2015 and may not show subsequent changes.

Elevations based on an assumed datum. Site benchmark is 100.00' at Control Point #7 as shown hereon.





Pierson Land Works LLC  
P.O. Box 1143  
180 S. Willow St.  
Jackson, WY 83001  
Tel 307.733.5429  
Fax 307.733.9669  
piersonlandworks.com

---

**Existing Conditions Survey**  
Project Number - 13230  
Project Path - F:\2013\13230\Survey\ACAD\13230\_ILS.dwg  
Drawn By - PWG  
Reviewed By - GP  
Revision Date - Dec. 18, 2013  
Revision Date - July 28, 2015

---

**Client Name**  
Teton County Commissioners

**Property Address**  
105 MERCILL AVE.  
JACKSON, WY 83001

---

**Children's Learning Center**  
Showing  
Lots 15,16 & 17, Block 2, J.R. Jones Lots, Plat No. 113  
Pt. NE 1/4 SE 1/4, Sec. 28  
T.41 N., R. 116 W., 6th P.M., Town of Jackson, Wyoming

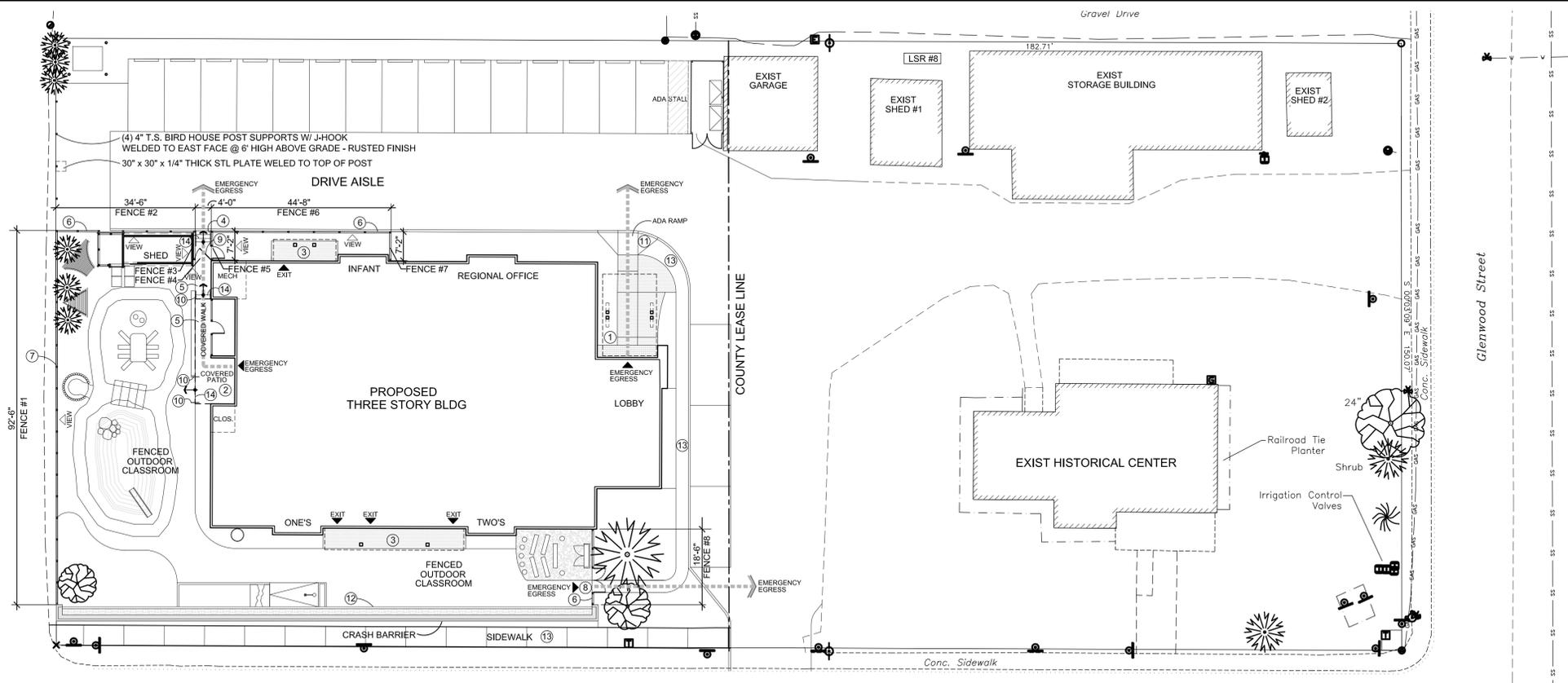
---



we define, design & deliver  
the pieces that you Play, Live & Work

A001

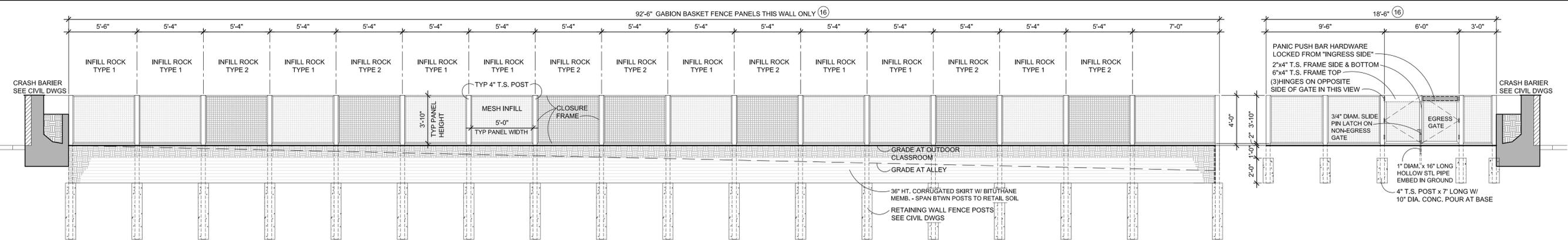




**SITE PLAN KEY NOTES**

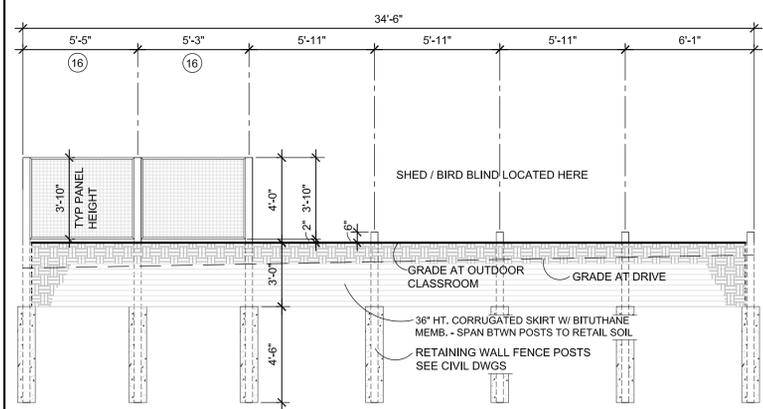
- ① COVERED PRIMARY ADA ENTRY / EMERGENCY EXIT
  - ② COVERED SECONDARY ENTRY / EMERGENCY EXIT
  - ③ COVERED PATIO WITH SECONDARY ENTRY / EXIT
  - ④ EXTERIOR EMERGENCY EGRESS STAIR WITH T=11" AND R=7" MAX. 1-1/2" DIAM. METAL HANDRAIL 1-1/2" CLEAR ON EACH SIDE W/ 12" RAIL EXTENSION AT TOP AND BOTTOM OF STAIR. RAIL MOUNTED 34" ABOVE TYP TREAD HEIGHT (SEE CIVIL DWGS). TYP EA. SIDE OF STAIR
  - ⑤ EMERGENCY EGRESS WALKWAY
  - ⑥ 4'-0" HIGH METAL MESH FENCE
  - ⑦ 4'-0" HIGH METAL MESH GABION FENCE
  - ⑧ (2) 4'-0" HIGH x 36" WIDE METAL MESH GATES. ONE GATE TO HAVE PIN TO FIX IT IN PLACE. GATE ALIGNED WITH SIDEWALK TO BE AN OUTSWING EMERGENCY EGRESS GATE WITH PUSH BAR PANIC HARDWARE MOUNTED 48" ABOVE WALKWAY SURFACE. LOCKED FROM "INGRESS" ENTRY SIDE.
  - ⑨ 4'-0" HIGH x 36" WIDE MIN. METAL MESH OUTSWING EMERGENCY EGRESS GATE WITH PUSH BAR PANIC HARDWARE MOUNTED 48" ABOVE WALKWAY SURFACE.
  - ⑩ 1-1/2" DIAM. METAL HANDRAIL 1-1/2" CLEAR ON EACH SIDE W/ 12" RAIL EXTENSION AT TOP AND BOTTOM OF STAIR. RAIL MOUNTED 34" ABOVE TYPICAL TREAD HEIGHT. TYP EACH SIDE OF STAIR
  - ⑪ ADA RAMP (SEE CIVIL DWGS FOR DETAILS)
  - ⑫ 4'-0" HIGH CONCRETE CRASH BARRIER W/ STONE VENEER AND LANDSCAPE PLANTER (SEE CIVIL DWGS FOR DETAILS)
  - ⑬ CONCRETE WALK SEE CIVIL - NO STAIN
  - ⑭ STAIR RISER
- |   |  |
|---|--|
| ⑮ McNICHOLS ECO MESH<br>866.754.5144<br>mcnichols.com | WEAVE: WOVEN INTERCRIMP<br>FRAME DEPTH: 3" 16 GA.<br>MATERIAL: PLAIN STEEL<br>FASTENERS: POST ATTACHMENT<br>FINISH: BARE (SANDBLASTED TO BE WEATHERED) |
| ⑯ McNICHOLS ECO ROCK<br>866.754.5144<br>mcnichols.com | WEAVE: INTERCRIMP<br>FRAME DEPTH: 4" THICKNESS<br>MATERIAL: PLAIN STEEL<br>FASTENERS: POST ATTACHMENT<br>FINISH: BARE (SANDBLASTED TO BE WEATHERED)    |

**EGRESS EXITING AND FENCE PLACEMENT PLAN**  
SCALE: 1" = 30'-0"

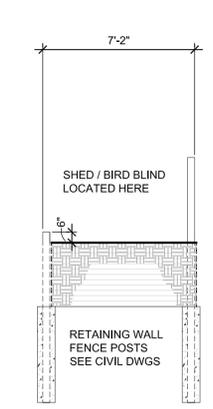


**FENCE #1 ELEVATION**  
SCALE: 1/4" = 1'-0"

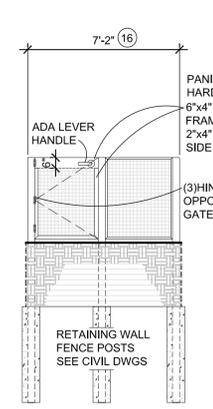
**FENCE #8 ELEVATION**  
SCALE: 1/4" = 1'-0"



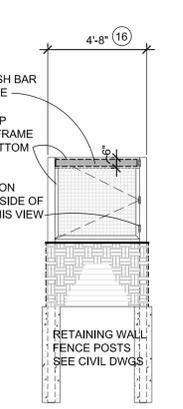
**FENCE #2 ELEVATION**  
SCALE: 1/4" = 1'-0"



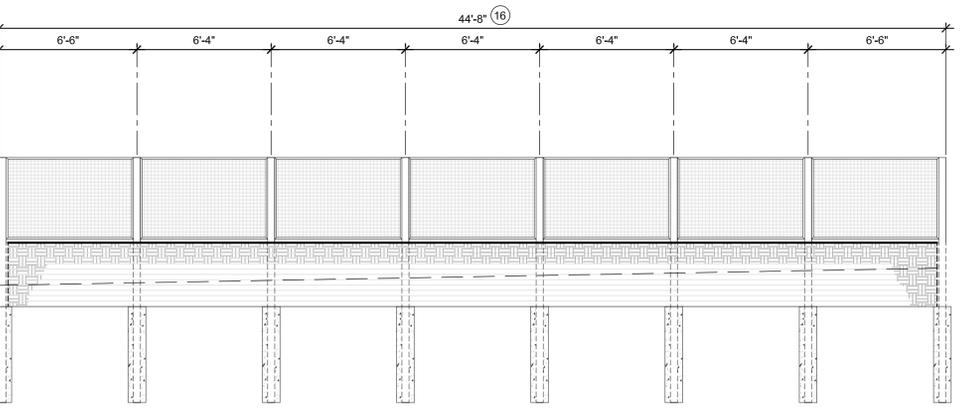
**FENCE #3 ELEV**  
SCALE: 1/4" = 1'-0"



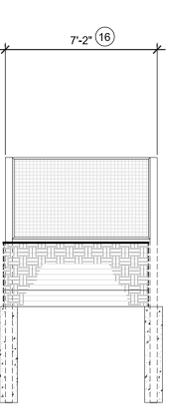
**FENCE #4 ELEV**  
SCALE: 1/4" = 1'-0"



**FENCE #5 ELEV**  
SCALE: 1/4" = 1'-0"



**FENCE #6 ELEVATION**  
SCALE: 1/4" = 1'-0"



**FENCE #7 ELEV**  
SCALE: 1/4" = 1'-0"

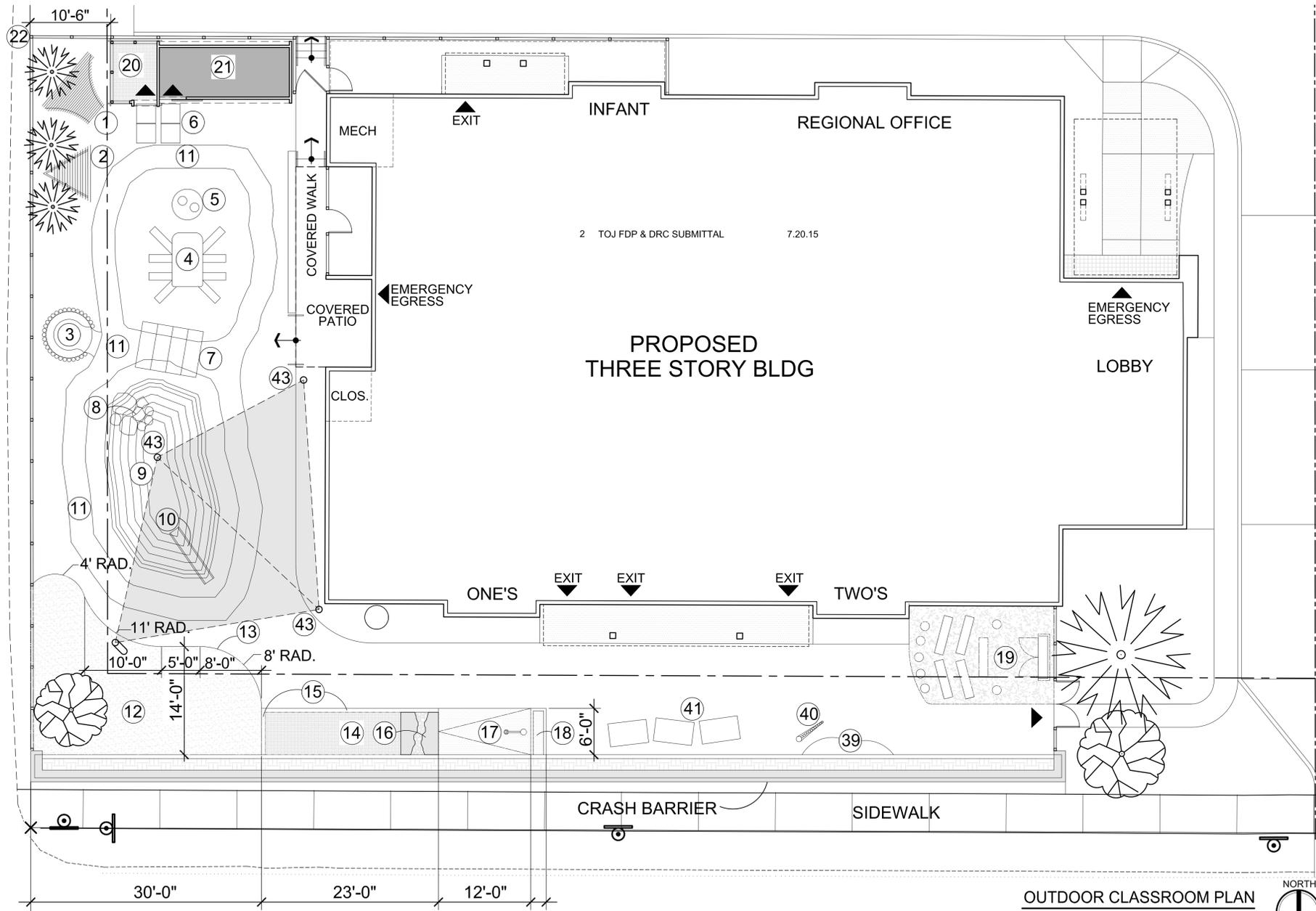
**KRIKOR Architecture**  
1125 Deer Creek Drive P.O. Box 4659 Jackson, WY 83001  
tel. 307.413.6874 email: KRIKORARCH@GMAIL.COM

PROPOSED NEW FACILITY FOR  
**CHILDREN'S LEARNING CENTER**  
105 Mercill Ave Jackson, Wyoming

REVISIONS	DATE	BY
1 TOI PRE APPLICATION SUBMITTAL	3.24.15	
2 TOI FDP & DRC SUBMITTAL	7.20.15	

date: 7.20.15  
job no.: 2214

**A003**



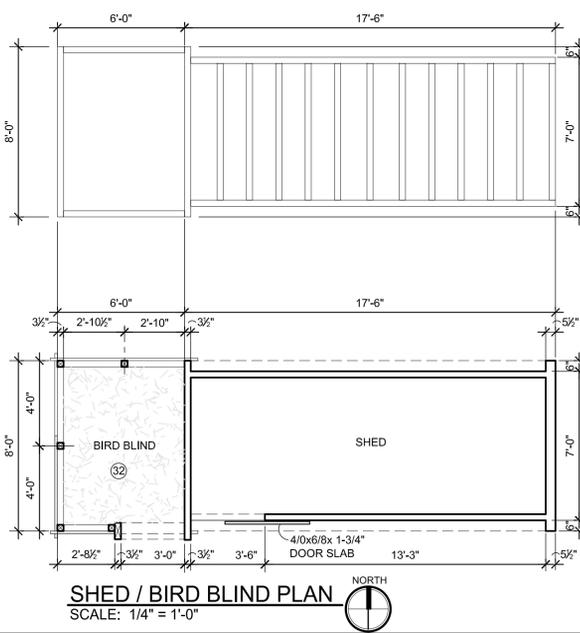
COUNTY LEASE LINE

OUTDOOR CLASSROOM PLAN  
SCALE: 1/8" = 1'-0"

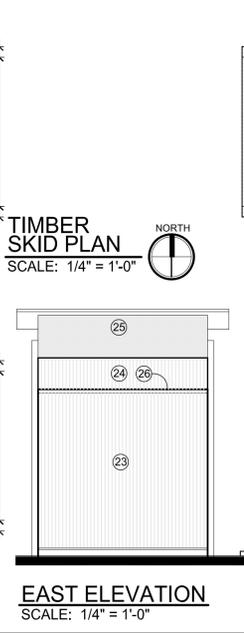


DRAWING KEY NOTES

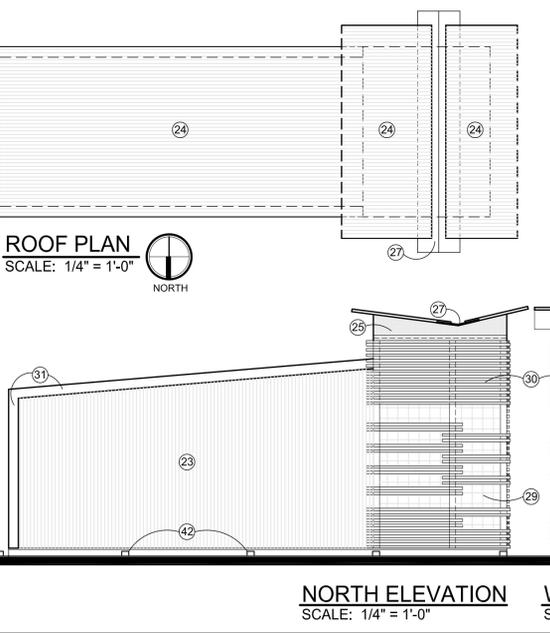
- 1 TWIG FORT #1
- 2 TWIG FORT #2
- 3 6'-0" INSIDE DIAM. LOG FORT CIRCLE MADE OF RANDOM HEIGHT 6" DIA. P.T. LOG POSTS. PROVIDE 12" DEEP WOOD SLAB CIRCULAR BENCH 24" OFF GROUND.
- 4 STAINED AND TEXTURED 4" THICK x 4' W x 7' L CONC. SLAB TABLE W/ 1" RAD. & 4" RAD. AT CORNERS AS SHOWN ON 14" DIA. LOG SLEEPERS
- 5 (2) 30" HIGH 14" DIA. LOG CHOP BLOCKS ON 4" DIA. STAINED AND TEXTURED 4" THICK CONCRETE SLAB
- 6 30" x 30" x 2" PRECAST CONC. STEPPING PADS
- 7 TUNNEL VAULT
- 8 RANDOM SIZE DIAMETER BOULDER CRAWL
- 9 4'-0" HIGH RAISED EARTH MOUND - SEE CIVIL DWGS
- 10 8' LONG PLASTIC SLIDE
- 11 ASPHALT TRICYCLE PATH
- 12 ORGANIC SHAPED SAND BOX
- 13 RADIUS METAL EDGING
- 14 MUD PLAY BOX
- 15 CONCRETE CURBING SURROUND AT MUD PLAY BOX FILLED W/ 3" PEA GRAVEL 8" DEEP ON FILTER FABRIC
- 16 4" THICK STONE SLAB SPILL WAY SPLIT WITH IRREGULAR EDGES. LAY TOP FLUSH WITH CONC. SPLASH PAD. PLACE 3" PEA GRAVEL BTWN CRACKED STONE EDGES AND UNDER STONE FOR DRAINAGE.
- 17 STAINED AND TEXTURED 4" THICK TAPERED CONC. SLAB SPLASH PAD WITH 7" HIGH LARGE DIAMETER ADJUSTABLE SHOWER HEAD - TIED TO IRRIGATION SYSTEM
- 18 POURED CONCRETE WATER TROUGH W/ 28" HIGH 4" THICK SIDE WALLS AND 12" DEEP TROUGH W/ 3" LOOSE PEA GRAVEL AT BOTTOM. ALL TOP OF CONC. WALL EDGES TO BE SMOOTH AND EASED W/ 1/4" RAD. PROVIDE STAINED FINISH.
- 19 STORY TIME AREA WITH (5) 14" DIA. LOG SEATS HORIZ. ON GROUND AND (7) 14" DIA. x 24" HIGH LOG STUMP SEATING. PROVIDE 1'-6" x 6'-0" FREE STANDING WOOD CABINET SHOWCASE W/ (2) 30" OUTSWING DR
- 20 BIRD BLIND - SEE DETAIL THIS SHEET
- 21 STORAGE SHED - SEE DETAIL THIS SHEET
- 22 PROPERTY LINE
- 23 VERT. CORRUGATED RUSTED METAL SIDING W/ EXPOSED FASTENERS
- 24 CORRUGATED RUSTED METAL ROOFING W/ EXPOSED FASTENERS
- 25 FLAT SHEET RUSTED METAL SIDING W/ EXPOSED FASTENERS
- 26 RUSTED METAL ROOF TO WALL TRANSITION TRIM
- 27 RUSTED METAL VALLEY FLASH 24" WIDE - 12" EACH SIDE OF BREAK
- 28 FLAT SHEET RUSTED METAL SIDING W/ EXPOSED FASTENERS OVER SOLID CORE FLUSH PANEL SLIDING BARN DOOR W/ LATCH
- 29 METAL MESH INFILL SCREEN W/ PERIMETER CLOSURE TRIM. 6" MESH OPENING PATTERN - PAINTED MATTE BLACK
- 30 1-1/2" SQUARE TREX BRASILIA "CAYENNE" SLATS W/ EXPOSED RECESSED FASTENERS. EASE ALL CUT EDGES OF SLATS AT CORNERS
- 31 FLAT METAL SHEET RUSTED FASCIA
- 32 WOOD CHIP FILL AT GROUND FLUSH W/ TOP OF SKID TIMBERS
- 33 1/2" PLYWOOD INTERIOR WALL AND CEILING FINISH
- 34 3/4" PLYWOOD FLOOR SHEATHING
- 35 4x4 P.T. TIMBER SKID SET ON 6" DEEP PEA GRAVEL BASE AT GRADE
- 36 2x6 ROOF RAFTER WITH 3/4" ROOF SHEATHING
- 37 2x6 STUD WALL W/ 1/2" EXTERIOR SHEATHING
- 38 2x12 ROOF RAFTER W/ VALLEY CUT AND (2) LAYERS 3/4" ROOF SHEATH.
- 39 PLANT WALL
- 40 LOW TONE CHIME TREE
- 41 LOG TUNNEL CRAWL
- 42 TOP OF FENCE POST RETAINING WALL - SEE CIVIL DWGS AND SHEET A002
- 43 AVERAGE 15'-0" TALL FABRIC MESH TENSILE SHADE STRUCTURE AND SUPPORT



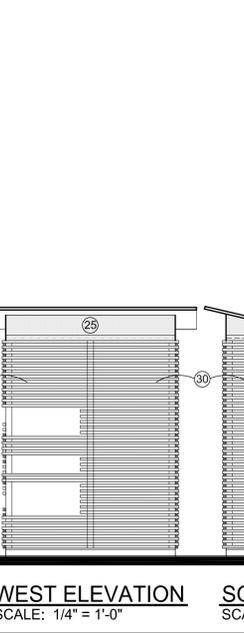
SHED / BIRD BLIND PLAN  
SCALE: 1/4" = 1'-0"



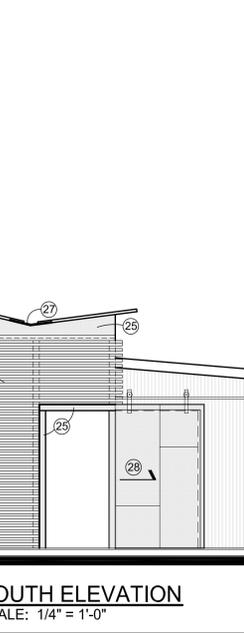
EAST ELEVATION  
SCALE: 1/4" = 1'-0"



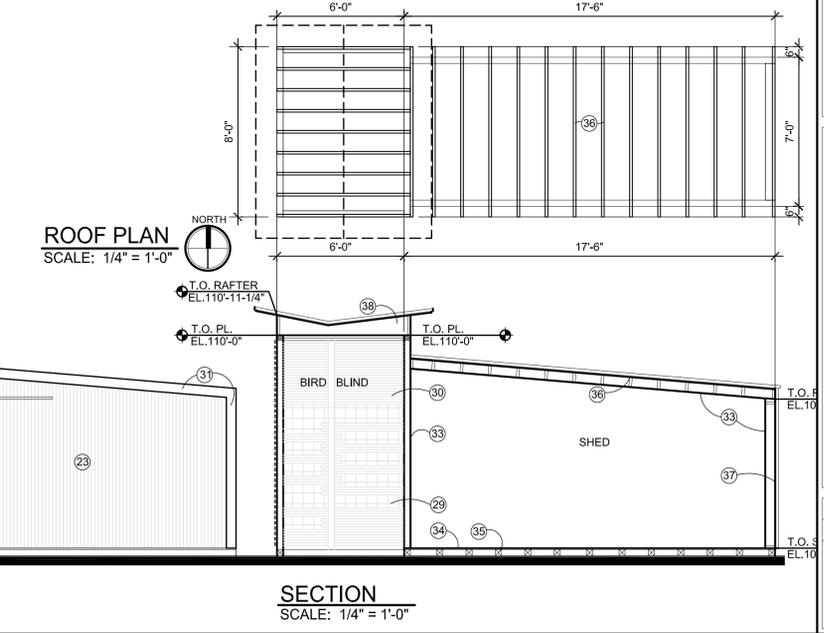
NORTH ELEVATION  
SCALE: 1/4" = 1'-0"



WEST ELEVATION  
SCALE: 1/4" = 1'-0"



SOUTH ELEVATION  
SCALE: 1/4" = 1'-0"



SECTION  
SCALE: 1/4" = 1'-0"

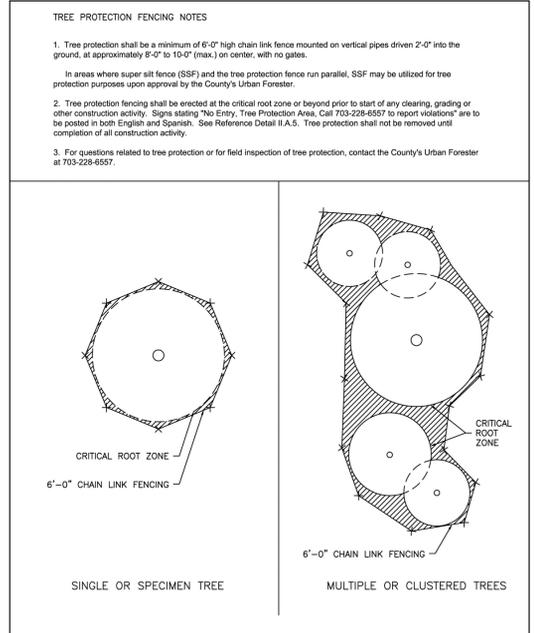
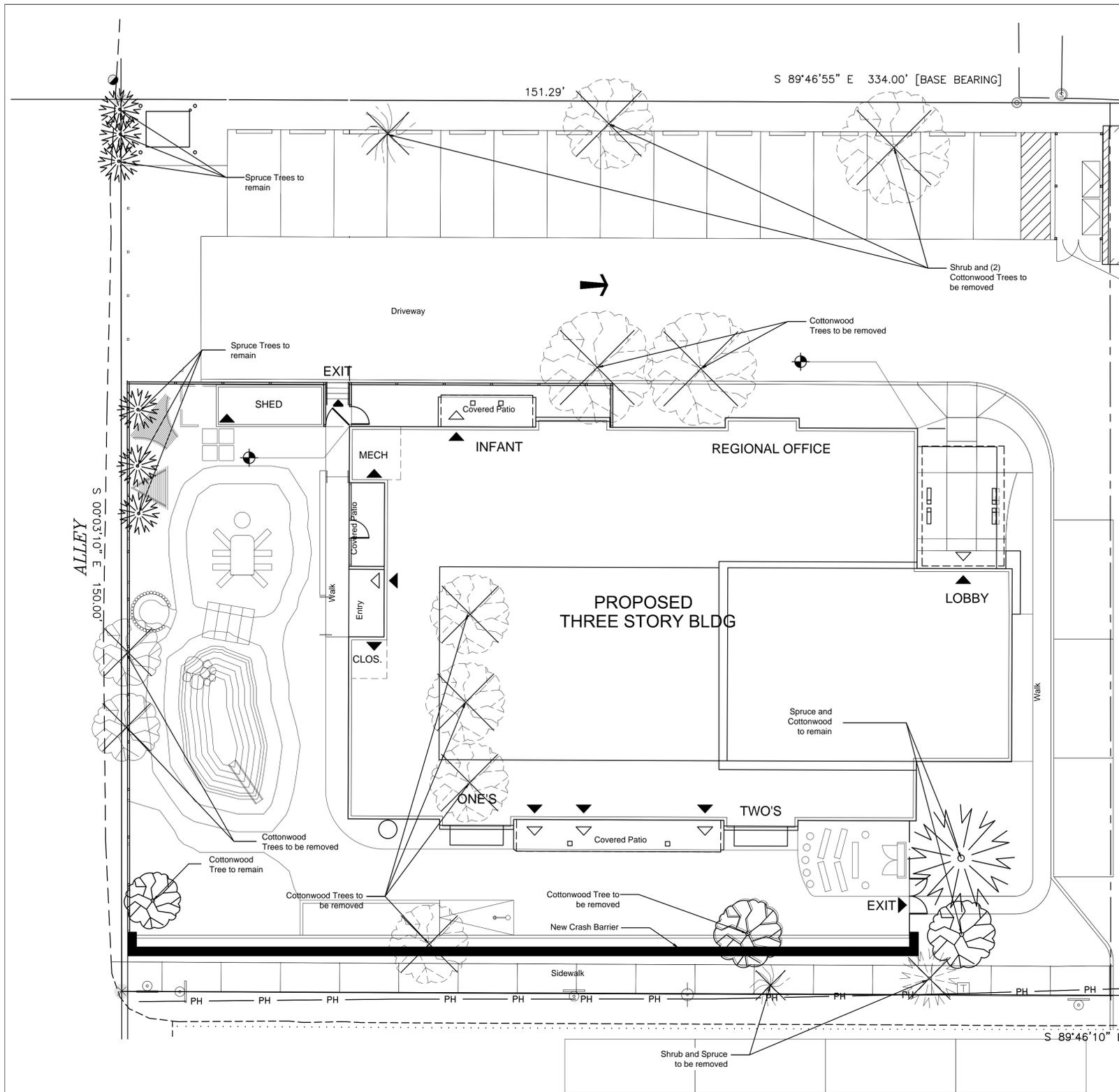
**KRIKOR Architecture**  
1125 Deer Creek Drive P.O. Box 4659 Jackson, WY 83001  
tel.307.413.6874 email: KRIKORARCH@GMAIL.COM

PROPOSED NEW FACILITY FOR  
**CHILDREN'S LEARNING CENTER**  
105 Mercill Ave Jackson, Wyoming

REVISIONS	DATE	DESCRIPTION
1	3.24.15	TOI PRE APPLICATION SUBMITTAL
2	7.20.15	TOI FDP & DRC SUBMITTAL

date 7.20.15  
job no. 2214

**A004**



TREE PROTECTION FENCING

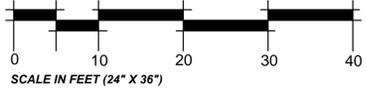


PROJECT TITLE:  
**CHILDREN'S LEARNING CENTER**  
 105 Mercil Ave.

DRAWING TITLE:  
**TREE REMOVAL PLAN**

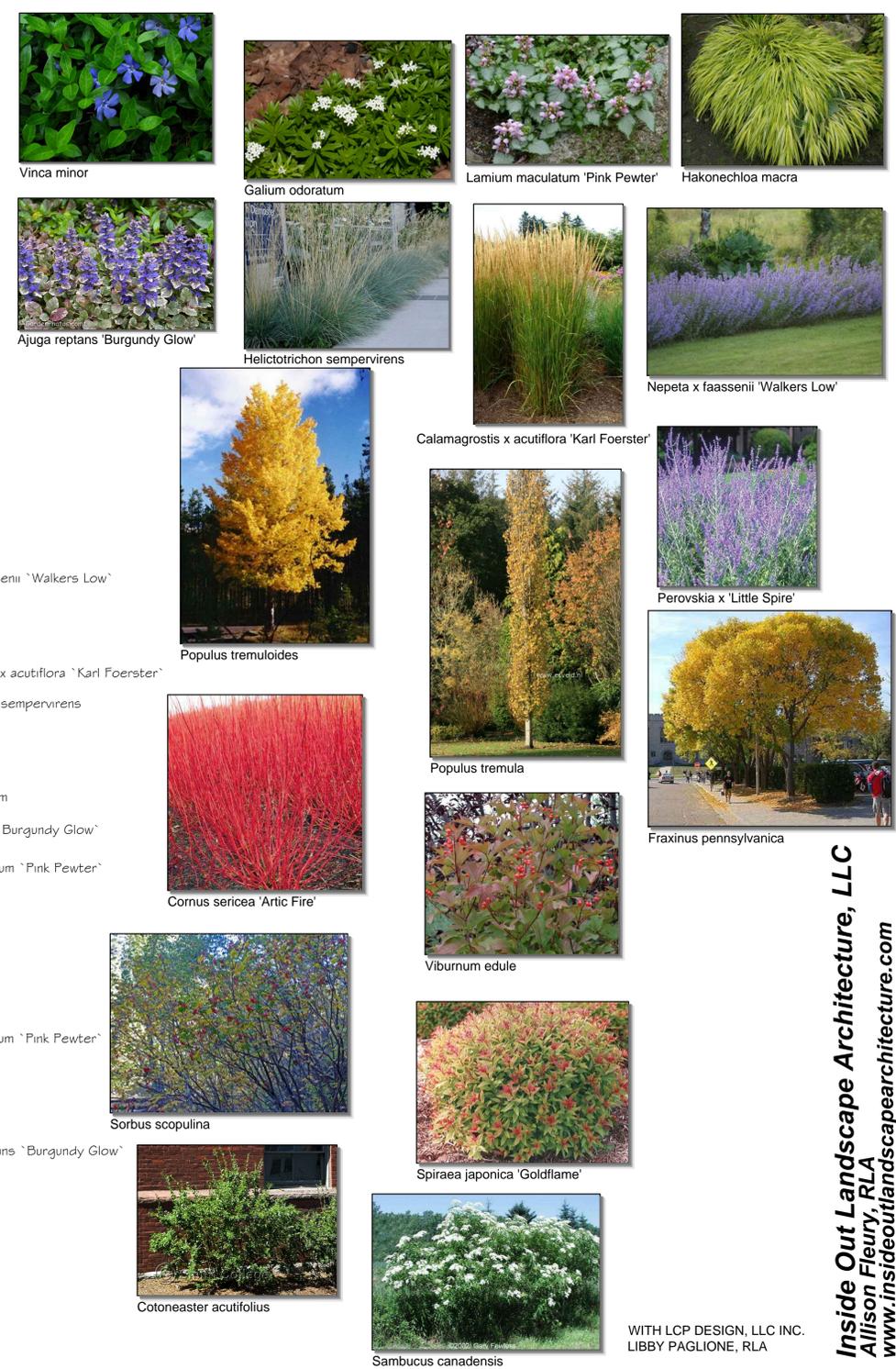
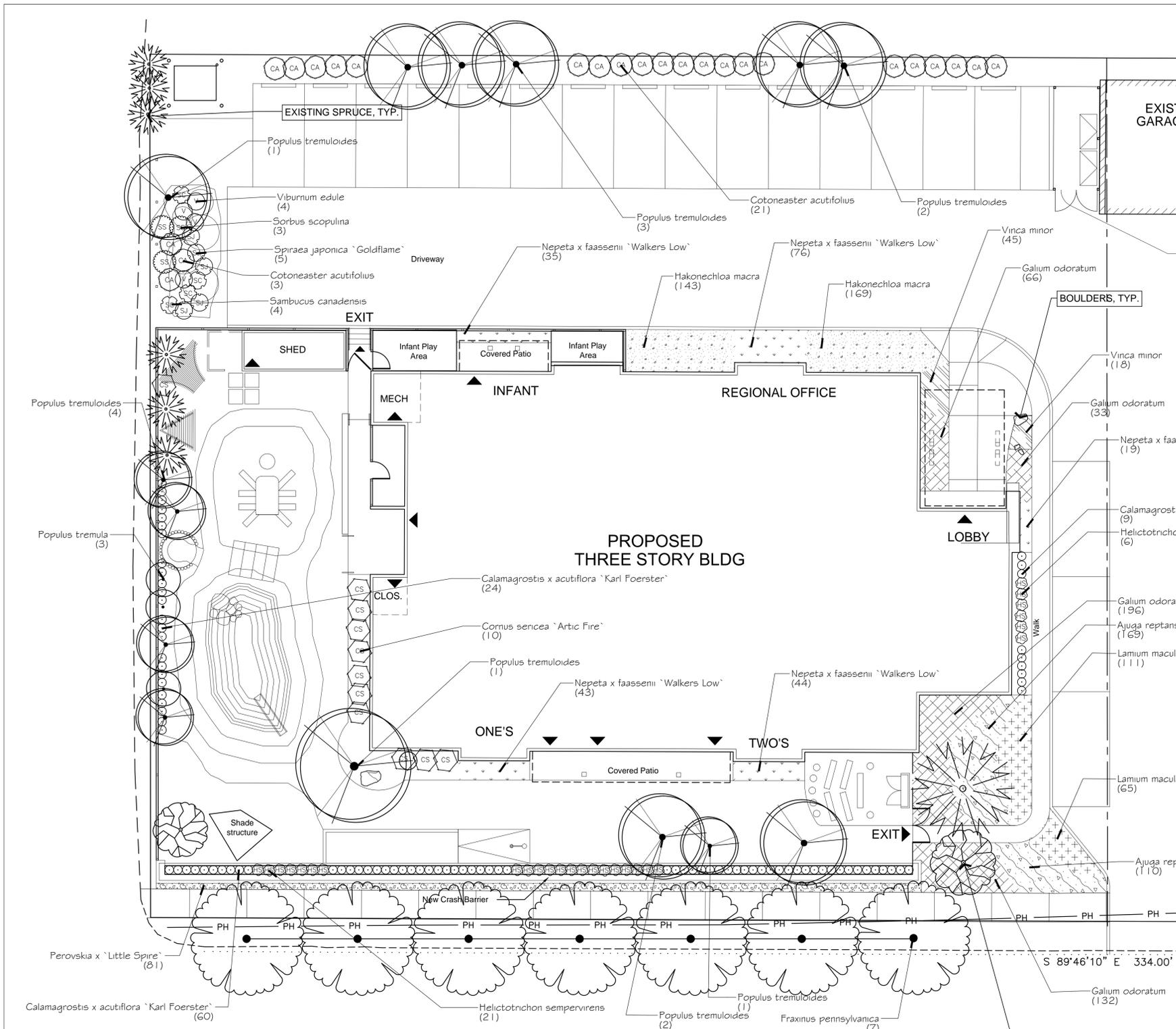
DRAWING NUMBER: **LP 1.0**  
 Project Number: 2015-15  
 Prepared By: LCP Date: 07/20/15 Rev. Date:

Inside Out Landscape Architecture, LLC  
 5263 Torrence Road  
 Wilson, WY 83014  
 (307) 690-4907  
 allison.lola@gmail.com

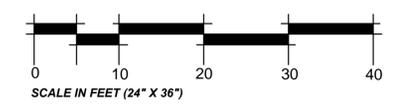
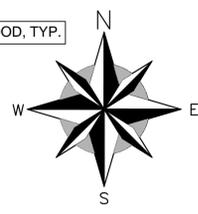
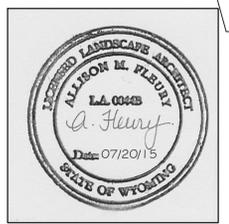


WITH LCP DESIGN, LLC INC.  
 LIBBY PAGLIONE, RLA

**Inside Out Landscape Architecture, LLC**  
 Allison Fleury, RLA  
 www.insideoutlandscapearchitecture.com



Inside Out Landscape Architecture, LLC  
 5263 Torrence Road  
 Wilson, WY 83014  
 (307) 690-4907  
 allison.iola@gmail.com



PROJECT TITLE:  
**CHILDREN'S LEARNING CENTER**  
 105 Mercil Ave.

DRAWING TITLE:  
**LANDSCAPE PLAN**

DRAWING NUMBER: **LP 1.1**  
 Project Number: 2015-15  
 Prepared By: LCP Date: 07/20/15 Rev. Date:

**Inside Out Landscape Architecture, LLC**  
 Allison Fleury, RLA  
 www.insideoutlandscapearchitecture.com

WITH LCP DESIGN, LLC INC.  
 LIBBY PAGLIONE, RLA

**Children's Learning Center**  
105 Mercill Avenue

**Date:** 7/30/2015

**Zoning:** AC  
**Acreage:** 1.15 AC  
**LSR required:** 10,022 SF  
**Parking Required:** 21 spaces  
**Total Plant Units Required:**

1 per 12 parking spaces = 2  
1 per 1,000 SF LSR = 10  
**12 plant units required**

Average cost of 1 plant unit: \$2,171  
**Total cost of plant units required: \$26,052**

**Plant Material to Remain on Site:**

QTY	SIZE	COMMON	BOTANICAL	EST. COST TO REPLACE (EA)	TOTAL COST	Location
1	10" diam	Cottonwood	Populus angustifolia	\$1,500	\$1,500	SW lot corner
1	18" diam	Cottonwood	Populus angustifolia	\$2,500	\$2,500	SE corner
2	4" diam	Spruce	Picea pungens	\$1,800	\$3,600	West lot line
3	6" diam	Spruce	Picea pungens	\$2,000	\$6,000	West lot line
1	8" diam	Spruce	Picea pungens	\$2,500	\$2,500	West lot line
1	16" diam	Spruce	Picea pungens	\$5,000	\$5,000	South east building corner
				<b>\$21,100</b>		

**New plant material required: \$4,952 3 PLANT UNITS REQUIRED**

**New plant material proposed:**

QTY	Cont	Cal	Botanical	Common		
7	B & B	3" Cal	Fraxinus pennsylvanica	Green Ash	\$328	\$2,296
3	B & B	2.5" Cal	Populus tremula	European Aspen	\$250	\$750
5	15 gal		Populus tremuloides	Quaking Aspen	\$125	\$625
8	B & B	1.5"-2.0"	Populus tremuloides	Quaking Aspen	\$200	\$1,600
1	B & B	2" - 3" CAL.	Populus tremuloides	Quaking Aspen	\$225	\$225
93	2 gal		Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	\$18	\$1,674
11	5 gal		Cornus sericea 'Artic Fire'	Artic Fire Dogwood	\$36	\$396
27	2 gal		Helictotrichon sempervirens	Blue Oat Grass	\$24	\$648
24	B & B	4' min.	Cotoneaster acutifolius	Peking Cotoneaster	\$150	\$3,600
5	5 gal		Sambucus canadensis	Elderberry	\$36	\$180
3	10 gal		Sorbus scopulina	Western Mountain Ash	\$55	\$165
5	5 gal		Spiraea japonica 'Goldflame'	Spirea	\$36	\$180
4	10 gal		Viburnum edule	Highbush Cranberry	\$55	\$220
				Spacing		
279	4" pot	12" o.c.	Ajuga reptans 'Burgundy Glow'	Burgundy Glow Bugleweed	\$3	\$837
427	4" pot	12" o.c.	Gallium odoratum	Sweet Woodruff	\$3	\$1,281
312	2 gal	12" o.c.	Hakonechloa macra	Japanese Forest Grass	\$24	\$7,488
176	4" pot	12" o.c.	Lamium maculatum 'Pink Pewter'	Pink Pewter Dead Nettle	\$3	\$528
217	1 gal	12" o.c.	Nepeta 'Walkers Low'	Catmint	\$18	\$3,906
81	1 gal	18" o.c.	Perovskia 'Little Spires'	Russian Sage	\$18	\$1,458
63	4" pot	12" o.c.	Vinca minor	Common Periwinkle	\$3	\$189
					\$25,950	12
						12 plant units provided

Approximate cost of Plant Unit Alternatives:

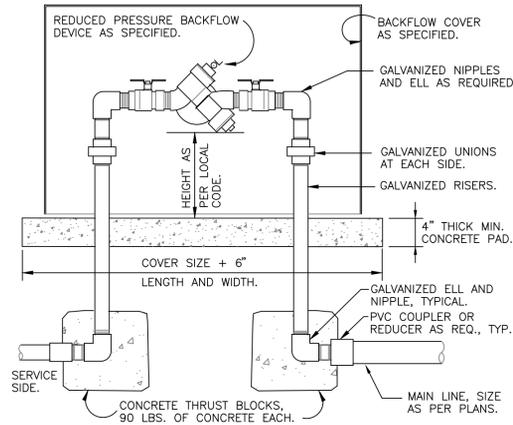
Alternative Unit	QTY	Size	Cal.	Description	Unit Cost	Total Cost
Alternative Unit A	1	3"	cal.	Deciduous tree	\$328.00	\$328.00
	6	6' to 8'		multi stem tree or large shrub	\$280.00	\$1,680.00
	4	#5		container shrubs	\$36.00	\$144.00
Alternative Unit B	2	3"	cal.	Deciduous tree	\$328.00	\$656.00
	2	6' to 8'		multi stem tree or large shrub	\$280.00	\$560.00
	3	8'		Evergree tree	\$400.00	\$1,200.00
Alternative Unit C	3	6' to 8'		multi stem tree or large shrub	\$280.00	\$840.00
	3	8'		Evergree tree	\$400.00	\$1,200.00
	2	#5		container shrubs	\$36.00	\$72.00
Alternative Unit D	3	8'		Evergree tree	\$400.00	\$1,200.00
	3	6' to 8'		multi stem tree or large shrub	\$280.00	\$840.00
	3	#5		container shrubs	\$36.00	\$108.00
						\$2,148.00
						\$8,684.00

Average: \$2,171.00

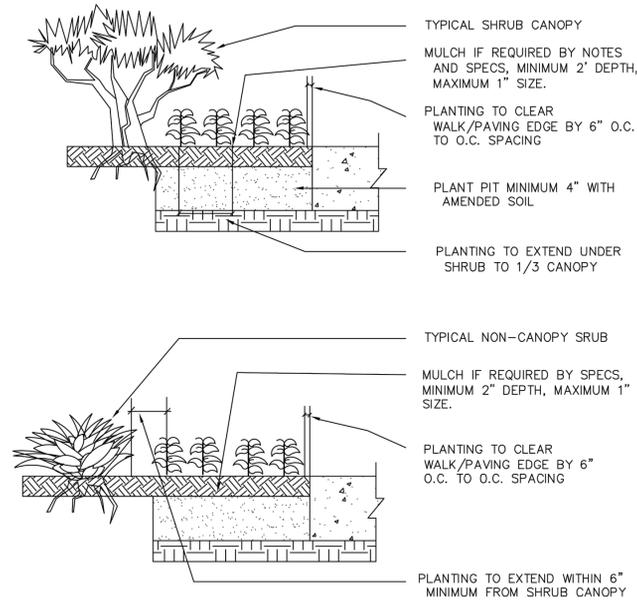
**PLANT SCHEDULE**

TREES	BOTANICAL NAME	COMMON NAME	CONT	CAL	QTY	
	Fraxinus pennsylvanica	Green Ash	B & B	3" Cal	7	
	Populus tremula	European Aspen	B & B	2.5" Cal	3	
	Populus tremuloides	Quaking Aspen	15 gal		5	
	Populus tremuloides	Quaking Aspen	B & B	1.5"-2.0"	8	
	Populus tremuloides	Quaking Aspen	B & B	2" - 3" CAL.	1	
SHRUBS	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2	QTY	
	Calamagrostis x acutiflora 'Karl Foerster'	Feather Reed Grass	2 gal		93	
	Cornus sericea 'Artic Fire'	Artic Fire Dogwood	5 gal		11	
	Helictotrichon sempervirens	Blue Oat Grass	2 gal		27	
BIRD ATTRACTING	BOTANICAL NAME	COMMON NAME	SIZE	FIELD2	QTY	
	Cotoneaster acutifolius	Peking Cotoneaster	B & B	4' min.	24	
	Sambucus canadensis	Elderberry	5 gal		5	
	Sorbus scopulina	Western Mountain Ash	10 gal		3	
	Spiraea japonica 'Goldflame'	Spirea	5 gal		5	
	Viburnum edule	Highbush Cranberry	10 gal		4	
GROUND COVERS	BOTANICAL NAME	COMMON NAME	CONT	FIELD2	SPACING	QTY
	Ajuga reptans 'Burgundy Glow'	Burgundy Glow Bugleweed	4" pot		12" o.c.	279
	Gallium odoratum	Sweet Woodruff	4" pot		12" o.c.	427
	Hakonechloa macra	Japanese Forest Grass	2 gal		12" o.c.	312
	Lamium maculatum 'Pink Pewter'	Pink Pewter Dead Nettle	4" pot		12" o.c.	176
	Nepeta x faassenii 'Walkers Low'	Walkers Low Catmint	1 gal		12" o.c.	217
	Perovskia x 'Little Spire'	Russian Sage	1 gal		18" o.c.	81
	Vinca minor	Common Periwinkle	4" pot		12" o.c.	63

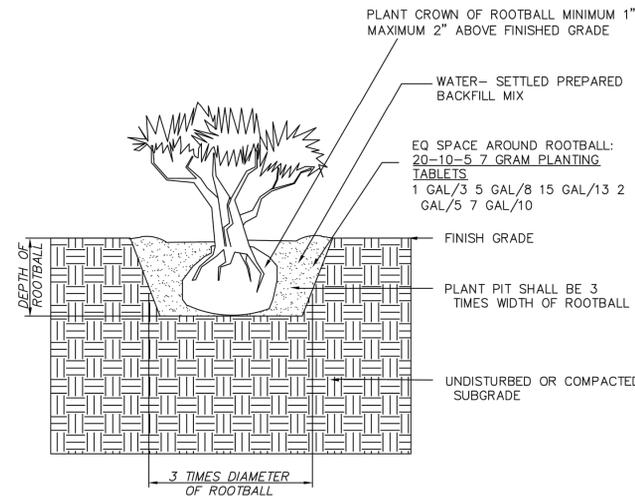




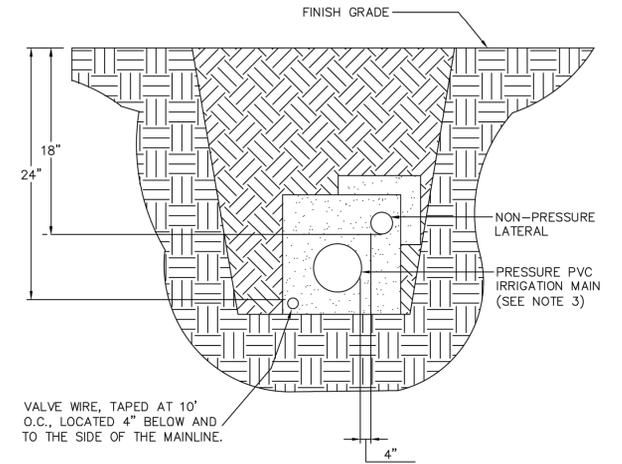
**1** RP BACKFLOW W/ENCLOSURE  
1" = 1'-0"  
328409.46-03



**1** LP 1.3 Ground Cover Planting

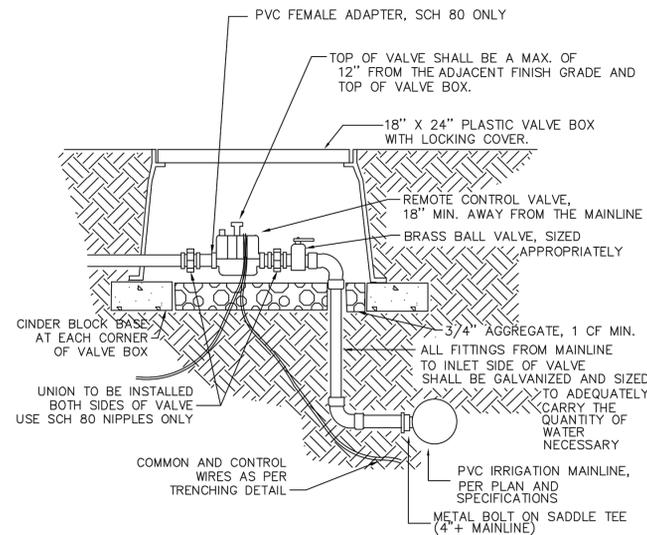


**2** LP 1.3 Shrub Planting



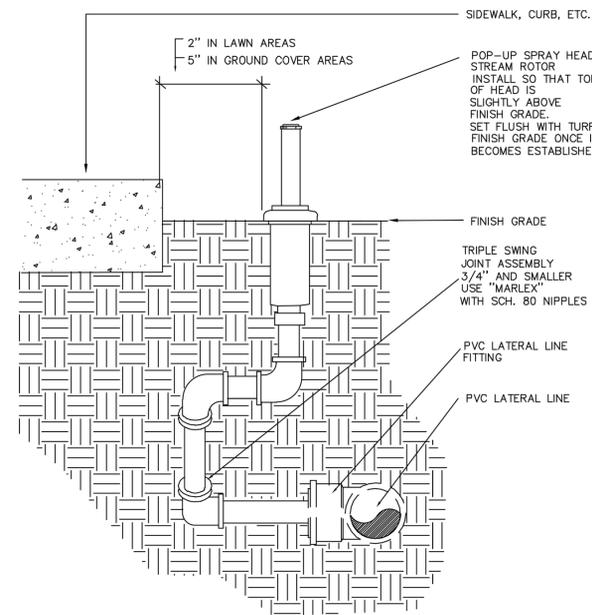
- NOTES:**
- APPROVED TOPSOIL BACKFILL SHALL BE USED TO REPLACE ANY NATIVE MATERIAL IN EXCESS OF 1" MINUS. THERE IS TO BE A 6" PIPE ZONE OF CLEAN SAND BACKFILL AROUND ALL IRRIGATION LINES.
  - CONTRACTOR SHALL CONTACT PROJECT MANAGER WHEN EXISTING TREES ARE PRESENT.
  - PRESSURE IRRIGATION MAIN SHALL BE LOCATED ON THE SIDEWALK SIDE OF PARKWAY STRIPS, AWAY FROM ROADWAY CURB AND GUTTER, WHERE APPLICABLE.

**3** LP 1.3 Irrigation Line Trenching



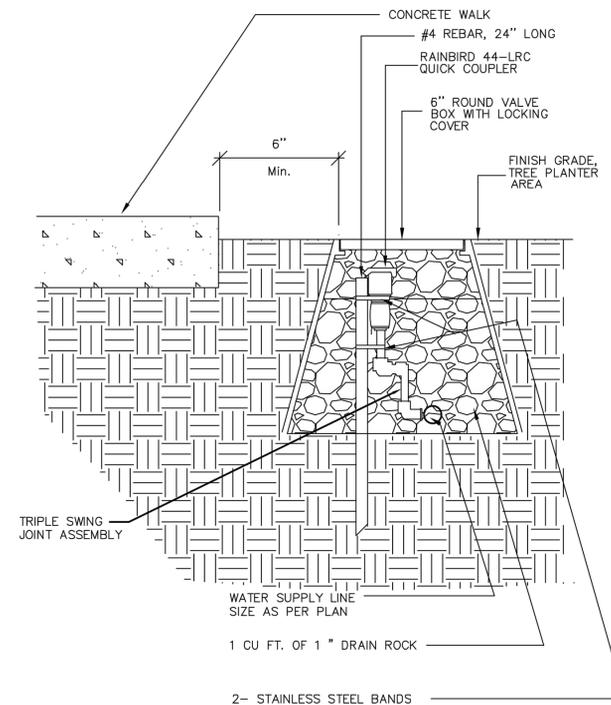
- NOTES:**
- ALL WIRE SHALL BE INSTALLED PER LOCAL CODE.
  - PROVIDE 12" EXPOSED COILS AT EACH WIRE CONNECTION IN VALVE BOX. (10 WRAPS 1/2" DIAM.)
  - CONTRACTOR SHALL USE METAL BOLT ON SADDLE TEE FOR CONNECTION TO THE IRRIGATION MAINLINE (4" + ONLY) CONNECTION SHALL BE MADE PARALLEL TO GROUND (HORIZONTAL, NOT VERTICAL)

**4** LP 1.3 Remote Control Valve



- NOTES:**
- "FUNNY PIPE" SWING JOINT TUBING MAY BE USED ON THE SWING JOINT ASSEMBLY FOR POP UP SPRAY HEADS ONLY (NOT ROTORS) WITH A MAXIMUM LENGTH OF 18". MINIMUM WALL THICKNESS SHALL BE 3MM.

**5** LP 1.3 Pop Up Head



**6** LP 1.3 Quick Coupler

- IRRIGATION NOTES:**
- LANDSCAPE CONTRACTOR TO WORK WITH GENERAL CONTRACTOR TO DETERMINE LOCATION OF POINT OF CONNECTION, RP BACKFLOW PREVENTOR ETC.
  - LANDSCAPE CONTRACTOR TO COORDINATE WITH GENERAL CONTRACTOR AS TO WATER PRESSURE.
  - LANDSCAPE CONTRACTOR TO CONTACT ONE CALL WITH REGARDS TO EXISTING UTILITIES.
  - ALL NEW TREES, SHRUBS, PERENNIALS, ORNAMENTAL GRASSES AND GROUNDCOVERS SHALL RECEIVE DRIP IRRIGATION.

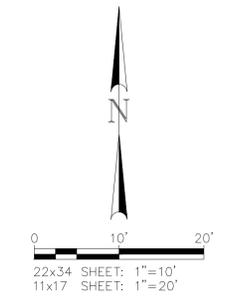
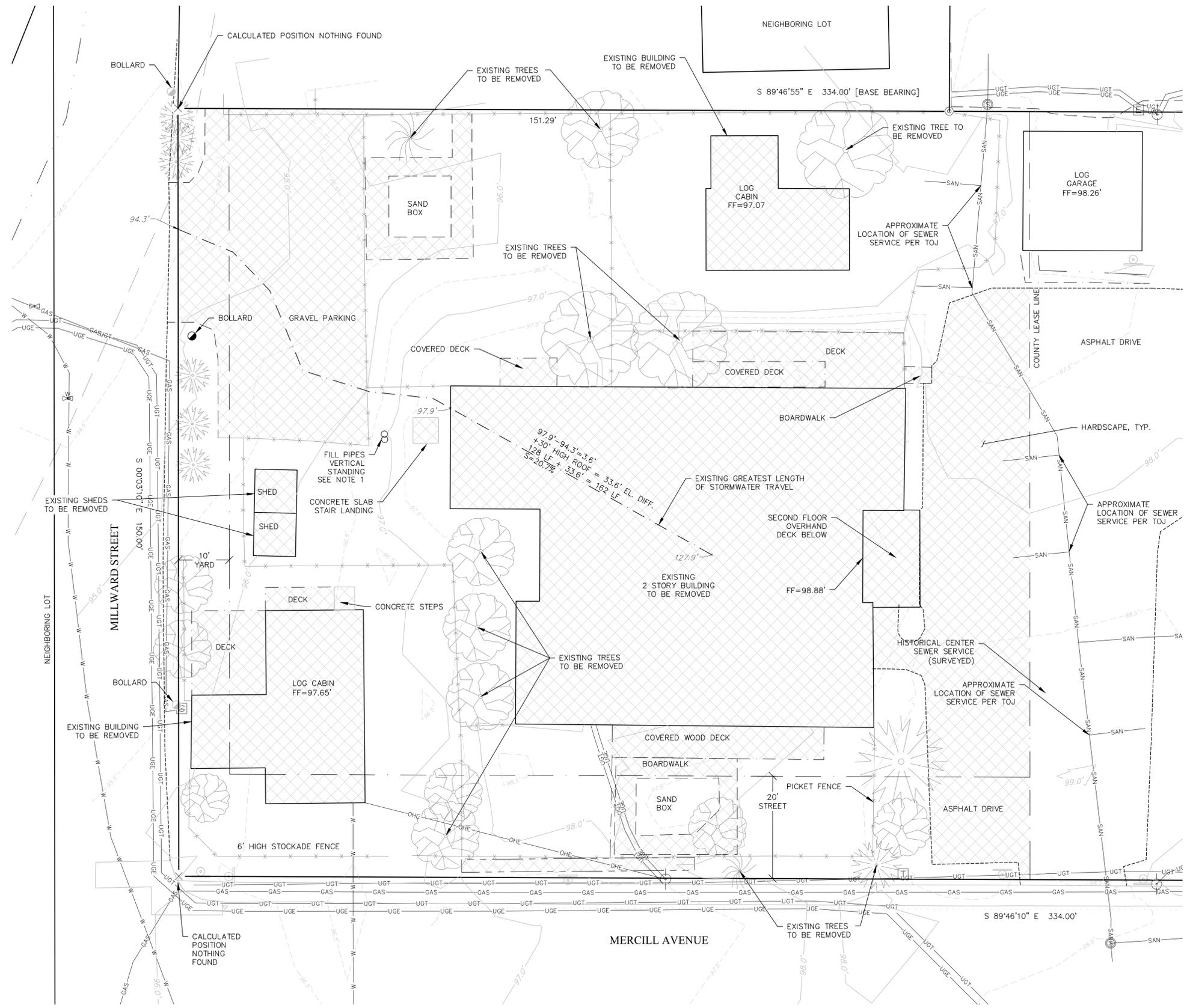


PROJECT TITLE:  
CHILDREN'S LEARNING CENTER  
105 Mercil Ave.

DRAWING TITLE:  
IRRIGATION & PLANTING DETAILS

DRAWING NUMBER: LP 1.3  
Project Number: 2015-15  
Prepared By: LCP Date: 07/20/15 Rev. Date:

A:\2015 Projects\15-54-Childrens Learning Center\GIS\Map\Normal Design.dwg 04\_DESIGN.dwg  
LAST SAVED: 7/20/2015 2:42:28 PM 4:2 PM



**STORMWATER CALCULATIONS**

PRE-DEVELOPMENT  
 LOT SIZE: 0.58 ACRES  
 LENGTH OF TRAVEL: 162 LF  
 SLOPE: 20.7%  
 HARDSCAPE: 13,200 SF @C=0.9  
 LANDSCAPE: 11,852 SF @C=0.3  
 COMP C: 0.62  
 USING FAA EQUATION  $1.8 * (1.1 - C) * \sqrt{L(L)}$   
 $S^{(1/2)}$

Tc = 4.01 MINS. - USE 5.  
 PER TOJ LDRs (1/1/15) SECTION 5.7.4.B.2.a., 100 YEAR STORM INTENSITY FOR 5 MINUTE DURATION = 3.00 INCH/HOUR  
 Qr = CIA = 1.07 CFS

**NOTES:**  
 1. IDENTITY OF VERTICAL FILL PIPES IS UNKNOWN BUT BELIEVED TO BE FOR UNDERGROUND OIL/FUEL STORAGE TANKS. THESE TANKS SHALL BE EXCAVATED AND REMOVED. THE SOIL AROUND THEM SHALL BE TESTED FOR CONTAMINATION AND DECONTAMINATED IF NECESSARY ACCORDING TO WYOMING DEQ PROCEDURES.

**LEGEND**

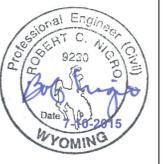
- |                |                    |
|----------------|--------------------|
| (E) - EXISTING | (P) - PROPOSED     |
| —————          | (E) MAJOR CONTOUR  |
| —————          | (E) MINOR CONTOUR  |
| —————          | (P) MAJOR CONTOUR  |
| —————          | (P) MINOR CONTOUR  |
| —————          | (E) PAVEMENT       |
| —————          | (P) PAVEMENT       |
| —————          | (E) CONCRETE       |
| —————          | (P) CONCRETE       |
| —————          | (E) CURB FLOW LINE |
| —————          | (P) CURB FLOW LINE |
| —————          | (E) EDGE OF GRAVEL |
| —————          | (P) EDGE OF GRAVEL |
| —————          | PARCEL BOUNDARY    |
| —————          | EASEMENT           |
| —————          | (E) STRUCTURE      |
| —————          | (P) STRUCTURE      |

**SPOT ELEVATIONS**

- |           |                            |
|-----------|----------------------------|
| TOP 95.0' | GRADE AT TOP OF WALL/FENCE |
| TOE 95.0' | GRADE AT TOE OF WALL/FENCE |
| BOC 95.0' | BACK OF CURB               |
| TOS 95.0' | TOP OF SLAB                |

DATE: 7-20-2015  
 DRAWING SET TITLE: FDP

**Y2 Consultants**  
 215 East Simpson  
 P.O. Box 2674  
 Jackson, WY 83001  
 Ph 307-733-2999



**CHILDREN'S LEARNING CENTER**

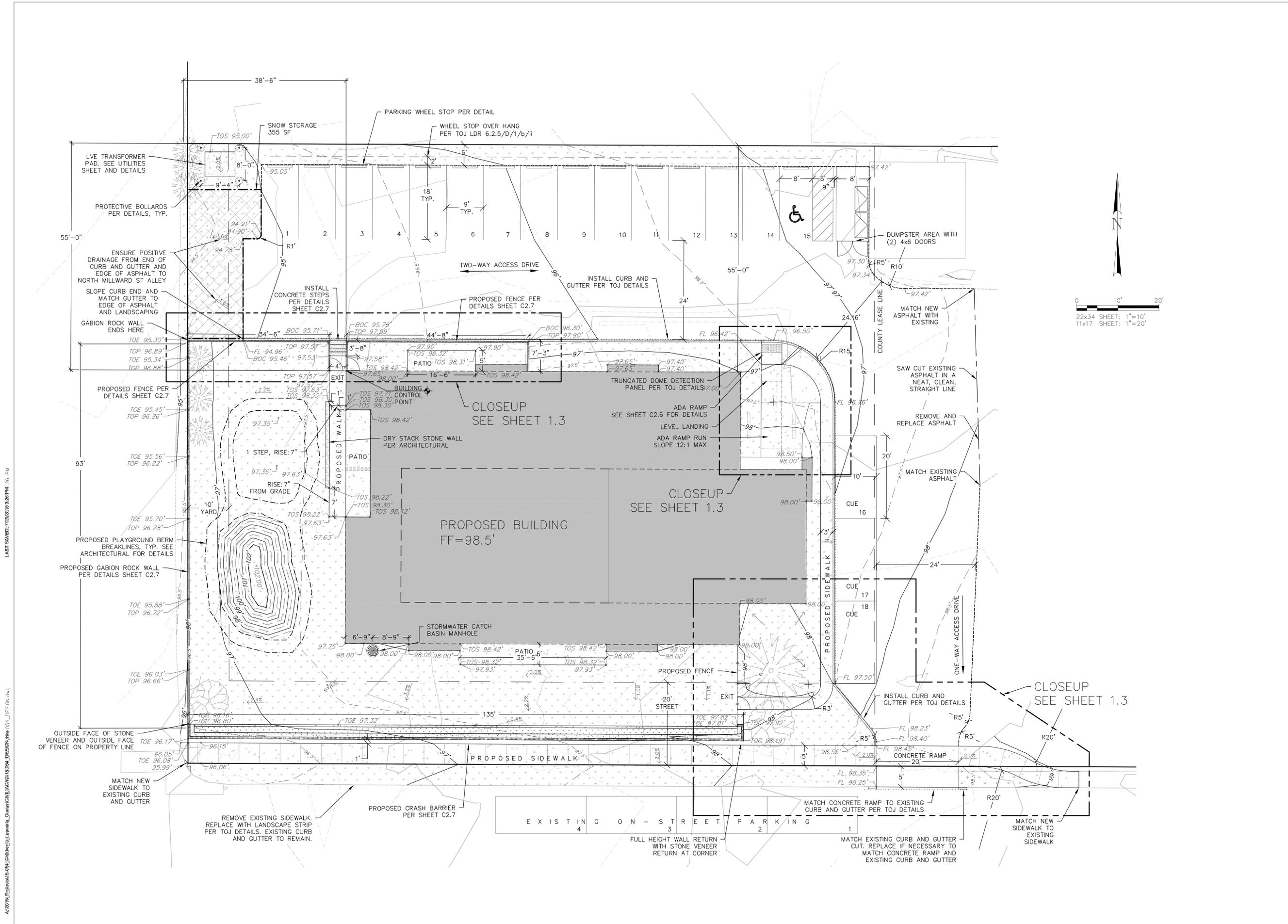
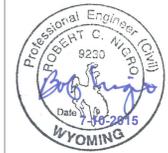
105 MERCILL AVENUE  
 JACKSON, WY

SHEET:

**C1.1**

EXISTING

DRAWN BY:VR  
 CHECKED BY:BN

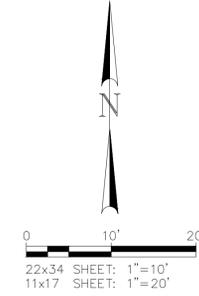
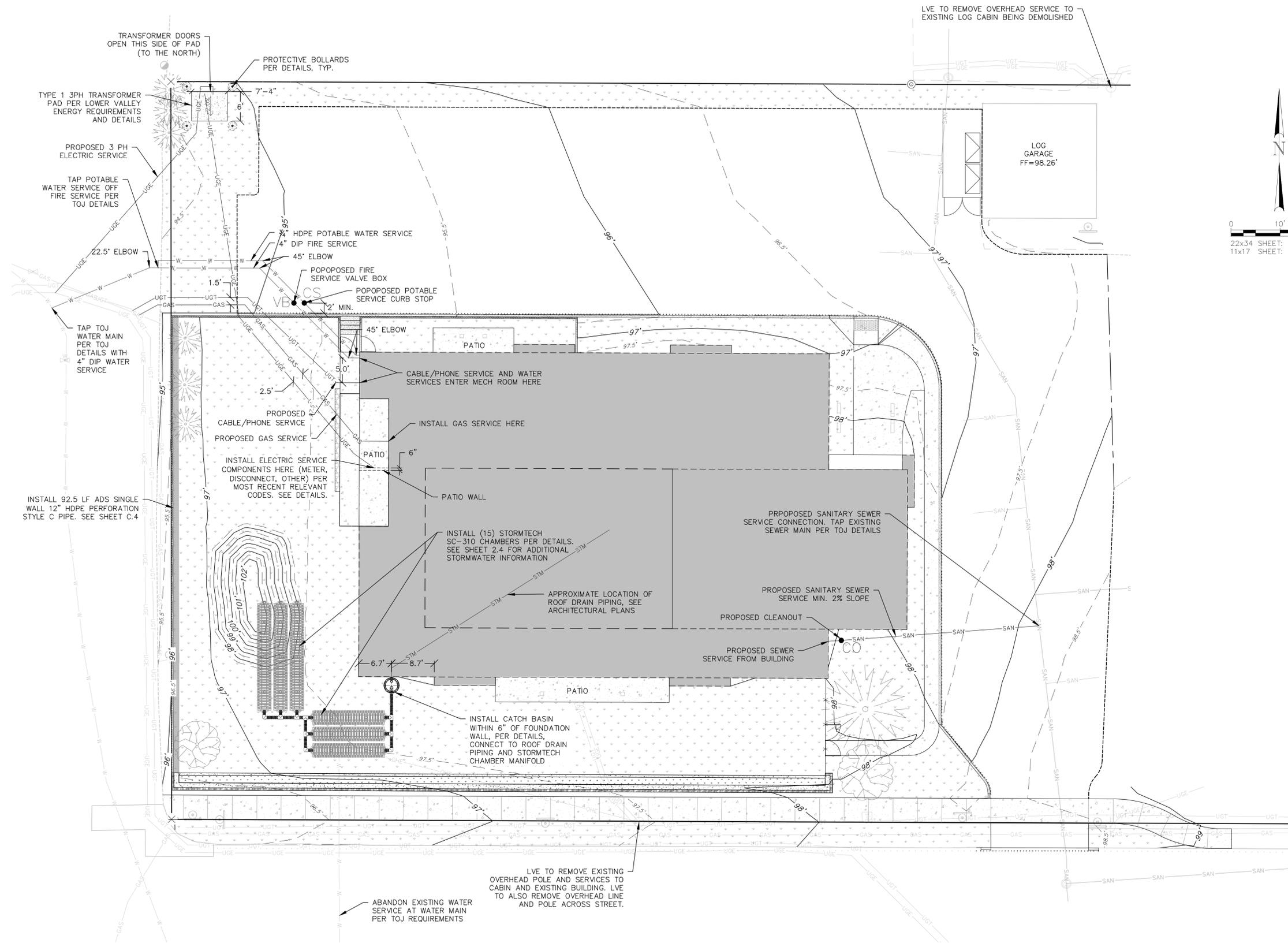


LAST SAVED: 7/20/2015 2:06:12 PM  
 A:\2015\Projects\15-04-04\Children's Learning\_Center\1504-04\1504L\_DESIGN.dwg 054\_DESIGN.dwg



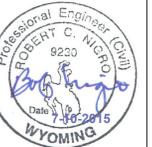
LAST SAVED: 7/20/2015 2:42:28 PM

A:\2015 Projects\15-504-Children's Learning Center\GIS\Map\15504-DESIGN.dwg 054\_DESIGN.dwg



DRAWING SET TITLE	FDP
DATE	7-20-2015

**Y2 Consultants**  
 215 East Simpson  
 P.O. Box 2674  
 Jackson, WY 83001  
 Ph 307-733-2999



**CHILDREN'S LEARNING CENTER**

105 MERCILL AVENUE  
 JACKSON, WY

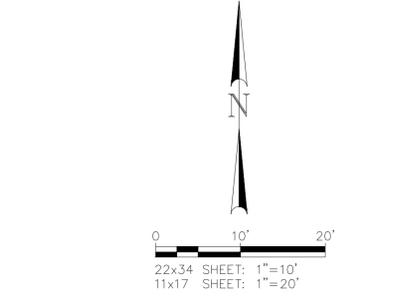
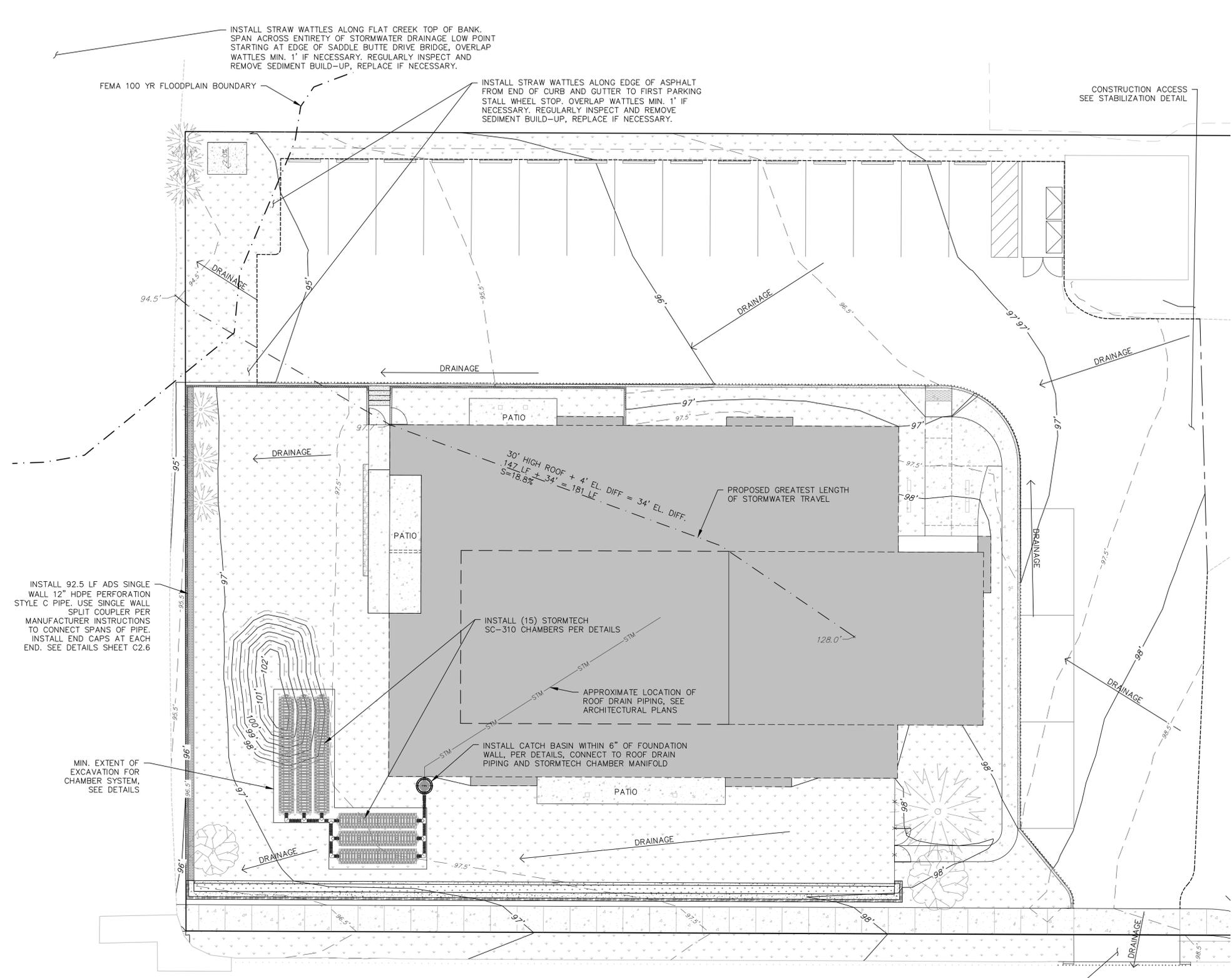
SHEET:

**C1.4**

UTILITIES

DRAWN BY:VR  
 CHECKED BY:BN

A:\2015 Projects\15-054-Children's Learning Center\GIS\WAGAD\ESOPAL DESIGN.dwg 04\_DESIGN.dwg 7/20/2015 7:28:28 PM 4.2 PM



**STORMWATER CALCULATIONS**

POST-DEVELOPMENT  
 HARDSCAPE AREA: 0.383 ACRES C=0.9  
 LANDSCAPE AREA: 0.192 ACRES C=0.3

COMPOSITE C: 0.70

LOT SIZE: 0.58 ACRES  
 LENGTH OF TRAVEL: 181 LF  
 SLOPE: 18.8%  
 C: 0.70

USING FAA EQUATION:  $\frac{1.8 \cdot (1-C) \cdot \text{SQRT}(L)}{S^{(1/2)}}$

Tc=3.65 MINS. - USE 5.

PER TOJ LDRs (1/1/15) SECTION 5.7.4.B.2.a., 100 YEAR STORM INTENSITY FOR 5 MINUTE DURATION = 3.00 INCH/HOUR

Q=CIA = 1.21 CFS

REQUIRED STORAGE VOLUME:

$V = (Q - Q_r) \cdot ((\text{DURATION} - T_c) + (Q - Q_r) \cdot T_c) \cdot 60$

DURATION MINUTES	INTENSITY IN/HOUR	Q CFS	VOLUME CF
5	3.00	1.21	14
10	2.33	0.94	-46
15	1.90	0.76	-181

REQUIRED STORAGE: 14 CF

FLAT ROOF STORMWATER CALCS:  
 MAX VOL. OF STORMWATER PER SECTION 5.7.4.B.2.a 100 YEAR STORM INTENSITY:

DURATION MINUTES	INTENSITY IN/HOUR	DEPTH OF WATER IN
5	3.00	0.25
10	2.33	0.39
100	0.56	0.93
110	0.52	0.95
120	0.48	0.96

USE 1 INCH

ROOF AREA: 7464 SF  
 STORMWATER VOLUME: 7464SF x 1IN = 622 CF  
 MAX STORAGE FOR 120 MIN. STORM AT 0.48IN/HR = 622 CF  
 FLOW RATE = 622 CF / 120 MIN = 0.09 CFS  
 MIN STORAGE FOR 5 MIN. STORM AT 3.00IN/HR = 155.5 CF  
 MAX FLOW RATE = 155.5 CF / 5 MIN = 0.52 CFS

STORMTECH CHAMBER STORAGE:  
 15 CHAMBERS AT 14.7CF PER CHAMBER = 220.5 CF  
 GRAVEL FILL STORAGE:  
 WIDTH = 3x3.33' + 6"x2 + 12"x2 = 13'  
 LENGTH = 3x7.12' + 6"x2 + 12"x2 = 24.4'  
 AREA 1 = 13'x24.4' = 316SF  
 WIDTH = 3x3.33' + 6"x2 + 12"x2 = 13'  
 LENGTH = 2x7.12' + 6"x2 + 12"x2 = 17.2'  
 AREA 2 = 223.6SF  
 TOTAL AREA 1+2 = 540 SF  
 GRAVEL POROSITY = 40%  
 GRAVEL DEPTH = 6" BELOW, 6" ABOVE  
 HEIGHT OF CHAMBERS = 16"  
 VOL OF GRAVEL = ((540SF x 28") - 220.5CF) x 40% = 416 CF

TOTAL VOL = 220.5+416 = 636.5 CF

AVAILABLE STORAGE: 636.5CF > REQUIRED STORAGE: 14 CF

**GRADING AND EROSION CONTROL STATEMENT**

- PROJECT START DATE: FEB 2016
- PROJECT COMPLETION DATE: JULY 2017
- REVEGETATION PER LANDSCAPE ARCHITECT PLANS
- EXCAVATED MATERIAL WILL BE STOCK PILED OFFSITE.
- ON-SITE CONSTRUCTION PARKING WILL BE LIMITED. CONTRACTOR TO DETERMINE AND INFORM INVOLVED PARTIES OF APPROPRIATE OFF-SITE CONSTRUCTION PARKING AT LATER DATE.
- STRAW WATTLES WILL BE INSTALLED AT STREET STORMWATER DRAINAGE INLETS, ALONG FLAT CREEK TOP OF BANK AT THE STORMWATER DRAINAGE LOW POINT, AND AT WEST EDGE OF ASPHALT AS INDICATED ON PLANS.
- PREDOMINANT SOIL TYPE PER NRCS WEB SOIL SURVEY: GREYBACK GRAVELLY LOAM, 0 TO 3 % SLOPES

DATE	7-20-2015
DRAWING SET TITLE	FDP

**Y2 Consultants**  
 215 East Simpson  
 P.O. Box 2674  
 Jackson, WY 83001  
 Ph 307-733-2999



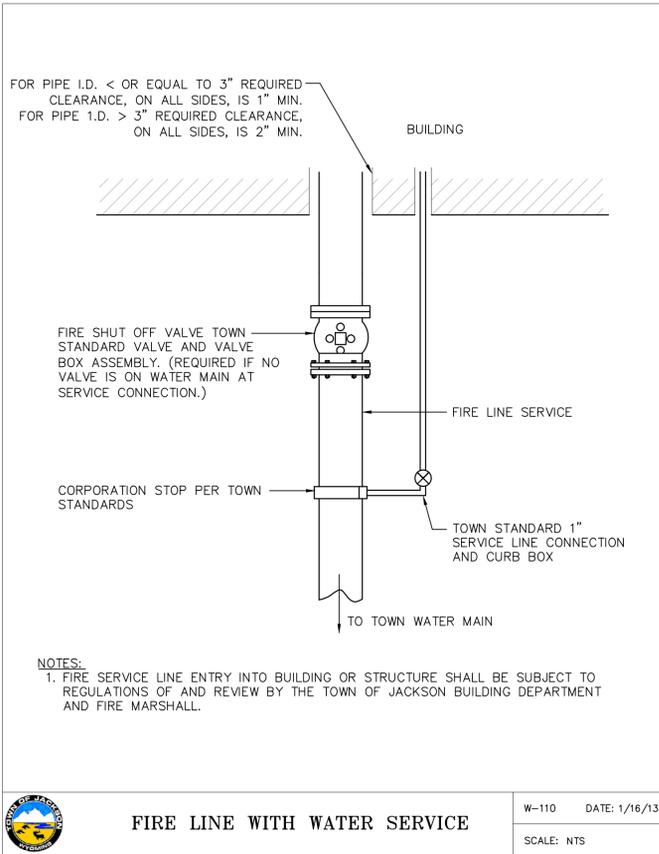
**CHILDREN'S LEARNING CENTER**  
 105 MERCILL AVENUE  
 JACKSON, WY

SHEET:

**C1.5**

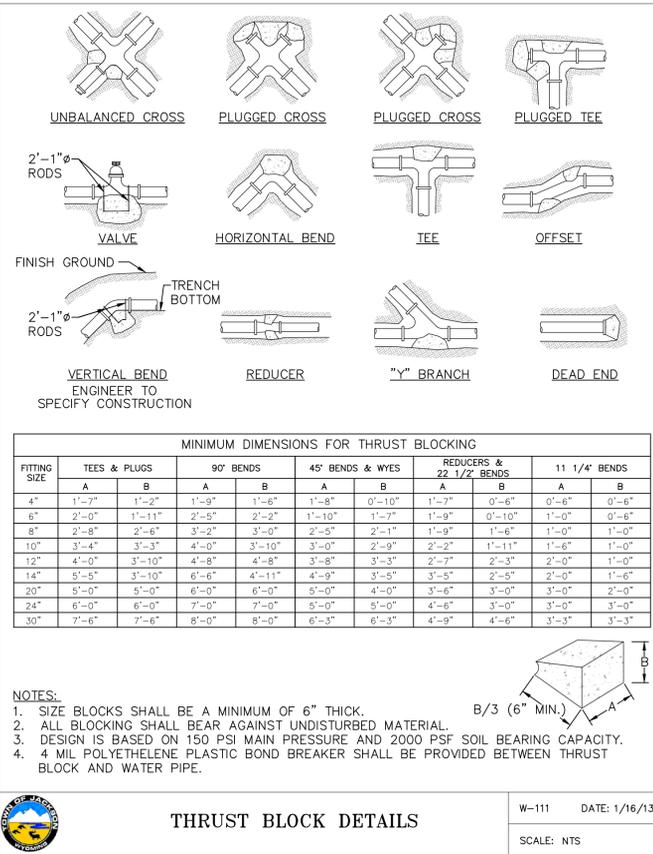
STORMWATER & GEC

DRAWN BY:VR  
 CHECKED BY:BN



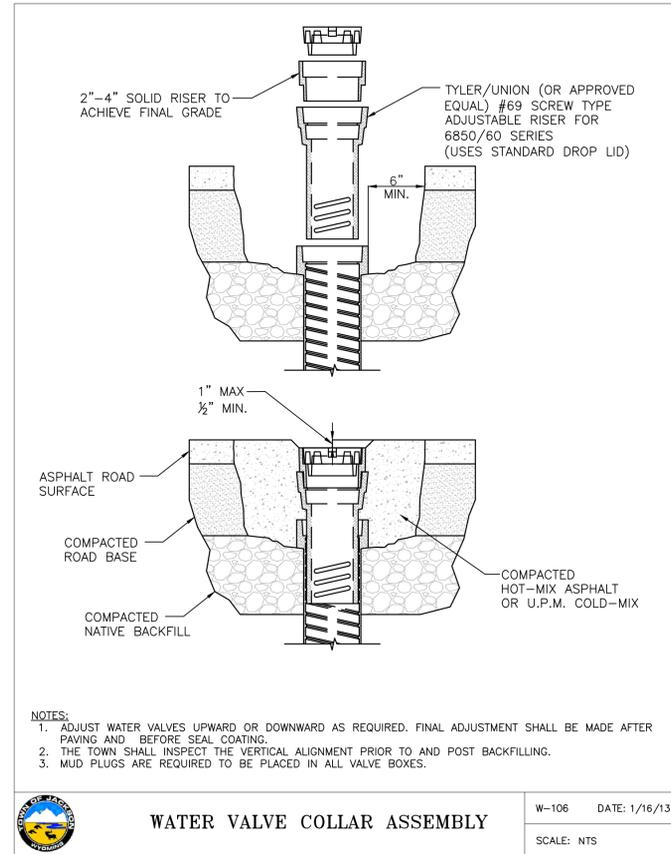
**FIRE LINE WITH WATER SERVICE**

W-110 DATE: 1/16/13  
SCALE: NTS



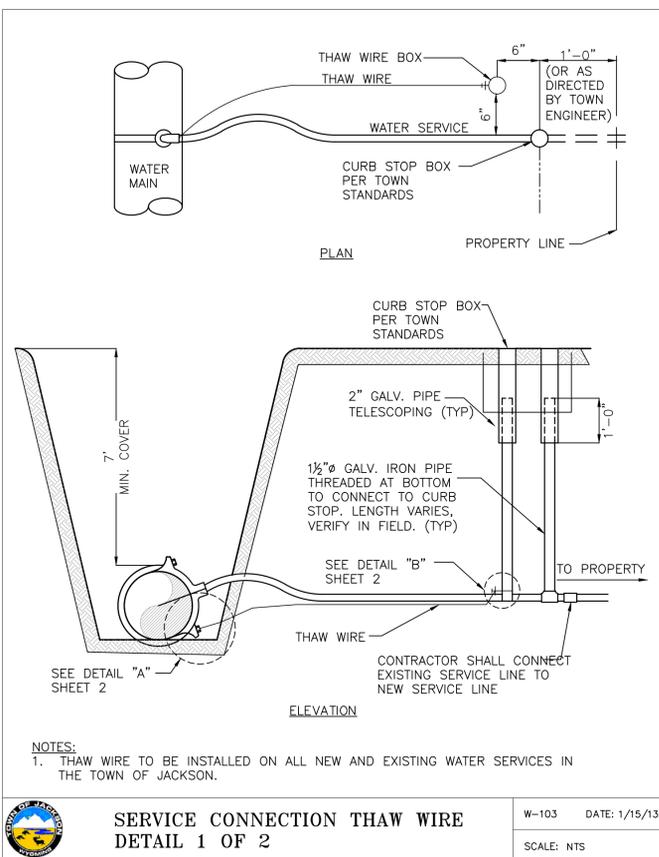
**THRUST BLOCK DETAILS**

W-111 DATE: 1/16/13  
SCALE: NTS



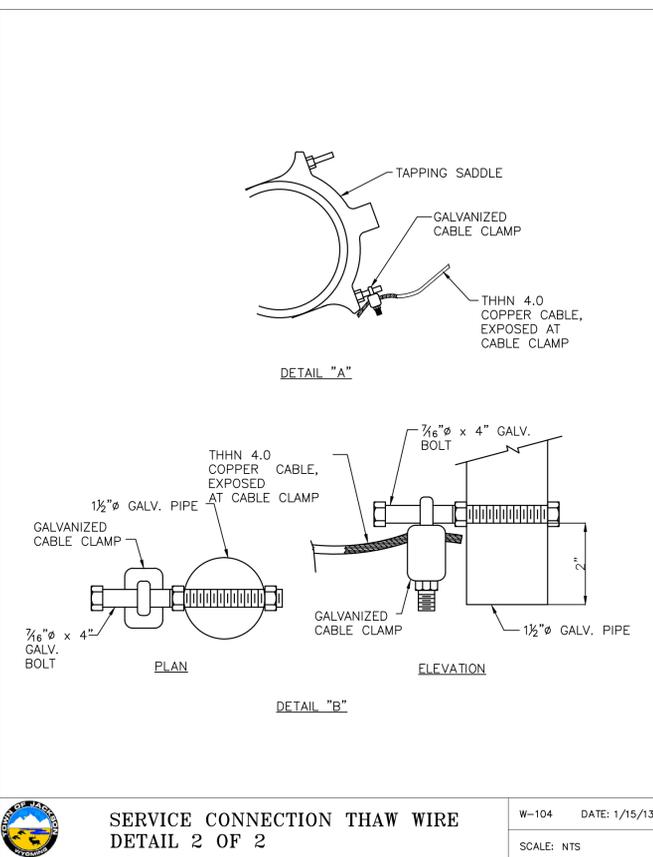
**WATER VALVE COLLAR ASSEMBLY**

W-106 DATE: 1/16/13  
SCALE: NTS



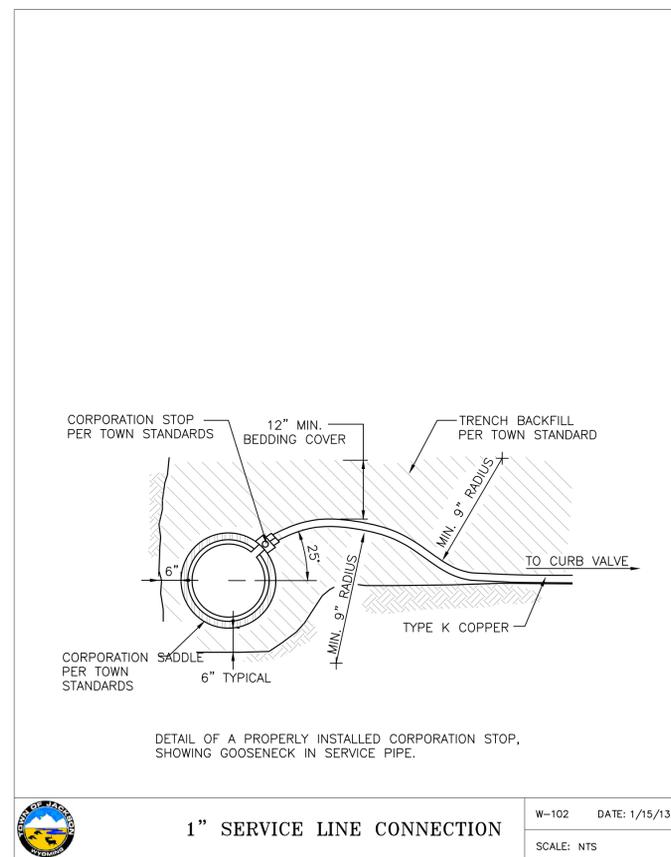
**SERVICE CONNECTION THAW WIRE  
DETAIL 1 OF 2**

W-103 DATE: 1/15/13  
SCALE: NTS



**SERVICE CONNECTION THAW WIRE  
DETAIL 2 OF 2**

W-104 DATE: 1/15/13  
SCALE: NTS



**1" SERVICE LINE CONNECTION**

W-102 DATE: 1/15/13  
SCALE: NTS

LAST SAVED: 7/20/2015 12:51 PM  
A:\2015 - Projects\15-054-Children's Learning Center\GIS\Map\15054\_Details.dwg 04\_Details.dwg

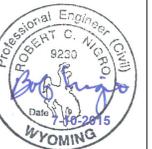
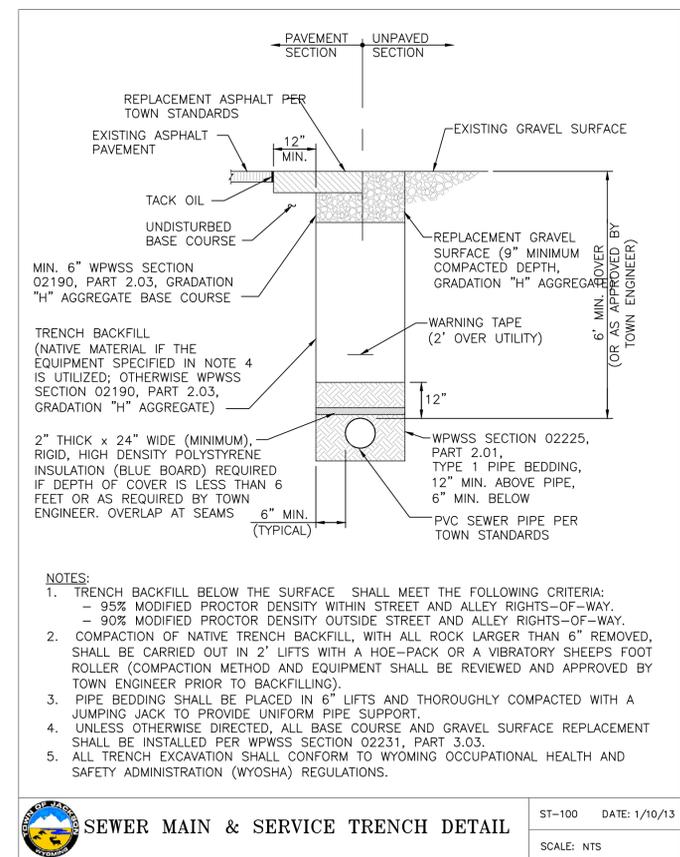
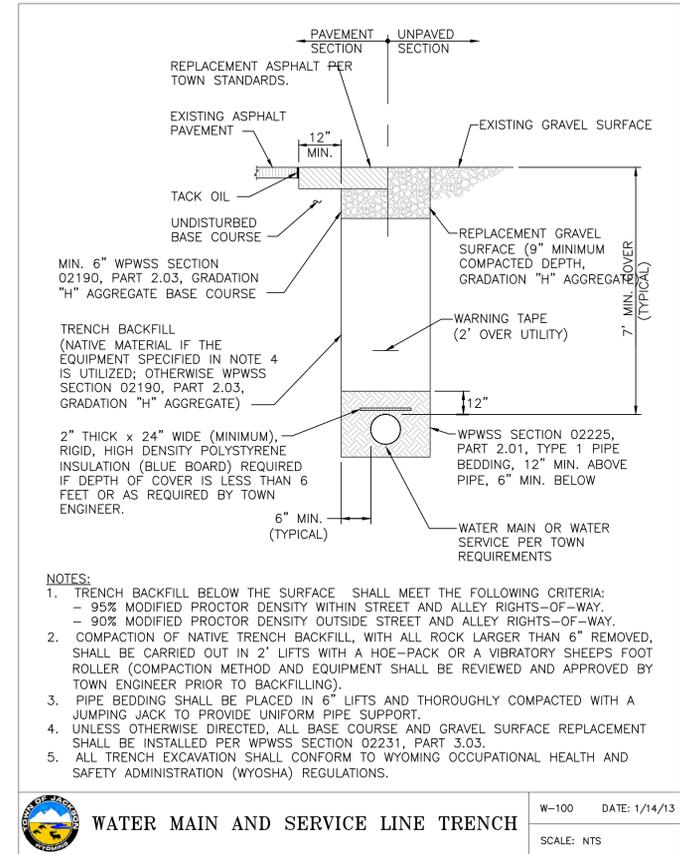
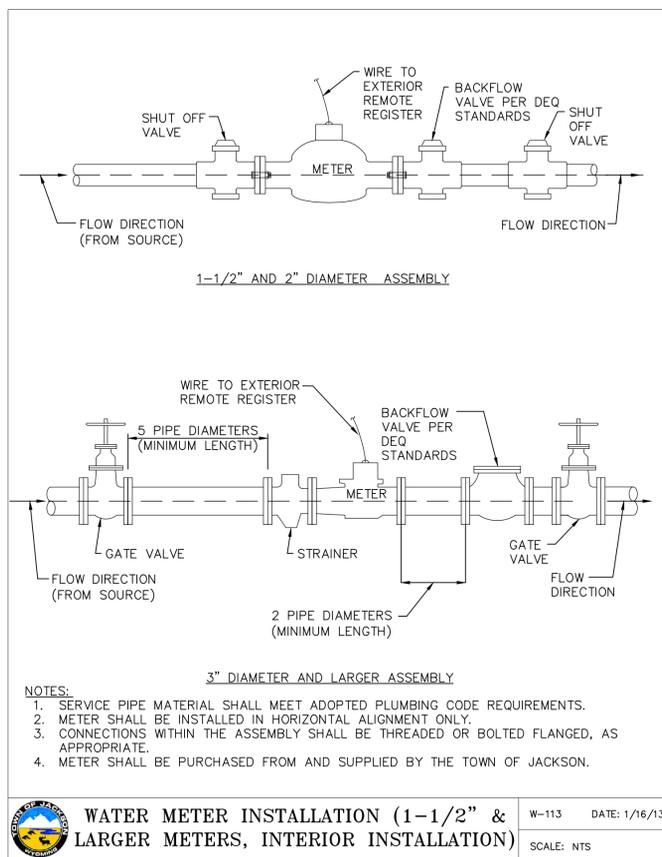
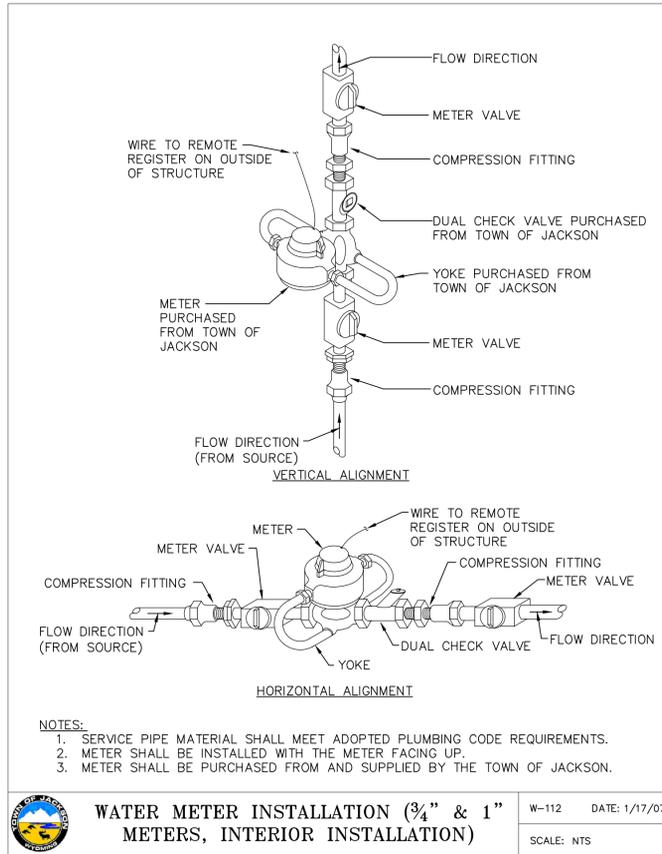
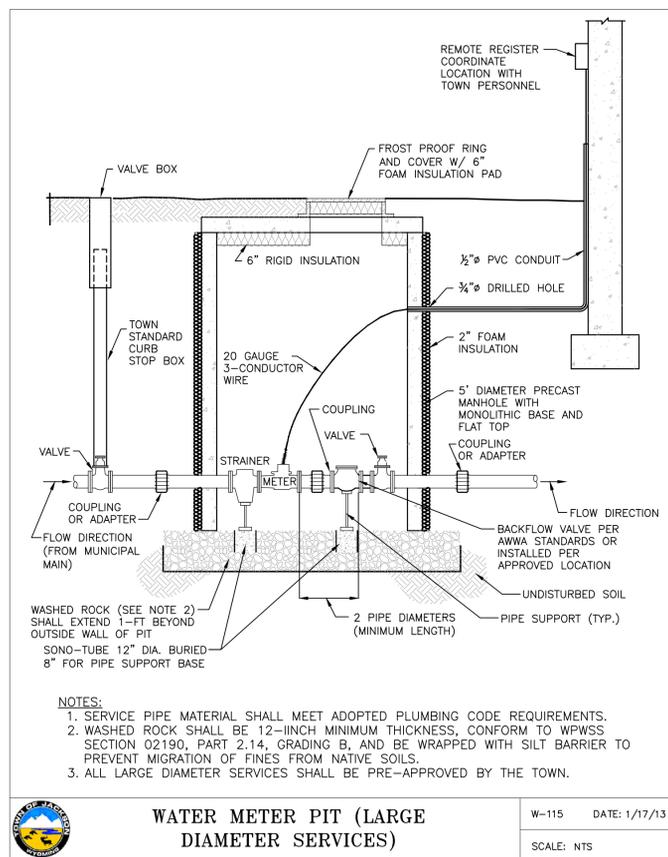
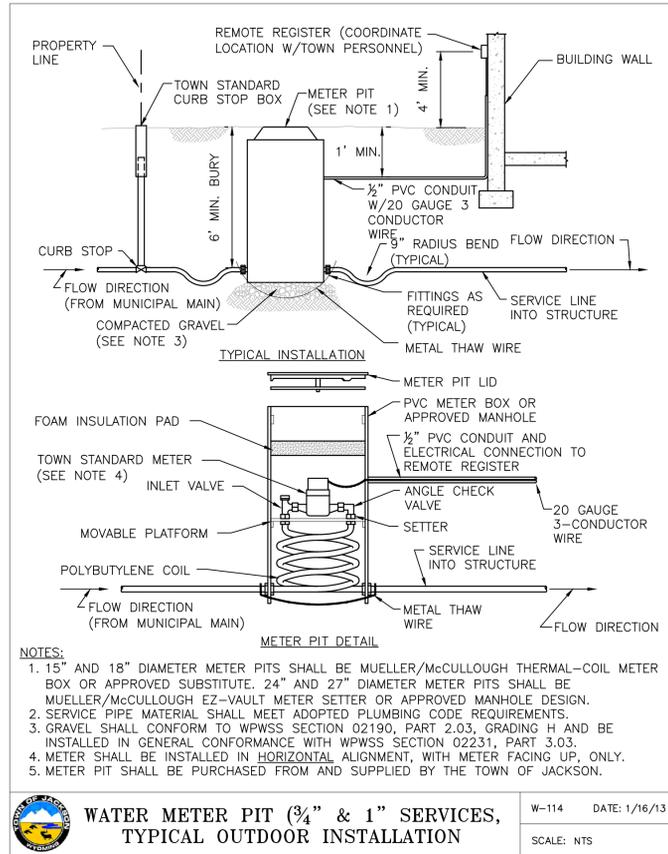
DATE: 7-20-2015  
DRAWING SET TITLE: FDP

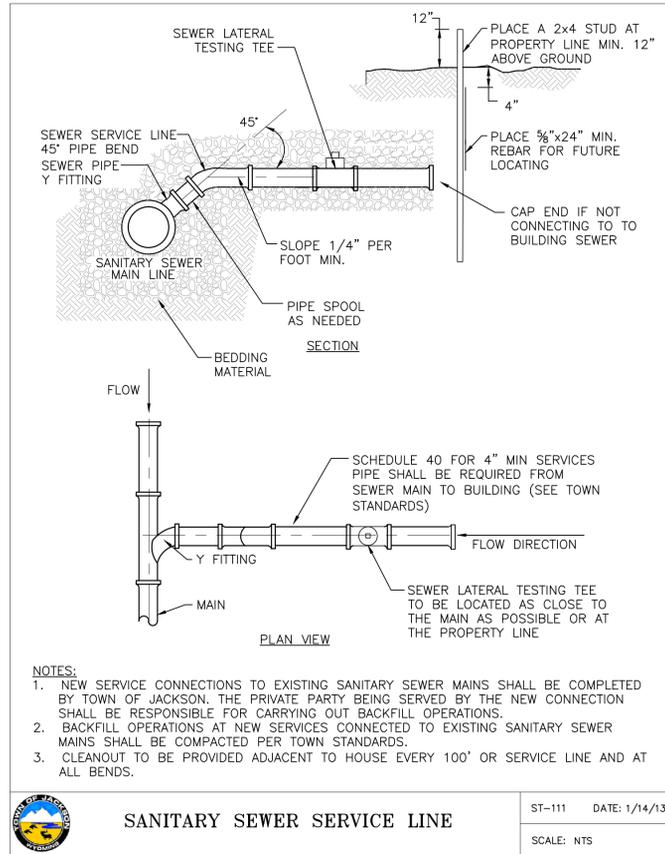
**Y2 Consultants**  
215 East Simpson  
P.O. Box 2674  
Jackson, WY 83001  
Ph 307-733-2999



**CHILDREN'S LEARNING CENTER**  
105 MERCILL AVENUE  
JACKSON, WY

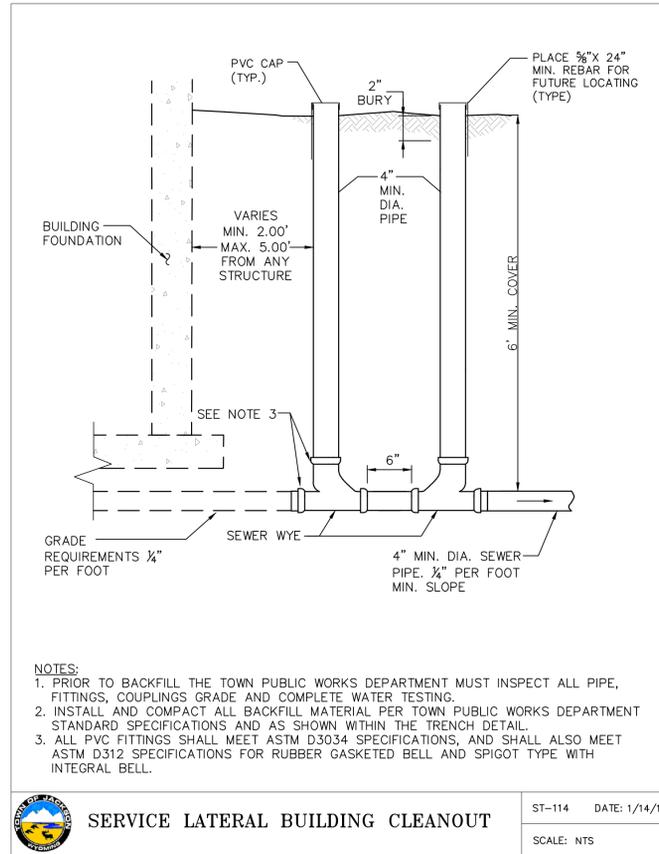
SHEET:  
**C2.1**  
DETAILS  
DRAWN BY:VR  
CHECKED BY:BN





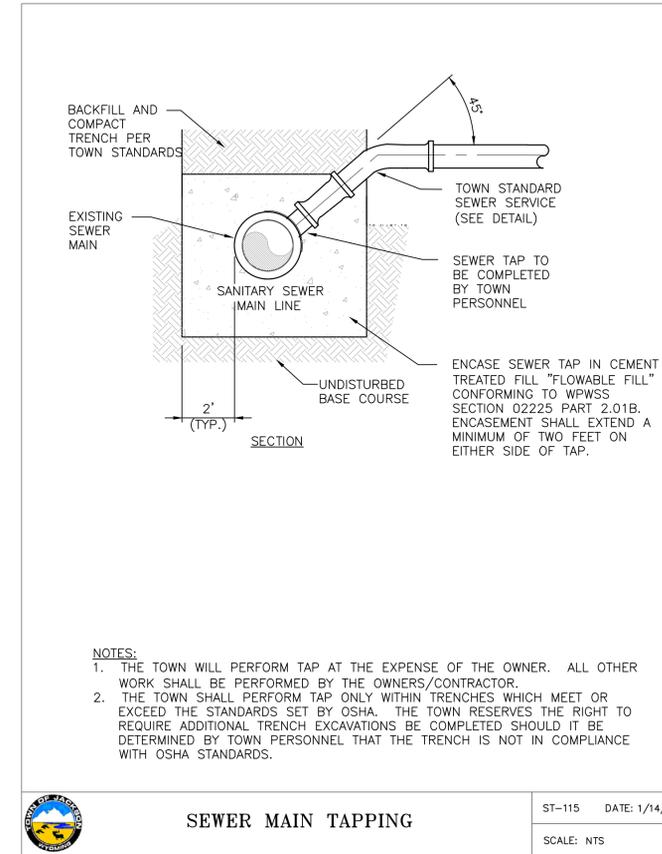
**SANITARY SEWER SERVICE LINE**

ST-111 DATE: 1/14/13  
SCALE: NTS



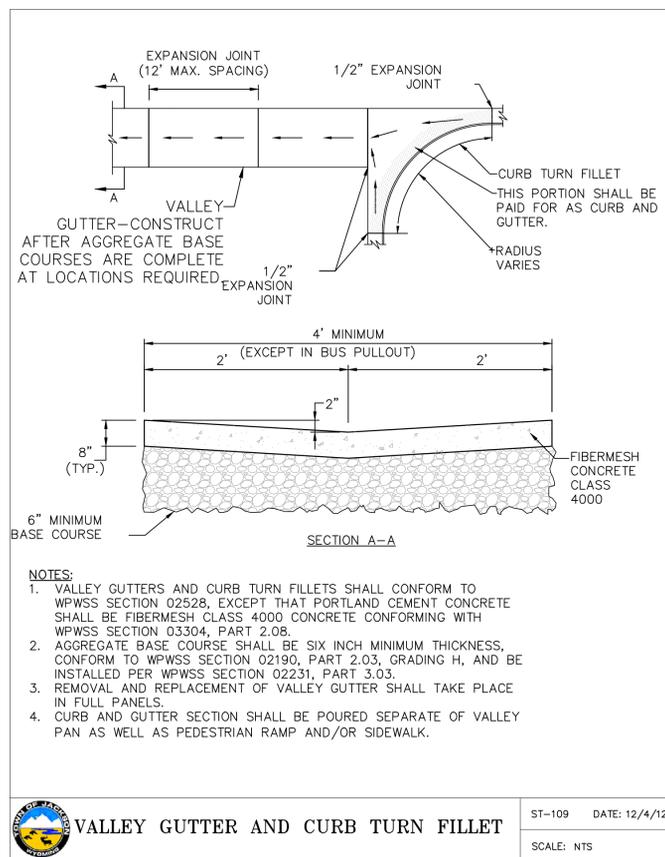
**SERVICE LATERAL BUILDING CLEANOUT**

ST-114 DATE: 1/14/13  
SCALE: NTS



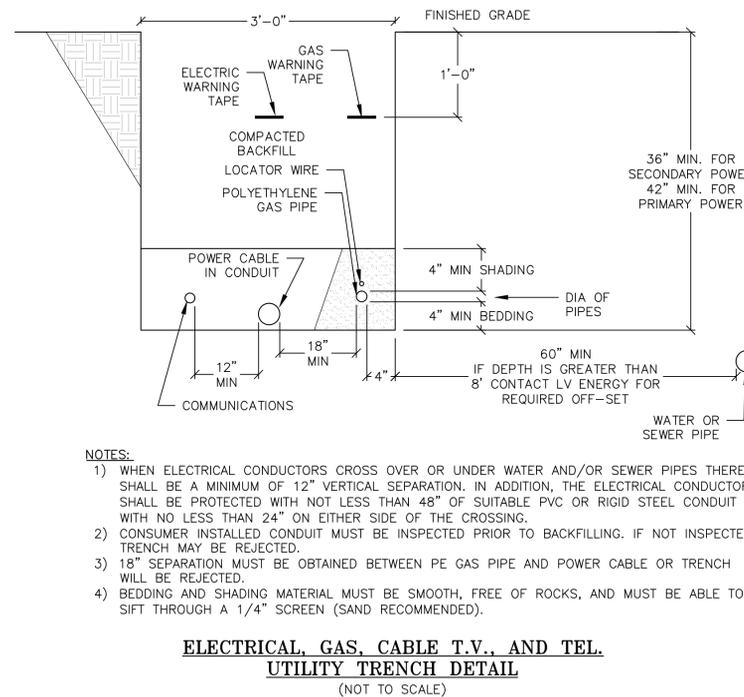
**SEWER MAIN TAPPING**

ST-115 DATE: 1/14/13  
SCALE: NTS

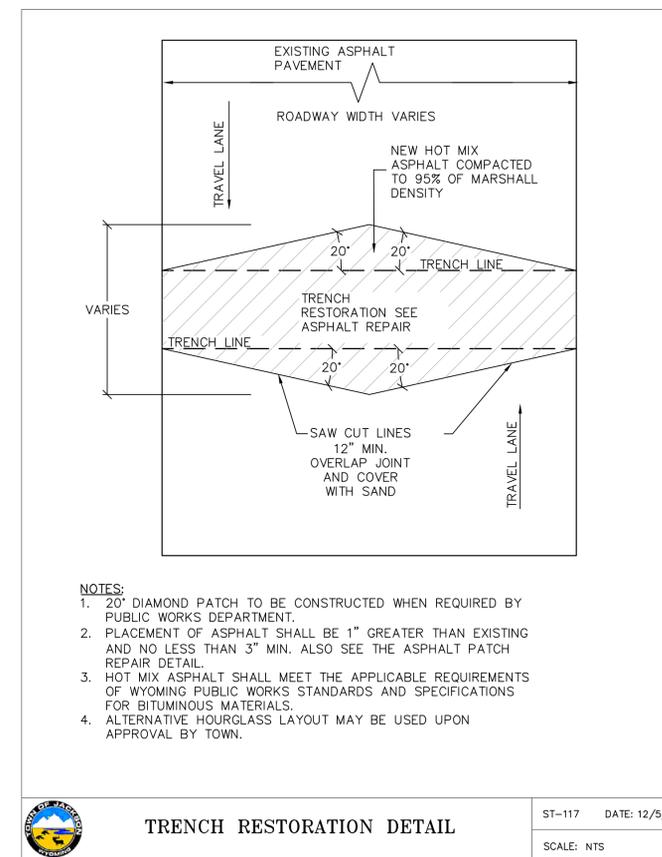


**VALLEY GUTTER AND CURB TURN FILLET**

ST-109 DATE: 12/4/12  
SCALE: NTS



**ELECTRICAL, GAS, CABLE T.V., AND TEL. UTILITY TRENCH DETAIL**  
(NOT TO SCALE)



**TRENCH RESTORATION DETAIL**

ST-117 DATE: 12/5/12  
SCALE: NTS

DATE: 7-20-2015  
DRAWING SET TITLE: FDP

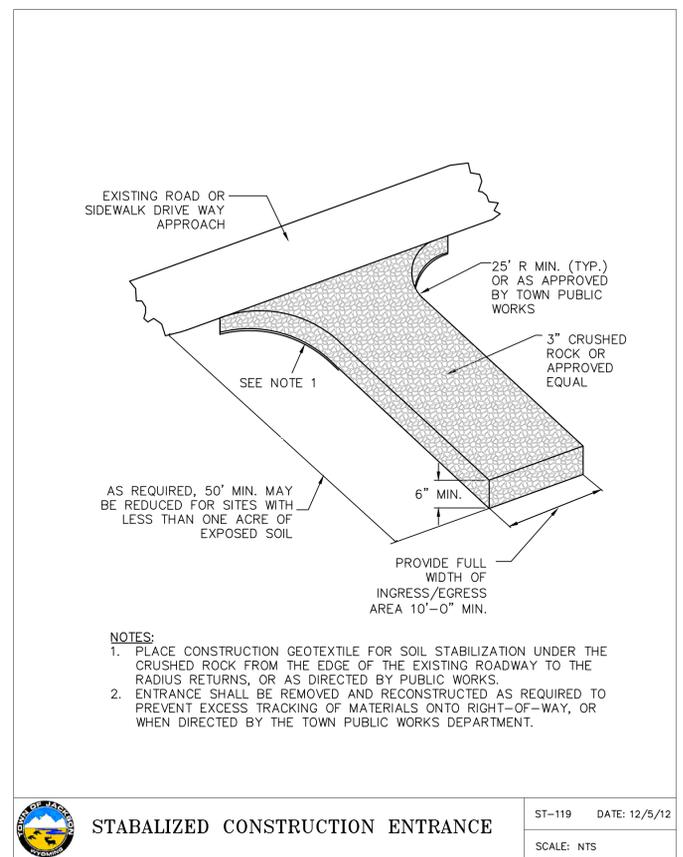
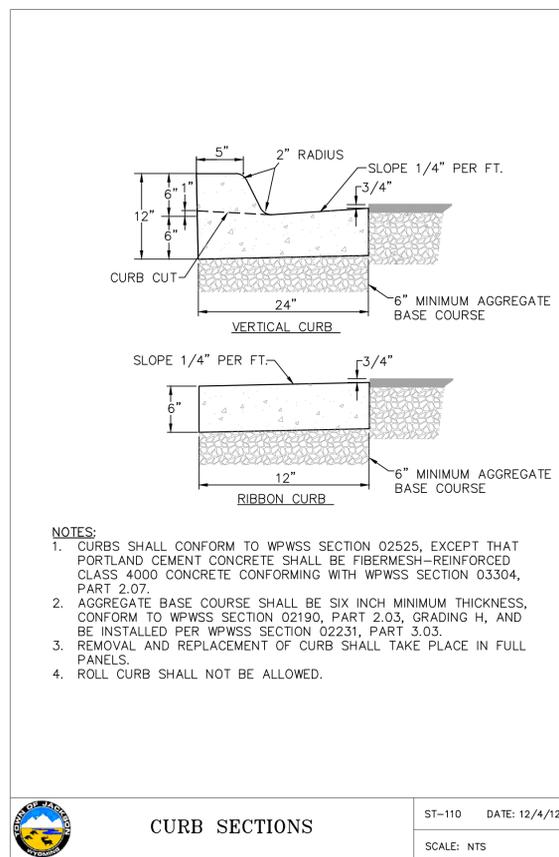
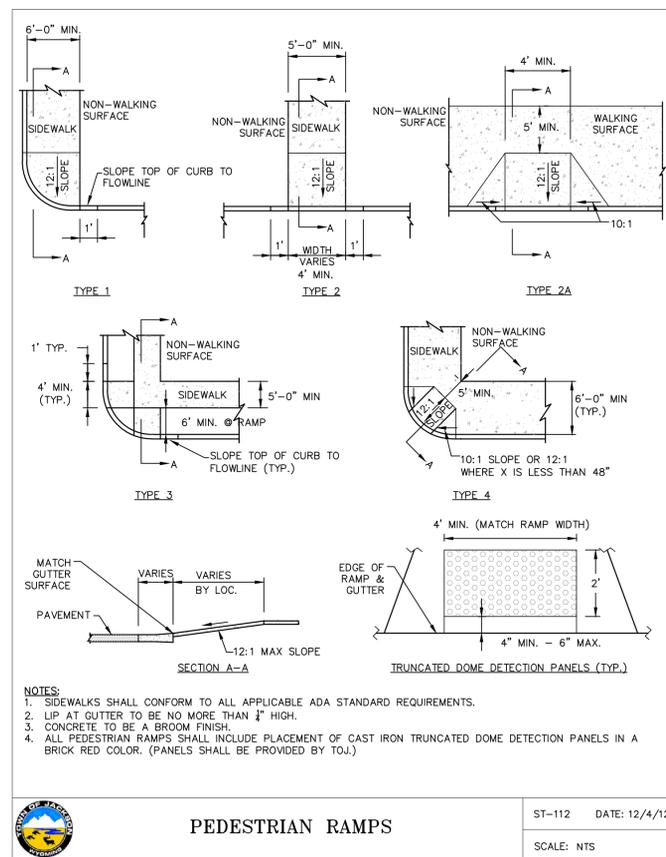
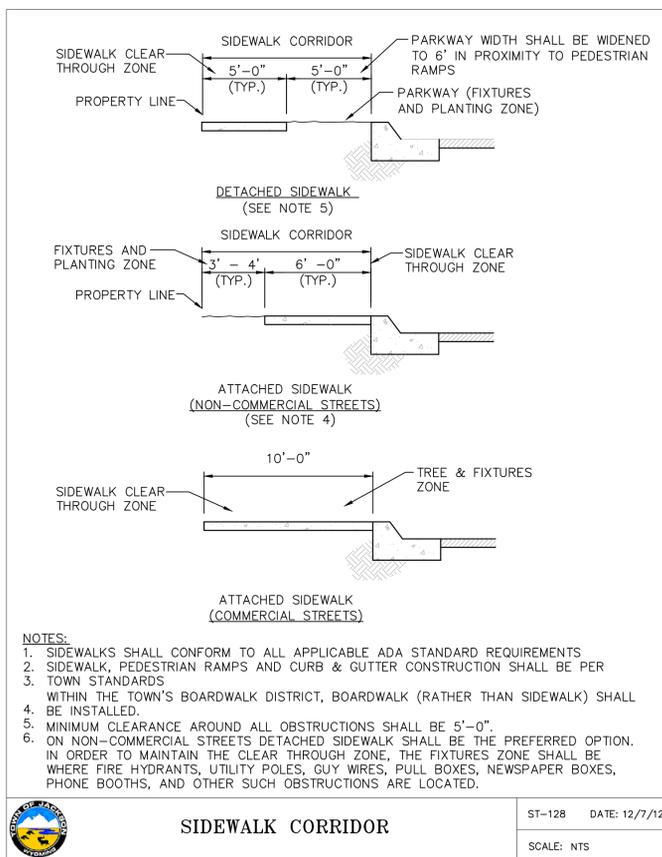
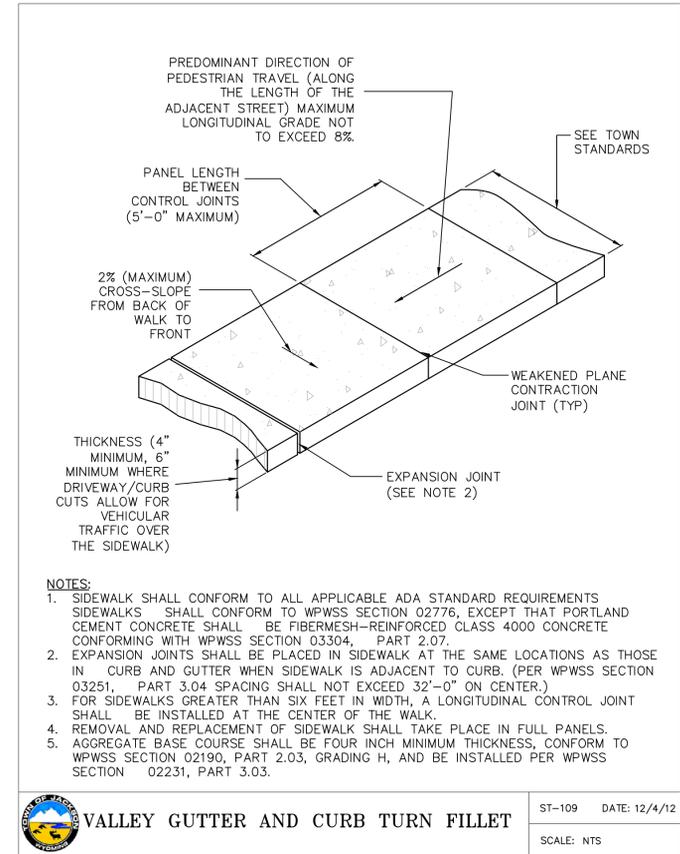
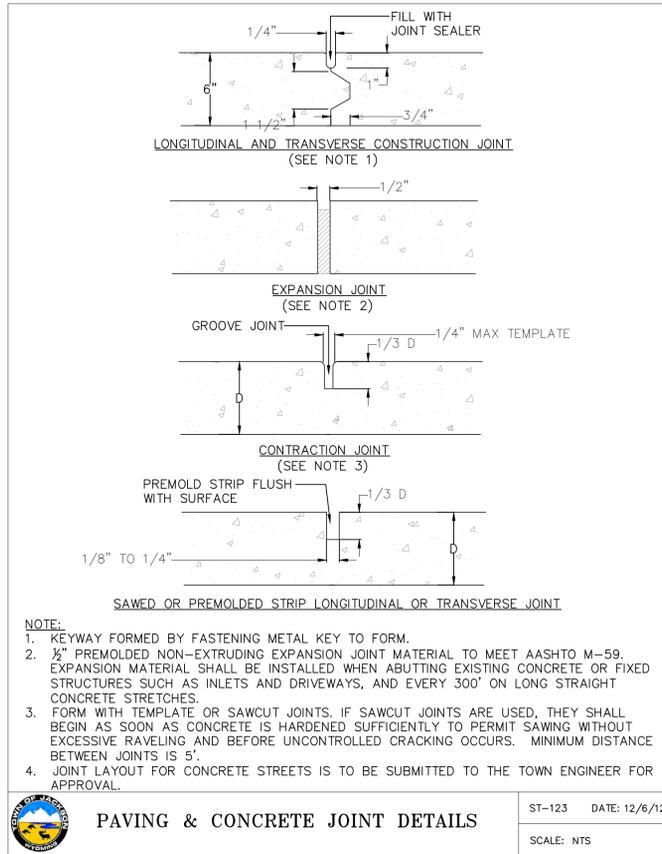
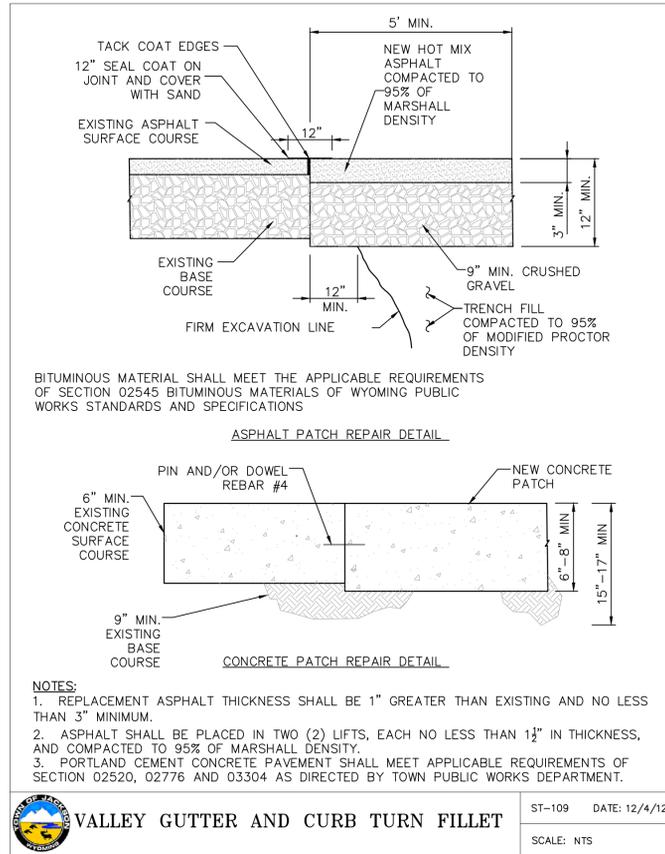
**Y2 Consultants**  
215 East Simpson  
P.O. Box 2674  
Jackson, WY 83001  
Ph 307-733-2999



**CHILDREN'S LEARNING CENTER**  
105 MERCILL AVENUE  
JACKSON, WY

SHEET: **C2.3**  
DETAILS  
DRAWN BY: VR  
CHECKED BY: BN

LAST SAVED: 7/20/2015 10:51 PM  
A:\2015 - Projects\15-504-Children's Learning Center\GIS\Map\Detail\Details.dwg 04\_DETAILS.dwg



DATE: 7-20-2015  
DRAWING SET TITLE: FDP

**Y2 Consultants**  
215 East Simpson  
P.O. Box 2674  
Jackson, WY 83001  
Ph 307-733-2999

**CHILDREN'S LEARNING CENTER**

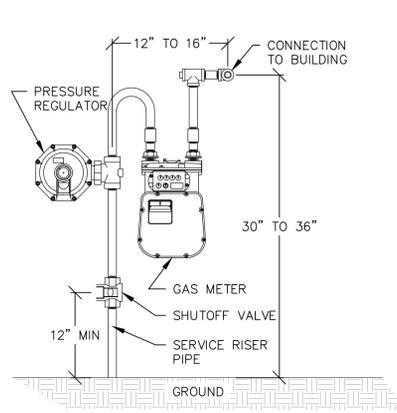
105 MERCILL AVENUE  
JACKSON, WY

SHEET: **C2.4**  
DETAILS

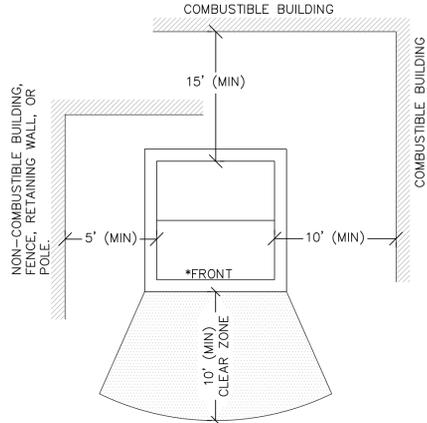
DRAWN BY: VR  
CHECKED BY: BN

LAST SAVED: 7/20/2015 10:51 PM 1:51 PM  
A:\2015 - Projects\15-504-Children's Learning Center\GIS\WAGAD\Detail\Details.dwg 04\_DETAILS.dwg



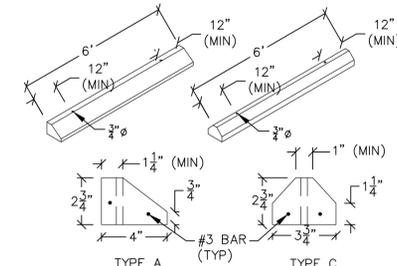


**GAS METER INSTALLATION**  
(NOT TO SCALE)



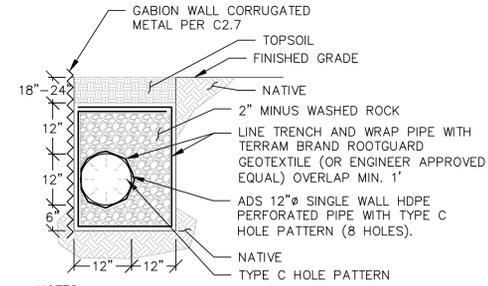
- NOTES:**
- 1) NO OBSTRUCTIONS ALLOWED OVER TRANSFORMER.
  - 2) \*FRONT OF TRANSFORMER (IDENTIFY BY LV ENERGY TRANSFORMER NUMBER, LOCKING DEVICE AND "KEEP CLEAR" 10" STICKER.)
  - 3) TRANSFORMER MUST BE BETWEEN 10' AND 100' FROM THE METER.

**MINIMUM TRANSFORMER CLEARANCE REQUIREMENTS**  
(NOT TO SCALE)



**NOTE:**  
CONCRETE TO BE 3,000 PSI, WITH FIBER MESH REINFORCING

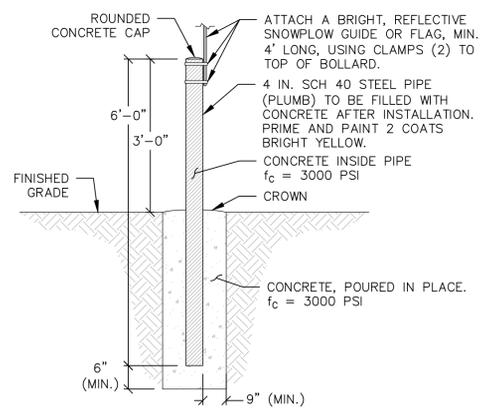
**WHEEL STOPS-REINFORCED CONCRETE**  
(NOT TO SCALE)



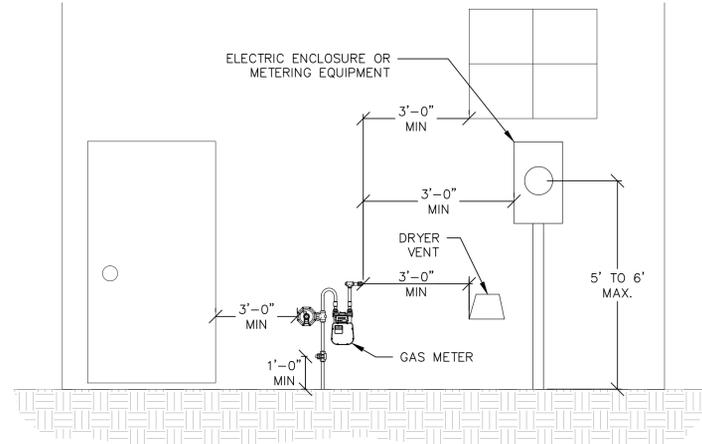
**NOTES:**

1. DO NOT INSTALL TREES WITHIN 2' OF PIPE WALL.

**ADS PERFORATED HDPE PIPE DETAIL**  
NOT TO SCALE

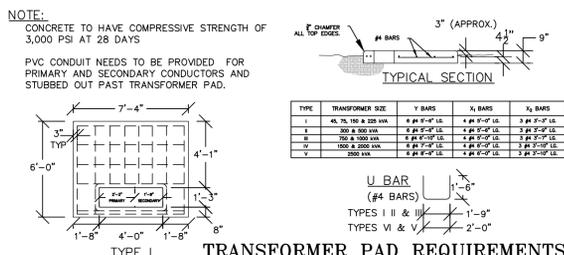


**BOLLARD DETAIL**  
(NOT TO SCALE)

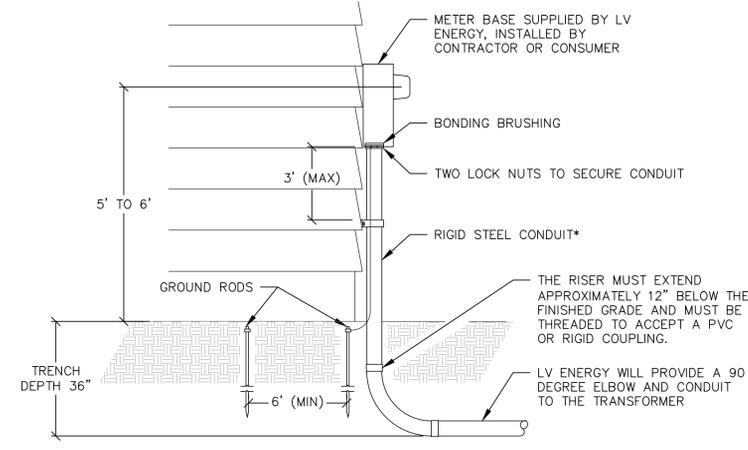


3'-0" MINIMUM CLEARANCE REQUIRED BETWEEN ELECTRIC METER AND GAS METER AND BETWEEN ANY OPENINGS AND GAS METER.

**GAS METER CLEARANCE REQUIREMENTS**  
(NOT TO SCALE)

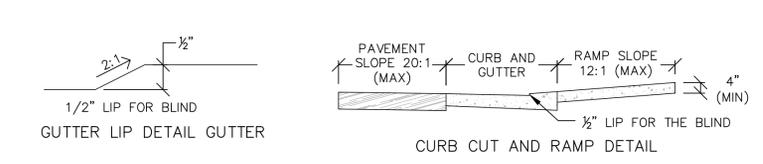
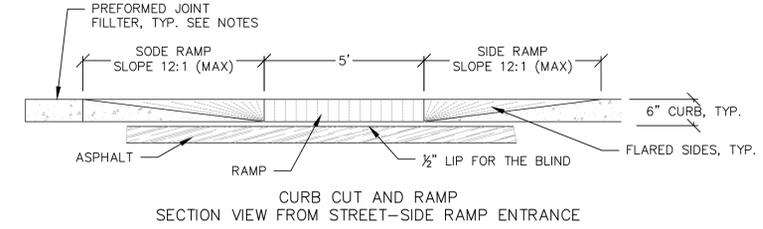


**TRANSFORMER PAD REQUIREMENTS**  
(NOT TO SCALE)



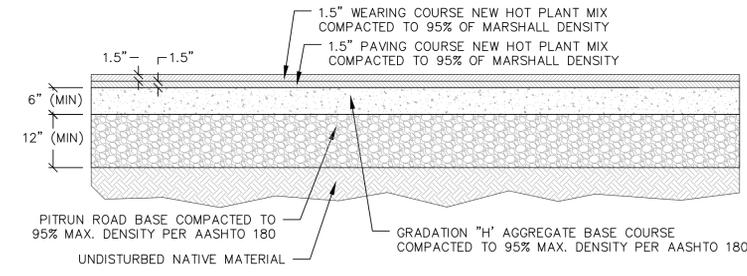
- NOTES:**
- 1) THIS SKETCH IS INTENDED TO SHOW THE BASIC ITEMS USED IN A 200-AMPERE SERVICE ENTRANCE, AND IS NOT TO BE CONSTRUED AS AN APPROVED DESIGN FOR ALL SERVICES. FOR EXAMPLE, THIS DOES NOT ILLUSTRATE THE INSTALLATION OF A MAIN DISCONNECT SWITCH OR ANY OTHER EQUIPMENT.
  - 2) IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR OR CONSUMER TO INSTALL THE METER BASE, RISER, LOCK NUTS, BONDING BRUSHINGS AND THE PROPER GROUNDING. LV ENERGY WILL INSTALL AND PROVIDE THE SERVICE WIRES TO THE LINE SIDE OF THE METER TERMINALS.
  - 3) IN ALL CASES, THE METER LOCATION SHALL BE APPROVED BY LV ENERGY BEFORE INSTALLATION BY THE CONTRACTOR OR CONSUMER.
  - 4) GROUNDING AND CONNECTIONS TO THE CONSUMER'S PANEL SHALL BE IN ACCORDANCE WITH THE NATIONAL ELECTRIC CODE AND STATE CODES. LV ENERGY REQUIRES AT LEAST TWO DRIVEN OR ONE UFER AND ONE DRIVEN GROUND ROD TO PROVIDE A VISIBLE GROUND.
  - 5) \*CONDUIT SHALL BE OF 2 1/2" RIGID STEEL FOR SERVICES UP TO 200-AMPERES. SERVICES LARGER THAN 200-AMPERES WILL REQUIRE LARGER CONDUIT AS APPROVED BY LV ENERGY.
  - 6) THE REQUIRED ELECTRIC PERMIT STICKER NEEDS TO BE ATTACHED TO THE METER BASE BEFORE LOWER VALLEY ENERGY CAN ENERGIZE THE SERVICE.

**GUIDE FOR UNDERGROUND SERVICE ENTRANCE**  
(NOT TO SCALE)



- NOTES:**
1. WHEELCHAIR RAMPS SHALL BE PROVIDED AT STREET INTERSECTIONS AS SHOWN ON THE PLANS OR AS DIRECTED BY THE ENGINEER.
  2. CARE SHALL BE TAKEN TO ASSURE A UNIFORM GRADE ON THE RAMP, FREE FROM SAGS AND SHORT GRADE CHANGES.
  3. RAMP INSTALLATION SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS FOR SIDEWALKS, WYOMING PUBLIC WORKS (STANDARD SPECIFICATIONS SECTION 504) EXCEPT THAT THE RAMP SURFACE SHALL HAVE A TEXTURED SURFACE. THE SURFACE TEXTURE SHALL BE PERPENDICULAR TO THE SLOPE OF THE RAMP PER TOWN OF JACKSON PEDESTRIAN RAMP DETAILS.
  4. NORMAL GUTTER SLOPES SHALL BE MAINTAINED. DRAINAGE STRUCTURES SHALL NOT BE PLACED IN LINE WITH WHEELCHAIR RAMPS. THE PLACEMENT OF RAMPS SHALL TAKE PRECEDENCE OVER THE LOCATION OF DRAINAGE INLETS.
  5. PREFORMED JOINT FILLER SHALL BE USED WHERE THE RAMPS JOIN EXISTING CONCRETE OR STRUCTURES.
  6. ALL RAMPS SHALL BE 1 IN/FT OR FLATTER.
  7. A HALF INCH LIP SHALL BE CONSTRUCTED AT THE GUTTER FLOWLINE. THE LIP IS FOR THE SAFETY AND CONVENIENCE OF BLIND PEDESTRIANS.

**ADA RAMP, CURB AND GUTTER DETAILS**  
NOT TO SCALE



- NOTES:**
- 1) AGGREGATE BASE COURSE SHALL CONFORM TO WPSS SECTION 02190, PART 2.3, GRADING "H", AND BE INSTALLED PER WPSS SECTION 02231, PART 3.
  - 2) ALL PAVED AREAS SHALL RECEIVE (2) 1.5" LIFTS OF HOT MIX ASPHALT PER SECTION 02511 AND 02512.
  - 3) BITUMINOUS MATERIAL SHALL MEET THE REQUIREMENTS OF SECTION 02545 BITUMINOUS MATERIALS.
  - 4) MATCHING EXISTING PAVED AREAS SHALL BE DONE TO SAW CUT CLEAN LINES. APPLY TACK COAT PER SECTION 02551 TO ALL EXISTING ASPHALT EDGES.

**SPECIFICATIONS:**  
ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS. SPECIAL PROVISIONS AMENDING, SUPPLEMENTING, AND CLARIFYING THE ABOVE REFERENCED SPECIFICATIONS ARE AS FOLLOWS:

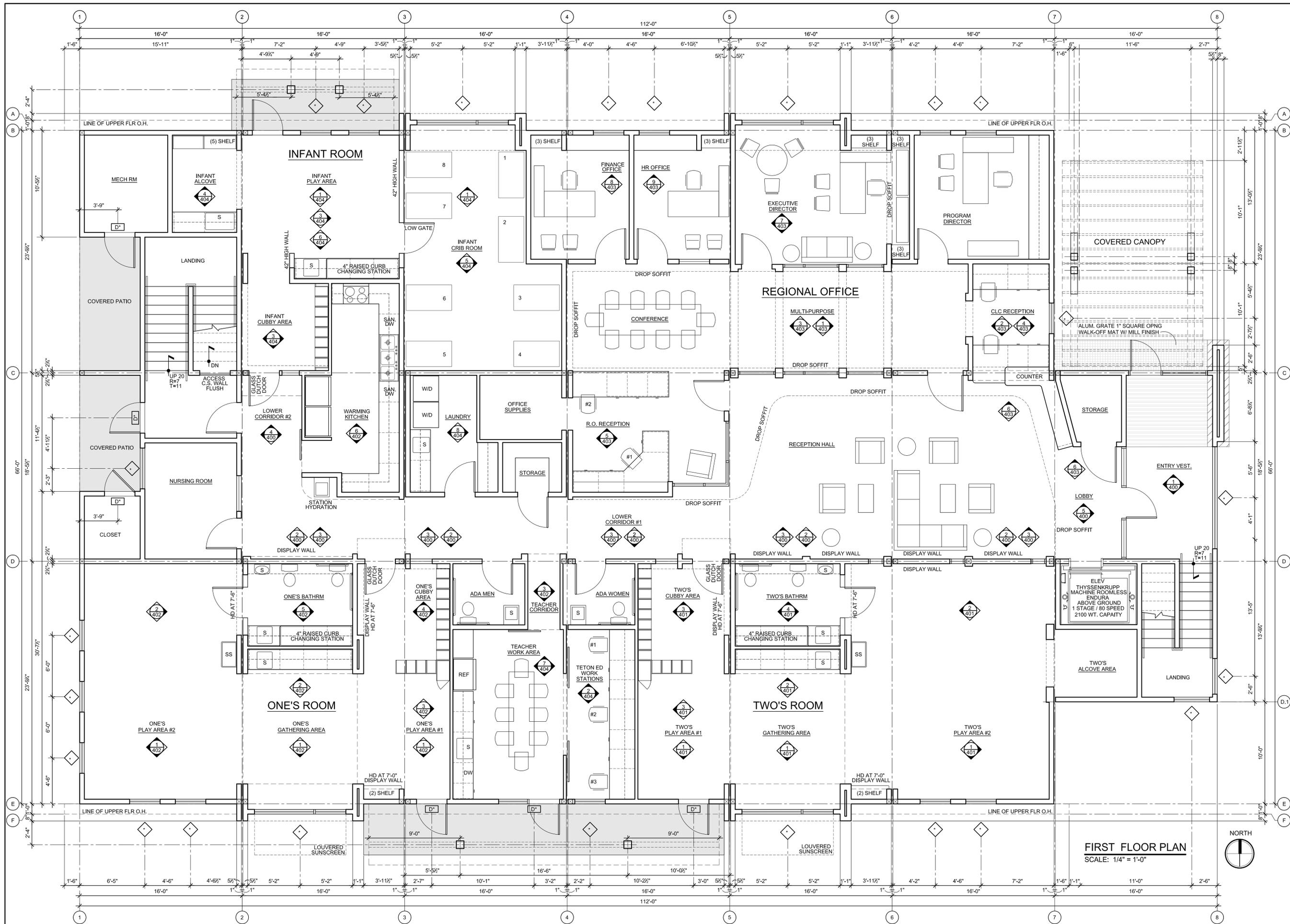
- SECTION 02231-AGGREGATE SUB-BASE AND BASE COURSES**
- 2.01.A.1 THE AGGREGATE SHALL MEET THE REQUIREMENTS OF SECTION 02190, AGGREGATES. AGGREGATE SUB-BASE SHALL BE PITRUN OR SCREENED MATERIAL WITH A MAXIMUM SIZE OF 6". AGGREGATE BASE COURSE SHALL BE GRADING H.
- SECTION 02512-PLANT MIX PAVEMENTS**
- 1.04.A.2 THE BITUMINOUS PAVEMENT MIXTURE SHALL MEET THE FOLLOWING TEST CRITERIA:  
STABILITY (MARSHALL METHOD): 1,500 POUNDS MINIMUM  
FLOW (MARSHALL METHOD) (0.01 IN): 8 TO 18  
AIR VOIDS SURFACE COURSE: 3 TO 5%  
AIR VOIDS BASE COURSE: 3 TO 8%  
VOIDS IN MINERAL AGGREGATE: 14% MINIMUM
- 2.01.A.1 THE PERCENTAGE OF BITUMINOUS MATERIAL TO BE ADDED TO THE JOB MIX FORMULA SHALL BE 4.5 TO 7.5% OF THE WEIGHT OF THE TOTAL MIXTURE.
  - 2.01.A1 BITUMINOUS MATERIAL SHALL BE AC-10.
  - 2.01.B.5 AGGREGATE FOR THE PLANT MIX BITUMINOUS SURFACE SHALL CONFORM TO SECTION 02190, 2.07.D, FOR 3" MAXIMUM.
- SECTION 02776-CONCRETE SIDEWALKS, DRIVEWAY APPROACHES, CURB TURN FILLETS, VALLEY GUTTERS AND MISCELLANEOUS NEW CONCRETE CONSTRUCTION**
- 2.01.A PORTLAND CEMENT CONCRETE SHALL BE CLASS 4000

**TYPICAL PARKING LOT SECTION**  
(NOT TO SCALE)



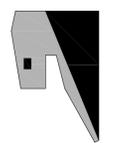
A:\2015 - Projects\15-504-Children's Learning Center\GIS\AGAD\15504\_DETAILS.dwg, 04\_1\_DETAILS.dwg, 15:1 PM, 7/20/2015





**FIRST FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

**KRIKOR Architecture**  
1125 Deer Creek Drive P.O. Box 4659 Jackson, WY 83001  
tel. 307.413.6874 email: KRIKORARCH@GMAIL.COM

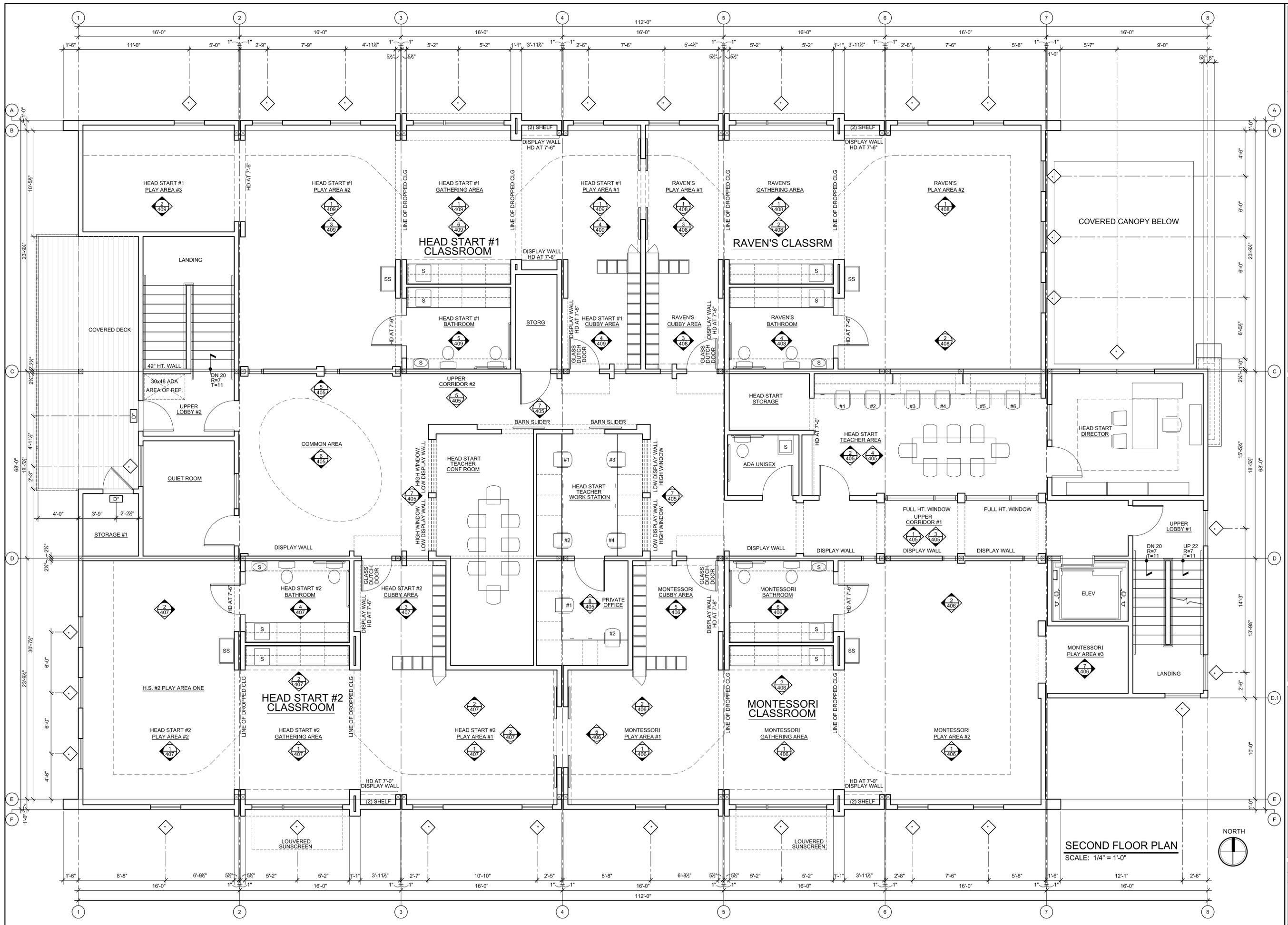


PROPOSED FLOOR PLAN  
FOR  
**CHILDREN'S LEARNING CENTER**  
105 Mercill Ave Jackson, Wyoming

REVISIONS	DATE	DESCRIPTION
1	3.24.15	TOI PRE APPLICATION SUBMITTAL
2	7.20.15	TOI FDP & DRC SUBMITTAL

date 7.20.15  
job no. 2214

**A100**



**SECOND FLOOR PLAN**  
SCALE: 1/4" = 1'-0"

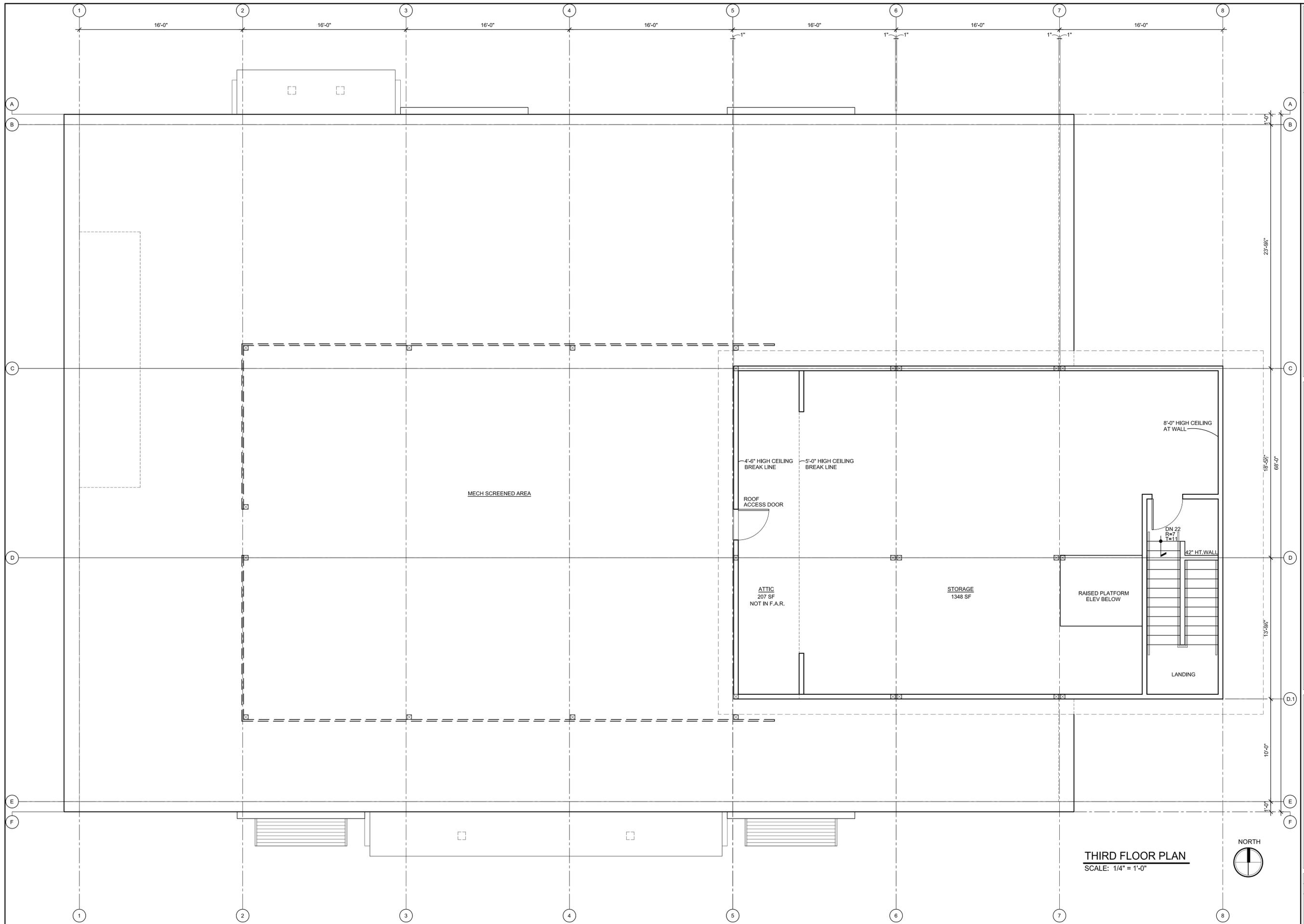
**KRIKOR Architecture**  
1125 Deer Creek Drive P.O. Box 4659 Jackson, WY 83001  
tel. 307.413.6874 email: KRIKORARCH@GMAIL.COM

PROPOSED FLOOR PLAN  
FOR  
**CHILDREN'S LEARNING CENTER**  
105 Mercill Ave Jackson, Wyoming

REVISIONS	DATE	BY
1 TOI PRE APPLICATION SUBMITTAL	3.24.15	
2 TOI FDP & DRC SUBMITTAL	7.20.15	

date 7.20.15  
job no. 2214

**A101**



**THIRD FLOOR PLAN**  
SCALE: 1/4" = 1'-0"



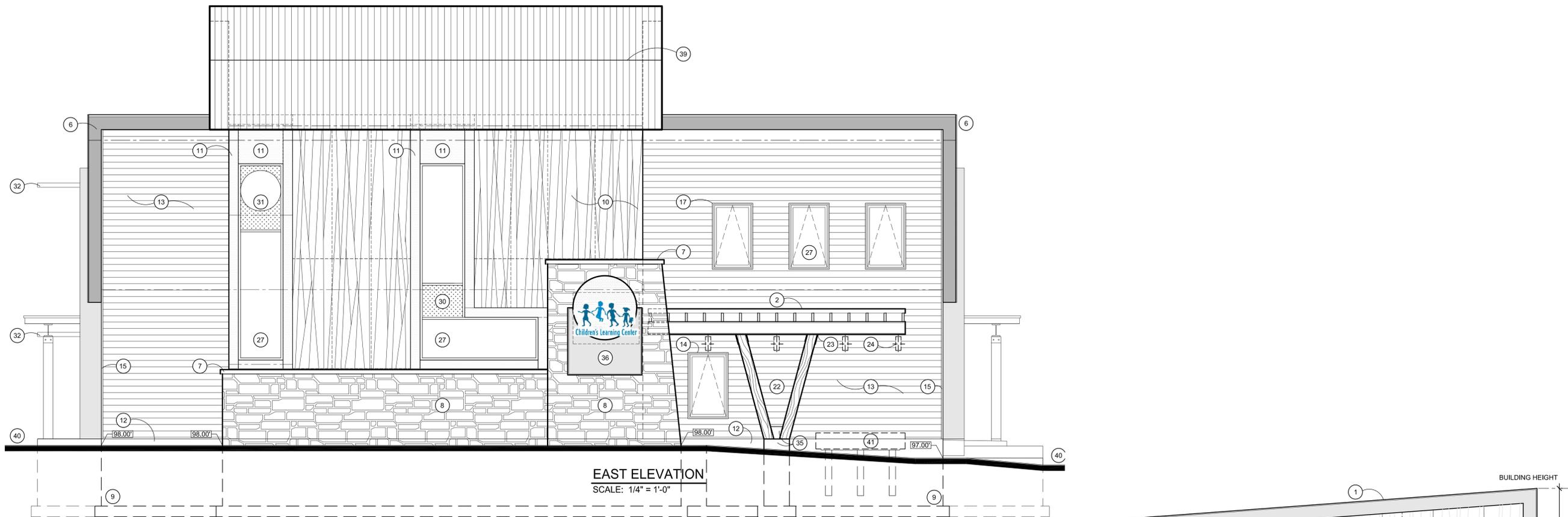
**KRIKOR Architecture**  
1125 Deer Creek Drive P.O. Box 4659 Jackson, WY 83001  
tel. 307.413.6874 email: KRIKORARCH@GMAIL.COM

PROPOSED FLOOR PLAN  
FOR  
**CHILDREN'S LEARNING CENTER**  
105 Mercill Ave Jackson, Wyoming

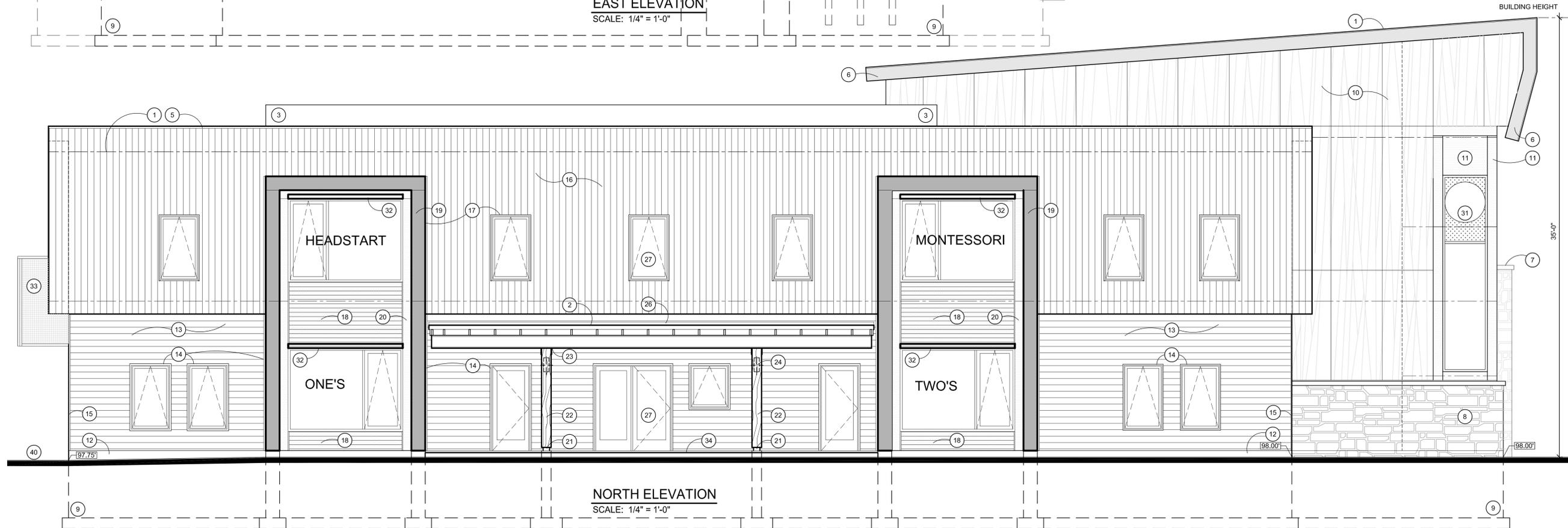
REVISIONS	DATE	DESCRIPTION
1	3.24.15	TOI PRE APPLICATION SUBMITTAL
2	7.20.15	TOI FDP & DRC SUBMITTAL

date 7.20.15  
job no. 2214

**A102**



**EAST ELEVATION**  
SCALE: 1/4" = 1'-0"



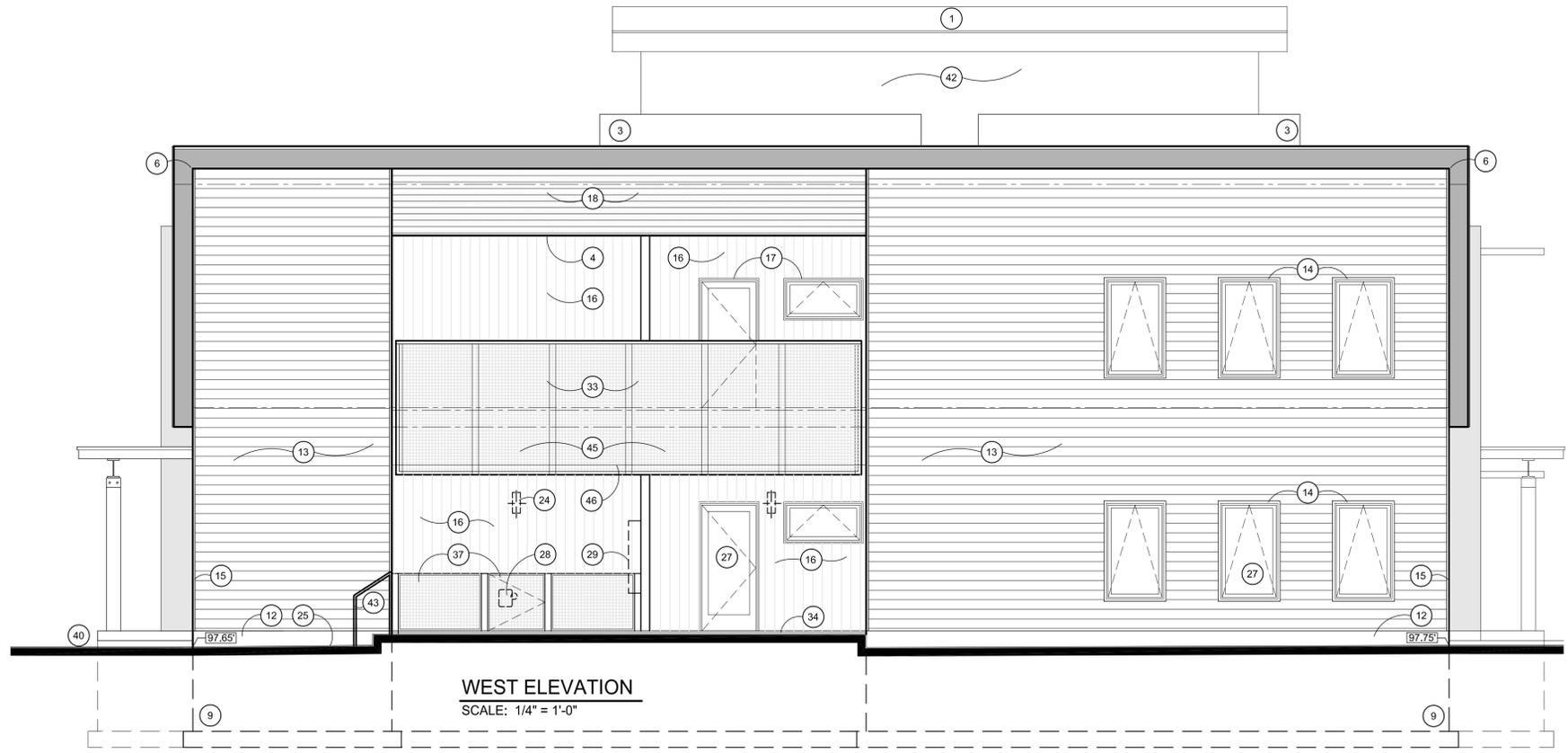
**NORTH ELEVATION**  
SCALE: 1/4" = 1'-0"

**KEY NOTES**

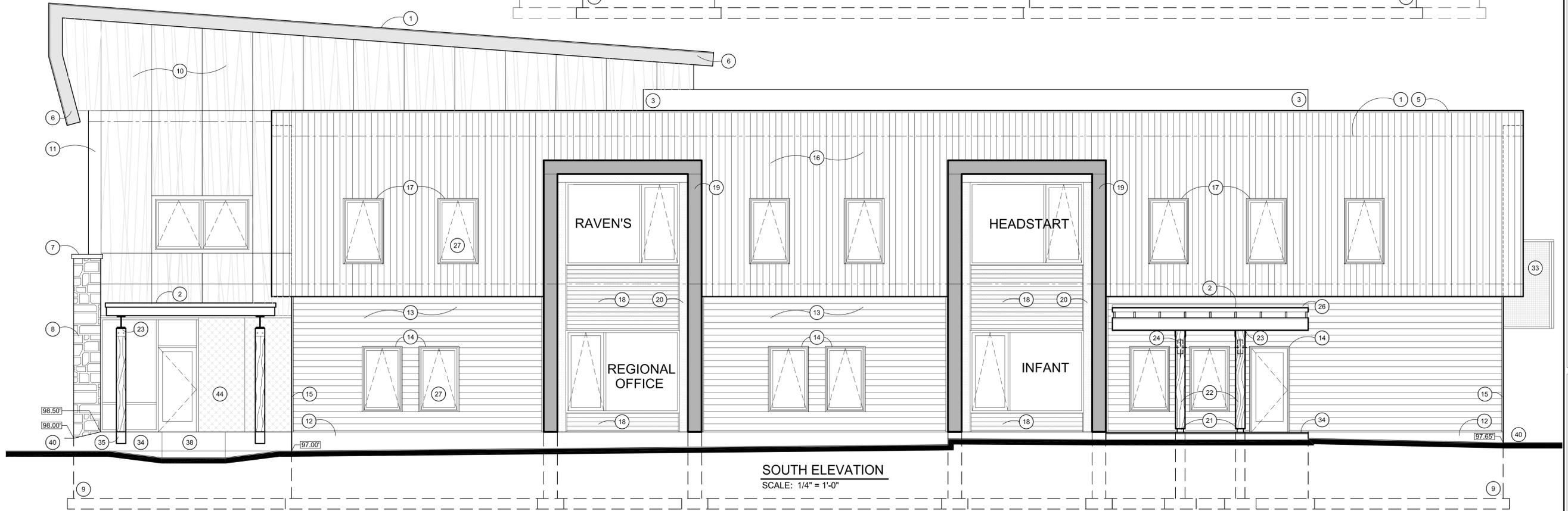
- |   |   |   |   |   |   |
|---|---|---|---|---|---|
| <p>1 FULLY ADHERED TPO MEMBRANE ROOFING SYSTEM "COLOR WHITE"</p> <p>2 EPDM MEMBRANE ROOFING SYSTEM W/ ROCK BALLAST</p> <p>3 METAL SLAT MECHANICAL SCREEN</p> <p>4 "LONGBOARD" V-GROOVE 4" METAL SOFFIT - COLOR: STORM</p> <p>5 PAINTED METAL DRIP EDGE FLASH - COLOR: STORM</p> <p>6 PAINTED FLAT METAL SHEET FASCIA TRIM - COLOR: STORM</p> <p>7 4" THICK STONE SLAB CAP SLOPED AWAY FROM BLDG</p> <p>8 MONTANA FARMERS ROCK W/ "DRY STACK" APPEARANCE</p> <p>9 FROST PROTECTED CONC. FTG - SEE STRUCT. DWGS</p> | <p>10 TAKTL "ARBOS 2" VERTICAL GRAIN CEMENT PANEL - WEATHERED BROWN FINISH: SMOOTH MEDIABLAST. COATING: COLORSEAL 512</p> <p>11 TAKTL "SMOOTH" VERT. &amp; HORIZ. TRIM &amp; INFILL CEMENT PANEL COLOR: WEATHERED BROWN, FINISH: SMOOTH MEDIABLAST. COATING: MICROSEAL</p> <p>12 RUSTED METAL FLASHING SKIRT AT FLOOR RIM JOIST AND FOUNDATION AROUND ENTIRE BUILDING PERIMETER</p> <p>13 HORIZ. "LONGBOARD" V-GROOVE 6" METAL SIDING - COLOR: DARK FIR</p> <p>14 TYP AT WIN/DOOR "LONGBOARD" J-TRACK 1" TRIM - COLOR: DARK FIR</p> <p>15 "LONGBOARD" OUTSIDE 1" CORNER TRIM - COLOR: DARK FIR</p> <p>16 VERT. "LONGBOARD" V-GROOVE 6" METAL SIDING - COLOR: STORM</p> <p>17 TYP AT WIN/DOOR "LONGBOARD" J-TRACK 1" TRIM - COLOR: STORM</p> | <p>18 HORIZ. "LONGBOARD" V-GROOVE 4" METAL SIDING - COLOR: STORM</p> <p>19 FLAT MTL SHT TRIM SURROUND AT BAY W/ EXPOSED FASTENERS COLOR: STORM</p> <p>20 FLAT MTL SHT INFILL TRIM W/ EXPOSED FASTENERS - COLOR: STORM</p> <p>21 PAINTED PIPE COL. KNIFE PLATE SUPPORT CONNECTION - SEE STRUCT.</p> <p>22 STAINED WOOD COL. (SEE STRUCT.) - SMOOTH - COLOR: WEATHERED BROWN</p> <p>23 PAINTED STEEL BRACKET, STEEL BEAM AND TUBE STEEL CANOPY PURLINS (SEE STRUCT.) - COLOR: WEATHERED BROWN</p> <p>24 LIGHT FIXTURE DOWN LIGHT WITH CUTOFF SEE SHEET A001 MOUNTED 84" HIGH ON BLDG WALL BEYOND</p> <p>25 NEW CONC. SIDEWALK</p> | <p>26 PAINTED METAL TRANSITION FLASHING FROM WALL TO CANOPY ROOF COLOR: WEATHERED BROWN</p> <p>27 THERMALLY BROKEN ALUMINUM AND 1" INSULATED LOW E COATED GLASS STOREFRONT SYSTEM - WINDOW / DOOR TO BE NFRC CERTIFIED WITH A "U" FACTOR 0.35 OR BETTER. UNITS MANUFACTURED FOR HIGH ALTITUDE APPLICATION. MUST BEAR AN AUTHENTIC NFRC LABEL STICKER AT THE TIME OF INSPECTION - COLOR: BRONZE</p> <p>28 APPROX. LOCATION OF GAS LINE / REGULATOR INTO BLDG ON WALL.</p> <p>29 APPROX. LOCATION OF ELECTRICAL POWER / EMERGENCY DISCONNECT</p> <p>30 FULL SPANDREL GLASS PANEL</p> <p>31 PARTIAL SPANDREL GLASS PANEL</p> <p>32 LOUVERED METAL WINDOW SHADE SCREEN - COLOR: STORM</p> | <p>33 WOVEN WIRE MESH GUARDRAIL W/ 1-1/2" SQUARE OPENINGS ATTACH ACROSS FACE OF TUBE STL VERTICAL SUPPORTS MOUNTED TO DECK FASCIA COVERED IN RUSTED MTL SHEET. MESH GUARDRAIL TO HAVE 1" PERIMETER CLOSURE TRIM - ALL PIECES RUSTED FINISH</p> <p>34 STAINED AND TEXTURED CONC. PATIO SLAB</p> <p>35 EXPOSED CONC. PIER STAINED WEATHERED BROWN SEE STRUCT. DWGS FOR KNIFE PL. CONNECTION</p> <p>36 METAL PLAQUE AND FACILITY LOGO</p> <p>37 36" WIDE x 36" HIGH HINGED GATE AND FENCE W/ LOCKING LATCH WOVEN WIRE MESH W/ 1-1/2" SQUARE OPENINGS. MESH TO HAVE 1" PERIMETER CLOSURE TRIM - ALL PIECES RUSTED FINISH SUPPORT W/ 4" SQ. T.S. POSTS EMBEDDED IN CONC. PATIO</p> <p>38 ADA RAMP - SEE CIVIL DWGS</p> <p>39 TRANSITION FLASH AT SURFACE BREAKLINE</p> | <p>40 APPROX. GRADE LOCATION SLOPED AWAY FROM BLDG - SEE CIVIL DWGS</p> <p>41 EXTERIOR GRADE GLB WOOD BLOCK BENCH 7" L x 24" D x 15" H SUPPORT ON (3) 6" DIAM. STL COL CAPPED W/ 6x18x 1/4" THICK PLATE</p> <p>42 MTL SHT LAP SEAM SIDING W/ EXPOSED FASTENERS - WEATHERED BRN</p> <p>43 FREE STANDING 1-1/2" DIA. PIPE RAILING EXTEND 12" PAST TOP AND BOTTOM OF TREAD MOUNTED 3/4" ABOVE TREAD HEIGHT. EXTEND TO SUBGRADE IN SLEEVE - PAINTED FINISH</p> <p>44 TAKTL "CRINKLE" PRECAST CEMENT PANEL - COLOR: GRAPHITE FINISH: CAST, COATING: MICROSEAL</p> <p>45 HORIZ. "LONGBOARD" V-GROOVE 4" METAL SIDING - COLOR: STORM APPLY TO FACE OF DECK BEAM SUPPORT</p> <p>46 HORIZ. "LONGBOARD" V-GROOVE 4" METAL SIDING - COLOR: STORM APPLY TO DROPPED SOFFIT UNDER DECK. LEAVE 1" SLAT GAPS FOR DRAINAGE TO PASS THROUGH FROM DECK ABOVE</p> |
|---|---|---|---|---|---|

REVISIONS	DATE	DESCRIPTION
1	3.24.15	TOI PRE APPLICATION SUBMITTAL
2	7.20.15	TOI FDP & DRC SUBMITTAL

date: 7.20.15  
job no.: 2214



**WEST ELEVATION**  
SCALE: 1/4" = 1'-0"



**SOUTH ELEVATION**  
SCALE: 1/4" = 1'-0"

**KEY NOTES**

- |   |   |  |   |   |  |
|---|---|--|---|---|--|
| <p>1 FULLY ADHERED TPO MEMBRANE ROOFING SYSTEM "COLOR WHITE"</p> <p>2 EPDM MEMBRANE ROOFING SYSTEM W/ ROCK BALLAST</p> <p>3 METAL SLAT MECHANICAL SCREEN</p> <p>4 "LONGBOARD" V-GROOVE 4" METAL SOFFIT - COLOR: STORM</p> <p>5 PAINTED METAL DRIP EDGE FLASH - COLOR: STORM</p> <p>6 PAINTED FLAT METAL SHEET FASCIA TRIM - COLOR: STORM</p> <p>7 4" THICK STONE SLAB CAP SLOPED AWAY FROM BLDG</p> <p>8 MONTANA FARMERS ROCK W/ "DRY STACK" APPEARANCE</p> <p>9 FROST PROTECTED CONC. FTG - SEE STRUCT. DWGS</p> | <p>10 TAKTL "ARBOS 2" VERTICAL GRAIN CEMENT PANEL - WEATHERED BROWN FINISH: SMOOTH MEDIABLAST, COATING: COLORSEAL 512</p> <p>11 TAKTL "SMOOTH" VERT. &amp; HORIZ. TRIM &amp; INFILL CEMENT PANEL COLOR: WEATHERED BROWN, FINISH: SMOOTH MEDIABLAST, COATING: MICROSEAL</p> <p>12 RUSTED METAL FLASHING SKIRT AT FLOOR RIM JOIST AND FOUNDATION AROUND ENTIRE BUILDING PERIMETER</p> <p>13 HORIZ. "LONGBOARD" V-GROOVE 6" METAL SIDING - COLOR: DARK FIR</p> <p>14 TYP AT WIN/DOOR "LONGBOARD" J-TRACK 1" TRIM - COLOR: DARK FIR</p> <p>15 "LONGBOARD" OUTSIDE 1" CORNER TRIM - COLOR: DARK FIR</p> <p>16 VERT. "LONGBOARD" V-GROOVE 6" METAL SIDING - COLOR: STORM</p> <p>17 TYP AT WIN/DOOR "LONGBOARD" J-TRACK 1" TRIM - COLOR: STORM</p> | <p>18 HORIZ. "LONGBOARD" V-GROOVE 4" METAL SIDING - COLOR: STORM</p> <p>19 FLAT MTL SHT TRIM SURROUND AT BAY W/ EXPOSED FASTENERS COLOR: STORM</p> <p>20 FLAT MTL SHT INFILL TRIM W/ EXPOSED FASTENERS - COLOR: STORM</p> <p>21 PAINTED PIPE COL. KNIFE PLATE SUPPORT CONNECTION - SEE STRUCT.</p> <p>22 STAINED WOOD COL. (SEE STRUCT) - SMOOTH - COLOR: WEATHERED BROWN</p> <p>23 PAINTED STEEL BRACKET, STEEL BEAM AND TUBE STEEL CANOPY PURLINS (SEE STRUCT.) - COLOR: WEATHERED BROWN</p> <p>24 LIGHT FIXTURE DOWN LIGHT WITH CUTOFF SEE SHEET A001 MOUNTED 84" HIGH ON BLDG WALL BEYOND</p> <p>25 NEW CONC. SIDEWALK</p> | <p>26 PAINTED METAL TRANSITION FLASHING FROM WALL TO CANOPY ROOF COLOR: WEATHERED BROWN</p> <p>27 THERMALLY BROKEN ALUMINUM AND 1" INSULATED LOW E COATED GLASS STOREFRONT SYSTEM - WINDOW / DOOR TO BE NFRC CERTIFIED WITH A "U" FACTOR 0.35 OR BETTER. UNITS MANUFACTURED FOR HIGH ALTITUDE APPLICATION. MUST BEAR AN AUTHENTIC NFRC LABEL STICKER AT THE TIME OF INSPECTION - COLOR: BRONZE</p> <p>28 APPROX. LOCATION OF GAS LINE / REGULATOR INTO BLDG ON WALL.</p> <p>29 APPROX. LOCATION OF ELECTRICAL POWER / EMERGENCY DISCONNECT</p> <p>30 FULL SPANDREL GLASS PANEL</p> <p>31 PARTIAL SPANDREL GLASS PANEL</p> <p>32 LOUVERED METAL WINDOW SHADE SCREEN - COLOR: STORM</p> | <p>33 WOVEN WIRE MESH GUARDRAIL W/ 1-1/2" SQUARE OPENINGS ATTACH ACROSS FACE OF TUBE STL VERTICAL SUPPORTS MOUNTED TO DECK FASCIA COVERED IN RUSTED MTL SHEET. MESH GUARDRAIL TO HAVE 1" PERIMETER CLOSURE TRIM - ALL PIECES RUSTED FINISH</p> <p>34 STAINED AND TEXTURED CONC. PATIO SLAB</p> <p>35 EXPOSED CONC. PIER STAINED WEATHERED BROWN SEE STRUCT. DWGS FOR KNIFE PL. CONNECTION</p> <p>36 METAL PLAQUE AND FACILITY LOGO</p> <p>37 36" WIDE x 36" HIGH HINGED GATE AND FENCE W/ LOCKING LATCH WOVEN WIRE MESH W/ 1-1/2" SQUARE OPENINGS. MESH TO HAVE 1" PERIMETER CLOSURE TRIM - ALL PIECES RUSTED FINISH SUPPORT W/ 4" SQ. T.S. POSTS EMBEDDED IN CONC. PATIO</p> <p>38 ADA RAMP - SEE CIVIL DWGS</p> <p>39 TRANSITION FLASH AT SURFACE BREAKLINE</p> | <p>40 APPROX. GRADE LOCATION SLOPED AWAY FROM BLDG - SEE CIVIL DWGS</p> <p>41 EXTERIOR GRADE GLOB WOOD BLOCK BENCH 7" L x 24" D x 15" H SUPPORT ON (3) 6" DIAM. STL COL. CAPPED W/ 6x18x 1/4" THICK PLATE</p> <p>42 MTL SHT LAP SEAM SIDING W/ EXPOSED FASTENERS - WEATHERED BRN</p> <p>43 FREE STANDING 1-1/2" DIA. PIPE RAILING EXTEND 12" PAST TOP AND BOTTOM OF TREAD MOUNTED 34" ABOVE TREAD HEIGHT. EXTEND TO SUBGRADE IN SLEEVE - PAINTED FINISH</p> <p>44 TAKTL "CRINKLE" PRECAST CEMENT PANEL - COLOR: GRAPHITE FINISH: CAST, COATING: MICROSEAL</p> <p>45 HORIZ. "LONGBOARD" V-GROOVE 4" METAL SIDING - COLOR: STORM APPLY TO FACE OF DECK BEAM SUPPORT</p> <p>46 HORIZ. "LONGBOARD" V-GROOVE 4" METAL SIDING - COLOR: STORM APPLY TO DROPPED SOFFIT UNDER DECK. LEAVE 1" SLAT GAPS FOR DRAINAGE TO PASS THROUGH FROM DECK ABOVE</p> |
|---|---|--|---|---|--|

REVISIONS	DATE	DESCRIPTION
1	3.24.15	TOI PRE APPLICATION SUBMITTAL
2	7.20.15	TOI FDP & DRC SUBMITTAL

date 7.20.15  
job no. 2214

**A201**