



**JORGENSEN**  
It's About People, Trust and Know How

PO Box 9550 · 1315 HWY 89 S., Suite 201  
Jackson, WY 83002  
PH: 307.733.5150  
[www.jorgeng.com](http://www.jorgeng.com)

July 20, 2016

Mr. Paul Anthony, Senior Planner  
Town of Jackson

Re: Westview Townhomes Final Development Plan  
Project No. 09040.03

Dear Mr. Anthony:

On behalf of FSD Investments, LLC, Jorgensen Associates, P.C. (Jorgensen) is pleased to submit the enclosed Final Development Plan (FDP) application for Westview Townhomes. The development includes 20 townhouse units in 6 building pods on the property located at 1255 West WY 22.

Included with this transmittal you will find the following:

- Planning Permit Application Final Development Plan.
- A check for \$2,500.
- A binder containing all pertinent information and Site Plans.

Thank you for your consideration. Please contact me if you have any comments or questions.

Sincerely,  
JORGENSEN ASSOCIATES, P.C.

Reed Armijo, P.E.  
Principal



**PLANNING PERMIT APPLICATION**  
**Planning & Building Department**  
**Planning Division**

150 E Pearl Ave. | ph: (307) 733-0440  
 P.O. Box 1687 | fax: (307) 734-3563  
 Jackson, WY 83001 | [www.townofjackson.com](http://www.townofjackson.com)

*For Office Use Only*

Fees Paid \_\_\_\_\_  
 Check # \_\_\_\_\_ Credit Card \_\_\_\_\_ Cash \_\_\_\_\_  
 Application #s \_\_\_\_\_

**PROJECT.**

Name/Description: Westview Town Homes  
 Physical Address: 1255 W HIGHWAY 22  
 Lot, Subdivision: \_\_\_\_\_ PIDN: 22-41-16-32-1-00-008

**OWNER.**

Name: F.S.D. INVESTMENTS, LLC Phone: (307)413-4088  
 Mailing Address: P.O. BOX 9879, JACKSON, WY ZIP: 83002  
 E-mail: ericgrovemn@gmail.com

**APPLICANT/AGENT.**

Name: Jorgensen Associates P.C. Phone: 307-733-5150  
 Mailing Address: P.O. Box 9550, Jackson, Wyoming ZIP: 83002  
 E-mail: rarmijo@jorgensenassociates.com

**DESIGNATED PRIMARY CONTACT.**

\_\_\_\_\_ Owner       Applicant/Agent

**TYPE OF APPLICATION.** *Please check all that apply; see Fee Schedule for applicable fees.*

<b>Use Permit</b>	<b>Physical Development</b>	<b>Interpretations</b>
_____ Basic Use	_____ Sketch Plan	_____ Formal Interpretation
_____ Conditional Use	<input checked="" type="checkbox"/> Development Plan	_____ Zoning Compliance Verification
_____ Special Use		
<b>Relief from the LDRs</b>	<b>Development Option/Subdivision</b>	<b>Amendments to the LDRs</b>
_____ Administrative Adjustment	_____ Development Option Plan	_____ LDR Text Amendment
_____ Variance	_____ Subdivision Plat	_____ Zoning Map Amendment
_____ Beneficial Use Determination	_____ Boundary Adjustment (replat)	_____ Planned Unit Development
_____ Appeal of an Admin. Decision	_____ Boundary Adjustment (no plat)	

**PRE-SUBMITTAL STEPS.** Pre-submittal steps, such as a pre-application conference, environmental analysis, or neighborhood meeting, are required before application submittal for some application types. See Section 8.1.5, Summary of Procedures, for requirements applicable to your application package. If a pre-submittal step is required, please provide the information below. If you need assistance locating the project number or other information related to a pre-submittal step, contact the Planning Department. **If this application is amending a previous approval, indicate the original permit number.**

Pre-application Conference #: P15-084 Environmental Analysis #: \_\_\_\_\_  
Original Permit #: \_\_\_\_\_ Date of Neighborhood Meeting: \_\_\_\_\_

**SUBMITTAL REQUIREMENTS.** Twelve (12) hard copies and one (1) digital copy of the application package (this form, plus all applicable attachments) should be submitted to the Planning Department.. Please ensure all submittal requirements are included. The Planning Department will not hold or process incomplete applications. Partial or incomplete applications will be returned to the applicant.

Have you attached the following?

- Application Fee.** Fees are cumulative. Applications for multiple types of permits, or for multiple permits of the same type, require multiple fees. See the currently adopted Fee Schedule in the Administrative Manual for more information.
- Notarized Letter of Authorization.** A notarized letter of consent from the landowner is required if the applicant is not the owner, or if an agent is applying on behalf of the landowner. If the owner is a partnership or corporation, proof that the owner can sign on behalf of the partnership or corporation is also required. Please see the Letter of Authorization template in the Administrative Manual for a sample.
- Response to Submittal Checklist.** All applications require response to applicable review standards. These standards are outlined on the Submittal Checklists for each application type. If a pre-application conference is held, the Submittal Checklists will be provided at the conference. If no pre-application conference is required, please see the Administrative Manual for the applicable Checklists. The checklist is intended as a reference to assist you in submitting a sufficient application; submitting a copy of the checklist itself is not required.

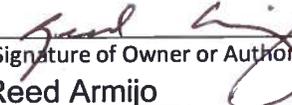
**FORMAT.**

The main component of any application is demonstration of compliance with all applicable Land Development Regulations (LDRs) and Resolutions. The submittal checklists are intended to identify applicable LDR standards and to outline the information that must be submitted to sufficiently address compliance with those standards.

For some submittal components, minimum standards and formatting requirements have been established. Those are referenced on the checklists where applicable. For all other submittal components, the applicant may choose to make use of narrative statements, maps, drawings, plans and specifications, tables and/or calculations to best demonstrate compliance with a particular standard.

**Note:** Information provided by the applicant or other review agencies during the planning process may identify other requirements that were not evident at the time of application submittal or a Pre-Application Conference, if held. Staff may request additional materials during review as needed to determine compliance with the LDRs.

Under penalty of perjury, I hereby certify that I have read this application and associated checklists and state that, to the best of my knowledge, all information submitted in this request is true and correct. I agree to comply with all county and state laws relating to the subject matter of this application, and hereby authorize representatives of Teton County to enter upon the above-mentioned property during normal business hours, after making a reasonable effort to contact the owner/applicant prior to entering.

  
Signature of Owner or Authorized Applicant/Agent  
Reed Armijo  
Name Printed

July 15, 2016  
Date  
Chief Executive Officer · Principal Engineer  
Title



**PRE-APPLICATION CONFERENCE SUMMARY**

**Planning & Development Department  
Planning Division**

150 E Pearl Ave. | ph: (307) 733-0440  
 P.O. Box 687 | fax: (307) 734-3563  
 Jackson, WY 83001 | [www.townofjackson.com](http://www.townofjackson.com)

*This Summary will be prepared by Planning Staff. The applicant, or the applicant's agent, shall receive a copy of this summary for their reference in submitting a sufficient application.*

**Staff may request additional materials during review as needed to determine compliance with the LDRs.**

**PRE-APPLICATION MEETING BASICS.**

PAP#: P15-084  
 Date of Conference: 9/30/15  
 Planning Staff: Tyler Valentine & Paul Anthony

**PROJECT.**

Name/Description: Westview Townhomes  
 Physical Address: 1255 West Highway 22  
 Lot, Subdivision \_\_\_\_\_ PIDN: 22-41-16-32-1-00-008  
 Zoning District(s): AC (Auto-Urban Commercial)  
 Overlay(s): N/A

**STAKEHOLDERS.**

Applicant: FSD Investments, LLC  
 Owner: Charlie Schwartz & Eric Grove  
 Agent: Charlie Schwartz & Eric Grove

**REQUIRED APPLICATIONS.** (See B.12, C.1, D.4 of applicable zone in Article 2, 3 or 4) *This project will require the following applications:*

Application	Reason	Fee
Neighborhood meeting	Required for Sketch Plan & PUD	No fee
Sketch Plan	Physical development greater than 10 dwelling units & greater than 15,000 SF	\$2,500
Planned Unit Development (PUD): LDR & Text Amendment	At request of applicant	\$1,500
Conditional Use Permit	Physical development on slopes greater than 10%	\$500
Administrative Adjustment (maybe)	Physical development on slopes greater than 25% and less than 30%	\$500
Development Plan	Required with Sketch Plan approval	\$2,500

**MEETING ATTENDEES:**

Name	Company	Phone/Email
Charlie Schwartz	FSD Investments, LLC	307-413-4088 & 413-4902
Eric Grove	FSD Investments, LLC	Same as above
Paul Anthony	Town Planning Department	307-733-0440 x 1303
Tyler Valentine	Town Planning Department	307-733-0440 x 1305
Kathy Clay	Town Fire Department	307-733-4732 x8506
Steve Haines	Town Building Department	307-733-0440 x1350
Valerie Adams	Teton County Housing Authority	307-732-0867
Todd Smith	Town Police Department	307-733-1430 x1234

**TIMELINES.** This table is intended to provide general information regarding the review process and timing of decisions. See Article 8 for a complete explanation of the review process.

**For administrative decisions made by the Planning Director, the following timelines are generally applicable:**

Application Types:	Sufficiency	Planning Director
Administrative Adjustment	Within 14 days of Submittal	Decision within 30 days of Sufficiency

**For decisions requiring a public hearing process, the following timelines are generally applicable:**

Application Types:	Sufficiency	Planning Commission (PC)	Town Council
<u>Subdivision Plat</u>	Within 14 days of Submittal	N/A	Hearing within 90 days of Sufficiency
<b>Required:</b> 1. <u>Neighborhood Meeting</u> ✓ 2. <u>Sketch Plan</u> ✓ 2. <u>Conditional Use Permit</u> ✓ 2. <u>Zoning Map Amendment</u> ✓ 2. <u>Planned Unit Development</u> ✓ 2. <u>Administrative Adjustment</u> ✓ 2. <u>LDR Text Amendment</u> ✓ 3. <u>Development Plan</u> ✓	Within 14 days of Submittal	Hearing within 90 days of Sufficiency	Hearing within 60 days of PC Recommendation

**GENERAL INFORMATION.**

✓ Required, If Checked.

\_\_\_\_\_ If not checked, review requirement with a Staff member to determine if necessary for your application.

Requirement: **1 digital & 12 hard copies**

Notes

✓ **Planning Permit Application.** The application should list all pertinent permits (use, physical development, interpretation, relief from the LDRs, Development Option/Subdivisions, Amendments to the LDRs) for which you are applying.

**Requirement** **Notes**

✓ **Notarized Letter of Authorization.** See **Section 8.2.4.A** for requirements. A template is established in the Administrative Manual.

✓ **Application Fees.** Fees are cumulative. Applications for multiple types of permits, or for multiple permits of the same type, require multiple fees. See the currently adopted Fee Schedule in the Administrative Manual for more information.

✓ **Review fees.** The applicant is responsible for paying any review fees and expenses from consulting services necessitated by the review of the application by the Town Surveyor, Town Engineer, Town Associate Engineer, Title Company and any other required consultant. Such fees shall be paid prior to approval of the permit.

✓ **Neighborhood Meeting:** See **Section 8.2.3** for meeting requirements and **Section 8.2.14** for noticing requirements. Applicant is required to provide the list of addresses noticed and a copy of the notice.

✓ **Other information needed.** All applications submitted to the Town of Jackson Planning Department must be submitted in digital format once the application is determined to be sufficient.

✓ **Response to Submittal Checklist.** All applications require response to applicable review standards. For applications where a pre-application conference is required, applicable standards are identified below. If a pre-application conference is optional, see the submittal checklist for the relevant application type, established in the Administrative Manual.

✓ **Title Report.** A title report, title certificate or record document guarantee prepared within the last six months that includes evidence of ownership and all encumbrances on the subject property. Copies of the documents referenced in the report should not be submitted unless requested by the planner during review.

✓ **Narrative description of the proposed development.** Briefly describe the existing condition of the property and the proposed use, physical development, subdivision or development option for which you are seeking approval.

✓ **Proposed Development Program.** Please use the attached template established in the Administrative Manual.

✓ **Site Plan.** Please see the attached list of minimum standards for a site plan, established in the Administrative Manual.

✓ **Floor Plans.** Include floor plans for any existing buildings that will be occupied by a proposed use. If changes to existing buildings are proposed, indicate those on the floor plans.

✓ **Landscape Plan.**

✓ **Posted Notice.** See **Section 8.2.14.C.4** for Posted Notice requirements for all public hearings.

Requirements listed under each Article will be checked if required for the application.

Required, If Checked.

If not checked, this requirement is not applicable to your application.

## ARTICLE 1, GENERAL PROVISIONS.

Requirement	Notes
<input type="checkbox"/> <b>Division 1.9, Nonconformities</b>	
<input type="checkbox"/> <b>1.9.2</b> Nonconforming Physical Development	
<input type="checkbox"/> <b>1.9.3</b> Nonconforming Uses	
<input type="checkbox"/> <b>1.9.4</b> Nonconforming Development Options and Subdivisions	
<input type="checkbox"/> <b>1.9.5</b> Nonconforming Signs	

## ARTICLE 2, COMPLETE NEIGHBORHOODS, ARTICLE 3, RURAL AREA ZONES, and ARTICLE 4, SPECIAL PURPOSE ZONES – (Public/Semi-Public & Park and Open Space zones only).

Applicable Zone: \_\_\_\_\_ Applicable LDR Section: \_\_\_\_\_

### SUBSECTION B, PHYSICAL DEVELOPMENT. *Please provide the following information for the applicable zone.*

Requirement	Notes:
<input checked="" type="checkbox"/> Structure Location and Mass (Setbacks, Height, total site FAR)	
<input checked="" type="checkbox"/> Maximum Scale of Development (Individual building size)	
<input checked="" type="checkbox"/> Building Design (Design Review Process)	
<input checked="" type="checkbox"/> Site Development (Driveway and Access limits)	
<input checked="" type="checkbox"/> Fencing (Height, Setback, Orientation)	

**Additional Comments:**

### SUBSECTION C, ALLOWABLE USES. *Please provide the following information for the applicable zone.*

Requirement	Notes:
<input checked="" type="checkbox"/> Maximum Scale of Use	

**Additional Comments:**

**SUBSECTION D, DEVELOPMENT OPTIONS.** *Please provide the following information for the applicable zone.*

<b>Requirement</b>	<b>Notes:</b>
<input checked="" type="checkbox"/> Subdivision and Development Option Permits	

**Additional Comments:**

**SUBSECTION E, ADDITIONAL ZONE-SPECIFIC STANDARDS.** *Please provide the following information for the applicable zone.*

<b>Requirement</b>	<b>Notes:</b>
_____	
_____	
_____	
_____	
_____	

**Additional Comments:**

**ARTICLE 4, SPECIAL PURPOSE ZONES (Planned Resort Zones and Planned Unit Development Zones only)**

<b>Requirement</b>	<b>Notes</b>
_____ <b>Division 4.3, Planned Resort Zones</b>	
<b>4.3.1</b> All Planned Resort Zones	
<b>4.3.2</b> Snow King	
<input checked="" type="checkbox"/> <b>Division 4.4, Planned Unit Development</b>	
<b>4.4.1</b> All Planned Unit Development (PUD) Zones	
<b>4.4.2</b> Planned Unit Development - Town	

**ARTICLE 5, PHYSICAL DEVELOPMENT STANDARDS APPLICABLE IN ALL ZONES.**

<b>Requirement</b>	<b>Notes</b>
_____ <b>Division 5.1, General Environmental Standards</b>	
<b>5.1.1</b> Waterbody and Wetland Buffers	
<b>5.1.2</b> Wildlife Friendly Fencing	
<b>5.1.5</b> Water Quality (reserved for future standards)	

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**Division 5.2, Environmental Standards Applicable in Specific Areas**

5.2.1 Natural Resources Overlay (NRO) Standards

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**Division 5.3, Scenic Standards.**

5.3.1 Exterior Lighting Standards

5.3.2 Scenic Resources Overlay (SRO) Standards

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**Division 5.4, Natural Hazard Protection Standards**

5.4.1 Steep Slopes

5.4.2 Unstable Soils

5.4.3 Faults

5.4.4 Floodplains

5.4.5 Wildland Urban Interface

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**Division 5.5, Landscaping Standards**

5.5.2 Landscape Plan

5.5.3 Required Plant Units

5.5.4 General Landscaping Standards

5.5.5 Installation and Maintenance

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**Division 5.6, Sign Standards**

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**Division 5.7, Grading, Erosion Control and Stormwater Management**

5.7.2 Grading Standards

5.7.3 Erosion control standards

5.7.4 Stormwater Management Standards

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**Division 5.8, Design Guidelines**

5.8.2. Design Guidelines

5.8.3. Design Review Committee

**ARTICLE 6, USE STANDARDS APPLICABLE IN ALL ZONES.**

<b>Requirement</b>	<b>Notes</b>
<hr/> <p><b>Division 6.1, Allowed Uses</b></p>	
<hr/> <p><b>Division 6.2, Parking and Loading Standards</b></p>	
6.2.2 Required Parking and Loading	
6.2.3 Location of Required Parking	
6.2.4 Maintenance of Off-Street Parking and Loading	
6.2.5 Off-Street Parking and Loading Design Standards	
6.2.6 Parking and Loading Standards in the Downtown Parking District	
<hr/> <p><b>Division 6.3, Employee Housing Requirements</b></p>	

- ✓ **Division 6.4, Operational Standards**
  - 6.4.1 Outside Storage
  - 6.4.2 Refuse and Recycling
  - 6.4.3 Noise
  - 6.4.4 Vibration
  - 6.4.5 Electrical Disturbances
  - 6.4.6 Fire and Explosive Hazards

**ARTICLE 7, DEVELOPMENT OPTION AND SUBDIVISION STANDARDS APPLICABLE IN ALL ZONES.**

Requirement	Notes
<u>        </u> <b>Division 7.1, Development Option Standards</b>	
7.1.3 Urban Cluster Development	
7.1.4 Mobile Home Park	
<u>✓</u> <b>Division 7.2, Subdivision Standards</b>	
7.2.2 Standards Applicable to all Subdivision	
7.2.3 Land Division Standards	
7.2.4 Condominium and Townhouse Subdivisions	
<u>        </u> <b>Division 7.3, Open Space Standards</b>	
7.3.3 Configuration and Location of Required Open Space	
7.3.4 Use of Open Space	
7.3.5 Physical Development Permitted in Open Space	
7.3.6 Record of Restriction	
7.3.7 Ownership of Open Space	
<u>✓</u> <b>Division 7.4, Affordable Housing Standards</b>	
<u>✓</u> <b>Division 7.5, Development Exaction Standards</b>	
7.5.2. Park Exactions	
7.5.3. School Exactions	
<u>✓</u> <b>Division 7.6, Transportation Facility Standards</b>	
7.6.2 Access to Roads, Streets and Highways	
7.6.3 Streets, Alleys, and Easements	
<u>✓</u> <b>Division 7.7, Required Utilities</b>	
7.7.2 Potable Water Supply	
7.7.3 Sanitary Sewer Systems	
7.7.4 Irrigation Ditch Systems and Design	
7.7.5 Other Utilities	
7.7.6 Fuel Storage Tank	

**PLAN REVIEW COMMITTEE.** *The Plan Review Committee consists of the following listed agencies. Planning Staff will transmit pertinent portions of the application to each agency. **Other agencies and individuals not checked off on this list may be added to the PRC if necessary.***

<u>✓</u> Public Works/Town Engineer	<u>✓</u> Police Department
<u>✓</u> Building Official	<u>✓</u> START Bus
<u>✓</u> Town Attorney	<u>✓</u> Jackson Hole Fire EMS
<u>        </u> Town Clerk	<u>✓</u> Parks and Recreation Department

- Pathways Coordinator
- Surveyor
- Title Company
- Teton County Housing Authority
- Teton County Weed & Pest
- Teton County Planning
- Teton County Engineer
- Teton County Assessor
- Integrated Solid Waste and Recycling
- Teton County Clerk
- Teton County Public Health
- Teton County Scenic Preserve Trust

- Teton County School District #1
- Teton County Sheriff
- Wyoming Department of Game & Fish
- Wyoming Department of Transportation
- Wyoming Department of Environmental Quality
- Army Corp of Engineers
- Lower Valley Energy
- U.S. National Park Service
- U.S. Forest Service
- U.S. Fish and Wildlife
- Other

**Additional Comments:**

**LETTER OF AUTHORIZATION**

F.S.D. INVESTMENTS, LLC, "Owner" whose address is: \_\_\_\_\_

P.O. BOX 9879, JACKSON, WY 83002

(NAME OF ALL INDIVIDUALS OR ENTITY OWNING THE PROPERTY)

F.S.D. INVESTMENTS, LLC, as the owner of property

more specifically legally described as: \_\_\_\_\_

PT SW1/4NE1/4, SEC. 32, TWP. 41, RNG. 116

(If too lengthy, attach description)

HEREBY AUTHORIZES Jorgensen Associates, P.C. as

agent to represent and act for Owner in making application for and receiving and accepting on Owners behalf, any permits or other action by the Town of Jackson, or the Town of Jackson Planning, Building, Engineering and/or Environmental Health Departments relating to the modification, development, planning or replatting, improvement, use or occupancy of land in the Town of Jackson. Owner agrees that Owner is or shall be deemed conclusively to be fully aware of and to have authorized and/or made any and all representations or promises contained in said application or any Owner information in support thereof, and shall be deemed to be aware of and to have authorized any subsequent revisions, corrections or modifications to such materials. Owner acknowledges and agrees that Owner shall be bound and shall abide by the written terms or conditions of issuance of any such named representative, whether actually delivered to Owner or not. Owner agrees that no modification, development, platting or replatting, improvement, occupancy or use of any structure or land involved in the application shall take place until approved by the appropriate official of the Town of Jackson, in accordance with applicable codes and regulations. Owner agrees to pay any fines and be liable for any other penalties arising out of the failure to comply with the terms of any permit or arising out of any violation of the applicable laws, codes or regulations applicable to the action sought to be permitted by the application authorized herein.

Under penalty of perjury, the undersigned swears that the foregoing is true and, if signing on behalf of a corporation, partnership, limited liability company or other entity, the undersigned swears that this authorization is given with the appropriate approval of such entity, if required.

OWNER: Eric Grove

(SIGNATURE) (SIGNATURE OF CO-OWNER)

Title: Owner

(if signed by officer, partner or member of corporation, LLC (secretary or corporate owner) partnership or other non-individual Owner)

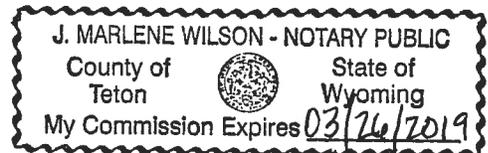
STATE OF WYOMING )  
 )SS.  
COUNTY OF TETON )

The foregoing instrument was acknowledged before me by Eric Grove this 13 day of July, 2016.

WITNESS my hand and official seal.

J. Marlene Wilson (Seal)  
(Notary Public)

My commission expires: 03/26/2019



Issued To:

Town of Jackson  
P.O. Box 1687  
Jackson, WY 83001  
(307)733-0440

Report No.: W-16467  
Effective Date: June 13, 2016  
Current Date: June 30, 2016  
Cost: \$350.00

Project Reference:

Property Address: 1255 West Highway 22, Jackson, WY 83001

County: Teton

1. According to the last deed appearing of public record, title to the fee simple estate or interest in the land described or referred to in this Report at the effective date hereof appears to be vested in:

F. S. D. Investments, LLC, a Wyoming limited liability company

2. The land referred to in this Report is described as follows:

See Exhibit "A" Attached Hereto and Made a Part Hereof

Issued By:

WYOMING TITLE & ESCROW, INC.  
Liz Jorgenson/Christina Feuz, Co-Managers  
Phone: 307.732.2983

**This Ownership and Encumbrance Report is not a Commitment for Title Insurance nor is it an Abstract of Title. This Ownership and Encumbrance Report is for informational purposes only, does not necessarily contain all defects, liens or encumbrances of record, and may not be relied upon as a representation of the record regarding the subject property, and no liability is assumed hereby. If it is desired that liability be assumed prior to the issuance of a policy of title insurance, a Binder or Commitment should be requested.**

## EXHIBIT "A" LEGAL DESCRIPTION

A TRACT OF LAND LYING WITHIN THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER OF SECTION 32, TOWNSHIP 41 NORTH, RANGE 116 WEST, TETON COUNTY, WYOMING AND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTHERLY RIGHT-OF-WAY OF STATE HIGHWAY 22, SAID POINT BEING MARKED BY A CONCRETE RIGHT-OF-WAY MARKER WITH BRASS CAP AND LYING SOUTH 18 DEGREES 36' 30" EAST, 1481.15 FEET FROM THE NORTH QUARTER CORNER OF SAID SECTION 32; THENCE NORTH 67 DEGREES 13' 30" EAST, 25.35 FEET ALONG THE RIGHT-OF-WAY OF SAID HIGHWAY 22 TO A POINT MARKED BY A CONCRETE RIGHT-OF-WAY MARKER WITH BRASS CAP; THENCE NORTH 23 DEGREES 36' 30" WEST, 54.13 FEET ALONG THE RIGHT-OF WAY OF SAID HIGHWAY 22 TO A POINT MARKED BY A 5/8" DIAMETER BY 16" LONG STEEL REINFORCING BAR WITH SURV-KAP INSCRIBED: "NELSON ENGR PE & LS 578", SAID POINT LYING ON THE NORTH LINE OF SAID SOUTHWEST QUARTER OF THE NORTHEAST QUARTER; THENCE SOUTH 88 DEGREES 35' EAST, 253.63 FEET ALONG THE NORTH LINE OF SAID SOUTHWEST QUARTER OF THE NORTHEAST QUARTER TO A POINT MARKED BY A 5/8" DIAMETER BY 16" LONG STEEL REINFORCING BAR WITH SURV-KAP INSCRIBED: "NELSON ENGR PF. & LS 578"; THENCE SOUTH 40 DEGREES 11' 30" EAST, 86.66 FEET TO A POINT MARKED BY A 3/8" DIAMETER B Y 12" LONG STEEL SPIKE; THENCE SOUTH 49 DEGREES 31' WEST, 292.50 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY OF SAID HIGHWAY 22 AND MARKED BY A 5/8" DIAMETER BY 16" LONG STEEL REINFORCING BAR WITH SURV-KAP INSCRIBED: "NELSON ENGR PE & LS 578"; THENCE NORTH 23 DEGREES 36' 30" WEST, 221.50 FEET ALONG THE NORTHERLY RIGHT-OF-WAY OF SAID HIGHWAY 22 TO THE POINT OF BEGINNING.

EXCEPTING THEREFROM ANY PORTION LYING WITHIN THE LEGAL DESCRIPTION DESCRIBED IN THE QUITCLAIM DEED RECORDED FEBRUARY 4, 2009 IN BOOK 719 PAGE 54, OFFICIAL RECORDS.

PIDN: 22-41-16-32-1-00-008

ENCUMBRANCES WHICH AFFECT THE SUBJECT PROPERTY APPEAR TO BE (BUT ARE NOT NECESSARILY LIMITED TO) THE FOLLOWING:

1. General taxes for the year 2016, a lien in the process of assessment, not yet due or payable.
2. Minerals of whatsoever kind, subsurface and surface substances, including but not limited to coal, lignite, oil, gas, uranium, clay, rock, sand and gravel in, on, under and that may be produced from the Land, together with all rights, privileges, and immunities relating thereto, whether or not appearing in the Public Records or listed in Schedule B. The Company makes no representation as to the present ownership of any such interests. There may be leases, grants, exceptions or reservations of interests that are not listed.
3. (a) Unpatented mining claims; (b) Reservations or exceptions in patents or in acts authorizing the issuance thereof; (c) water rights claims or title to water, (d) any right title or interest in any sand and gravel and/or minerals including access to and from to extract minerals, mineral rights, or related matters, including, but not limited to oil, gas, coal and other hydrocarbons, whether or not the matters excepted under (a), (b), (c) or (d) are shown by the public records.
4. Assessments for the Spring Creek Improvement and Service District, if any, which are excluded from the coverage afforded hereby.
5. An easement upon the terms, conditions and provisions contained therein for the purpose shown below and rights incidental thereto as granted to the State Of Wyoming in a document recorded December 22, 1938, as (book) 6 of deeds (page) 12, Official Records:  
Purpose: ROAD RIGHT OF WAY
6. An easement upon the terms, conditions and provisions contained therein for the purpose shown below and rights incidental thereto as granted to the State of Wyoming in a document recorded September 5, 1946, as (book) 6 OF MIXED RECORDS (page) 48-50, Official Records:  
Purpose: ROAD RIGHT OF WAY
7. Record of Survey recorded February 14, 1979, as (book) T-38A of Maps, Official Records.
8. Terms and Conditions in an agreement by and between Spring Creek Improvement and Sewer District and Jackson Hole Choice Meats, Inc., recorded June 10, 1998, as (book) 356 (page) 161, Official Records.
9. An easement over said land for electric distribution circuits and incidental purposes, as granted to Lower Valley Power and Light, Inc., recorded December 14, 1998, as (book) 367 (page) 432, Official Records.
10. Record of Survey recorded September 19, 2006, as (book) T-30F of Maps (page) 0, Official Records.
11. Unrecorded leaseholds, if any, rights of parties in possession other than the vestee(s) herein, rights of secured parties under financing statements as to personal property located on the premises herein and the rights of tenants to remove trade fixtures.
12. Mortgage to secure an indebtedness and any other obligations secured thereby in the amount of \$1,800,000.00, dated May 29, 2008, recorded May 30, 2008, as (book) 700 (page) 145, Official Records.  
Mortgagor: F.S.D. Investments, LLC, a Wyoming limited liability company  
Mortgagee: Bank of Jackson Hole

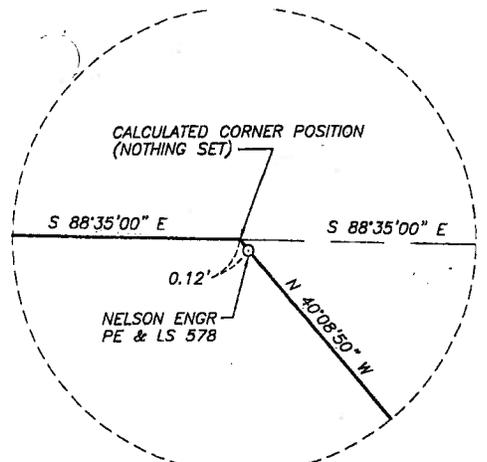
13. An assignment of all the money due or to become due as rental, as additional security for the obligations secured by the Mortgage shown hereinabove was assigned to Bank of Jackson Hole, recorded May 30, 2008, as (book) 700 (page) 152, Official Records.

\*\*\*\*\* End of Encumbrances \*\*\*\*\*

10.00'  
N 66°29'40" E

FOUND ALUMINUM CAP WYDOT WITNESS CORNER MONUMENT  
INSCRIBED:  
PROJ  
2000-00<036>  
WC10FT TO 686  
728  
DATE 2005  
PLS 482

STATE OF WYOMING



DETAIL  
(NOT TO SCALE)

FC

(0

NOTE: RIGHT-OF-WAY FOR WYOMING STATE HIGHWAY 22  
FROM MAP T-481, RECORDS OF TETON COUNTY, WYOMING

1323.27' N 88°35'00" W (Basis of Bearings, Map T-35A, Records of Teton County, Wyoming)

(REC: S 88°35' E, 253.63')  
S 88°35'00" E 252.76'

389.31'

262.31'

SEE DETAIL

SEE DETAIL

(REC: N 22°47'45" W, 54.13')  
N 22°47'45" W 53.93'

FOUND WYDOT CONCRETE/BRASS CAP MONUMENT  
INSCRIBED:  
PROJ  
2000-00<035>  
684  
DATE 2005  
PLS 482

25.12'  
N 67°16'51" E  
(REC: N 67°13'30" E, 25.35')

CONTROL SHED/  
MONITOR STATION

SUBJECT PROPERTY  
1255 W. HIGHWAY 22

CE-W  
FOUND 2" ST

(OFFICIAL LAN

NELSON ENGR  
PE & LS 578

FOUND BRASS CAP R.O.W. MONUMENT INSCRIBED:  
HWY ROW - PE-LS 578, 1998

41.2'  
GAS ATTENDANT SHACK

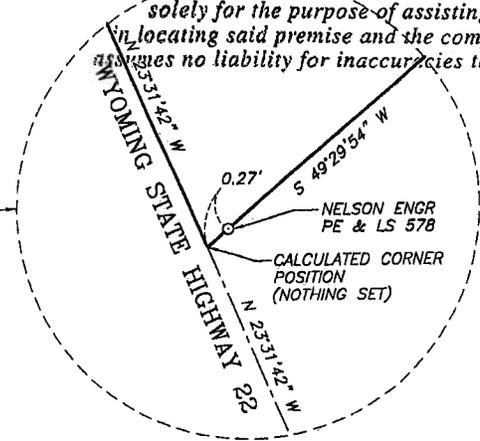
24' WIDE L/PL EASEMENT  
BK 387/76 432

CLARKS READY-MIX & CON:  
BK 264/753

**WTE**  
WYOMING TITLE & ESCROW  
A MOTHER LODGE COMPANY

This sketch is furnished without charge  
solely for the purpose of assisting  
in locating said premise and the company  
assumes no liability for inaccuracies therein.

292.55'  
S 49°29'54" W  
(REC: S 49°31' W, 292.50')



DETAIL  
(NOT TO SCALE)

FOUND WYDOT ALUMINUM CAP MONUMENT  
INSCRIBED:  
PROJ  
2000-006  
682  
DATE 2005 <036>  
PLS 482

56039-935

S 44°48'54" E  
6.48'

N 23°31'42" W  
77.15'

SEE DETAIL

WYOMING STATE HIGHWAY 22

QUITCLAIM DEED

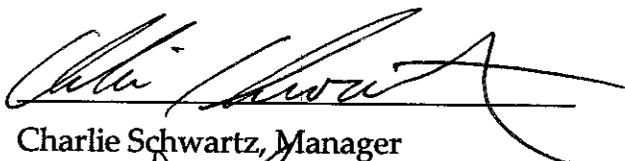
RELEASED	
INDEXED	
ABSTRACTED	<input checked="" type="checkbox"/>
SCANNED	

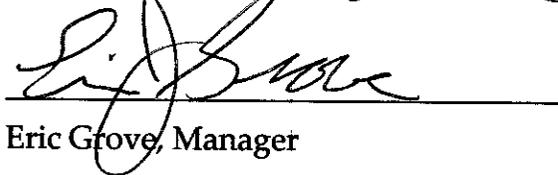
F.S.D. Investments, LLC, a Wyoming limited liability company, Grantor, for and in consideration of TEN DOLLARS and other good and valuable consideration, in hand paid, the receipt and sufficiency of which are hereby acknowledged, hereby CONVEYS and QUITCLAIMS to Clark's Ready Mix & Construction, Inc, a Wyoming corporation, Grantee, all interest in the following-described real property, situate in the County of Teton, State of Wyoming, hereby waiving and releasing all rights under and by virtue of the homestead exemption laws of the State of Wyoming, to wit:

See attached Exhibit A.

Dated this 3rd day of February, 2009.

F.S.D. Investments, LLC, a Wyoming limited liability company

  
 Charlie Schwartz, Manager

  
 Eric Grove, Manager

STATE OF WYOMING            )  
   ) ss.  
 COUNTY OF TETON            )

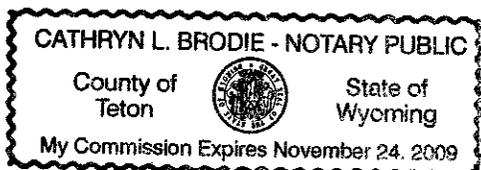
The foregoing instrument was acknowledged before me by Charlie Schwartz and Eric Grove, each a Manager of F.S.D. Investments, LLC, a Wyoming limited liability company, this 3rd day of February, 2009.

Witness my hand and official seal.

  
 Notary Public

My Commission Expires:

11.24.09



GRANTOR: FSD INVESTMENTS LLC  
 GRANTEE: CLARKS READY MIX & CONSTRUCTION INC  
 Doc 0746120 bk 719 pg 54-56 Filed At 15:52 ON 02/04/09  
 Sherry L. Daigle Teton County Clerk fees: 14.00  
 By Michele Fairhurst Deputy

EXHIBIT A  
LEGAL DESCRIPTION  
CLARK'S READY MIX PROPERTY

A Parcel of Land located in the SW1/4 NE1/4 of Section 32, Township 41 North, Range 116 West, 6<sup>th</sup> P.M., Town of Jackson, Teton County, Wyoming, being that parcel described in that Memorandum of Sale Agreement in Book 264, pages 753-759, records of Teton County, and being more particularly described as follows:

Beginning at the CE-W-NE 1/256th corner of Said Section 32, a brass cap set and appropriately inscribed by the Bureau of Land Management;

Thence along the north line of Said SW1/4 NE1/4, S88°36'56"E, 154.99 feet to the northwesterly corner of that tract described in Book 12 of Mortgages page 240, records of Teton County;

Thence along the westerly boundary line of said tract in Book 12 of Mortgages, S00°09'05"W, 274.90 feet to the southwest corner of said tract, the northwesterly corner of that tract described and conveyed in Book 88 of photo page 597, records of Teton County;

Thence along the southerly boundary line of said tract in Book 12 of Mortgages, the northerly boundary of said tract in Book 88 of photos, S89°57'48"E, 112.12 feet to the southeasterly corner of said tract in Book 12 of Mortgages, the northeasterly corner of said tract in Book 88 of photos;

Thence along the easterly boundary line of said tract in Book 88 of Photos, S02°50'09"W, 250.27 feet to the southeasterly corner of said tract;

thence along the southerly boundary line of said tract and continuing along the northerly line of that tract in Book 30 of photos pages 154-156, records of Teton County, N89°54'00"W, 228.43 feet to the northwesterly corner of said tract in Book 30 of photos,

Thence along the westerly boundary line of said tract in Book 30 of photos, S00°13'43"W, 239.22 feet to a point on the northerly right-of-way line of Wyoming Highway 22;

Thence along said right-of-way line through the following courses and distances:

Northwesterly along a circular curve to the right having a radius of 904.93 feet, a chord of 24.00 feet bearing N62°30'16"W, through a central angle of 01°31'11", an arc distance of 24.00 feet to an aluminum cap on iron pipe monument set and inscribed by Cloey Wall, Wyoming PLS 482;

Northwesterly along a circular curve to the right having a radius of 507.70 feet, a chord of 93.53 feet bearing N45°05'47"W, through a central angle of 10°34'12", an arc distance of 93.66 feet to an aluminum cap on iron pipe monument set and inscribed by Cloey Wall, Wyoming PLS 482; N39°52'56"W, 49.70 feet to an aluminum cap on iron pipe monument set and inscribed by Cloey Wall, Wyoming PLS 482;

S50°40'28"W, 35.59 to an aluminum cap on iron pipe monument set and inscribed by Cloey Wall, Wyoming PLS 482;

Northwesterly along a circular curve to the right having a radius of 904.93 feet, a chord of 208.82 feet bearing N45°37'20"W, through a central angle of 13°15'03", an arc distance of 209.28 to the southwest corner of that

legal description  
Clark's Ready Mix

tract described and conveyed in Book 397 pages 1112-1114, records of Teton County;  
Thence along the boundary of said tract in Book 397 through the following courses and distances:

S89°47'55"E, 25.72 feet;  
N52°58'35"E, 150.15 feet;  
N14°09'35"E, 21.02 feet;  
N33°55'35"W, 94.18 feet;  
N83°23'45"W, 22.86 feet;  
S65°42'35"W, 173.08 feet to a point on the northeasterly right-of-way line of Wyoming Highway 22;

Thence northwesterly along said right-of-way line along a circular curve to the right having a radius of 904.93 feet, a chord of 98.40 feet bearing N26°38'34"W, through a central angle of 06°14'00", an arc distance of 98.45 feet to an aluminum cap on iron pipe monument set and inscribed by Cloey Wall, Wyoming PLS 482;

Thence continuing along said right-of-way, N23°29'27"W, 77.16 feet to a 5/8" steel reinforcing bar with aluminum cap inscribed "PE & LS 578", the southwesterly corner of that tract described and conveyed in Book 700, pages 143-144, records of Teton County;

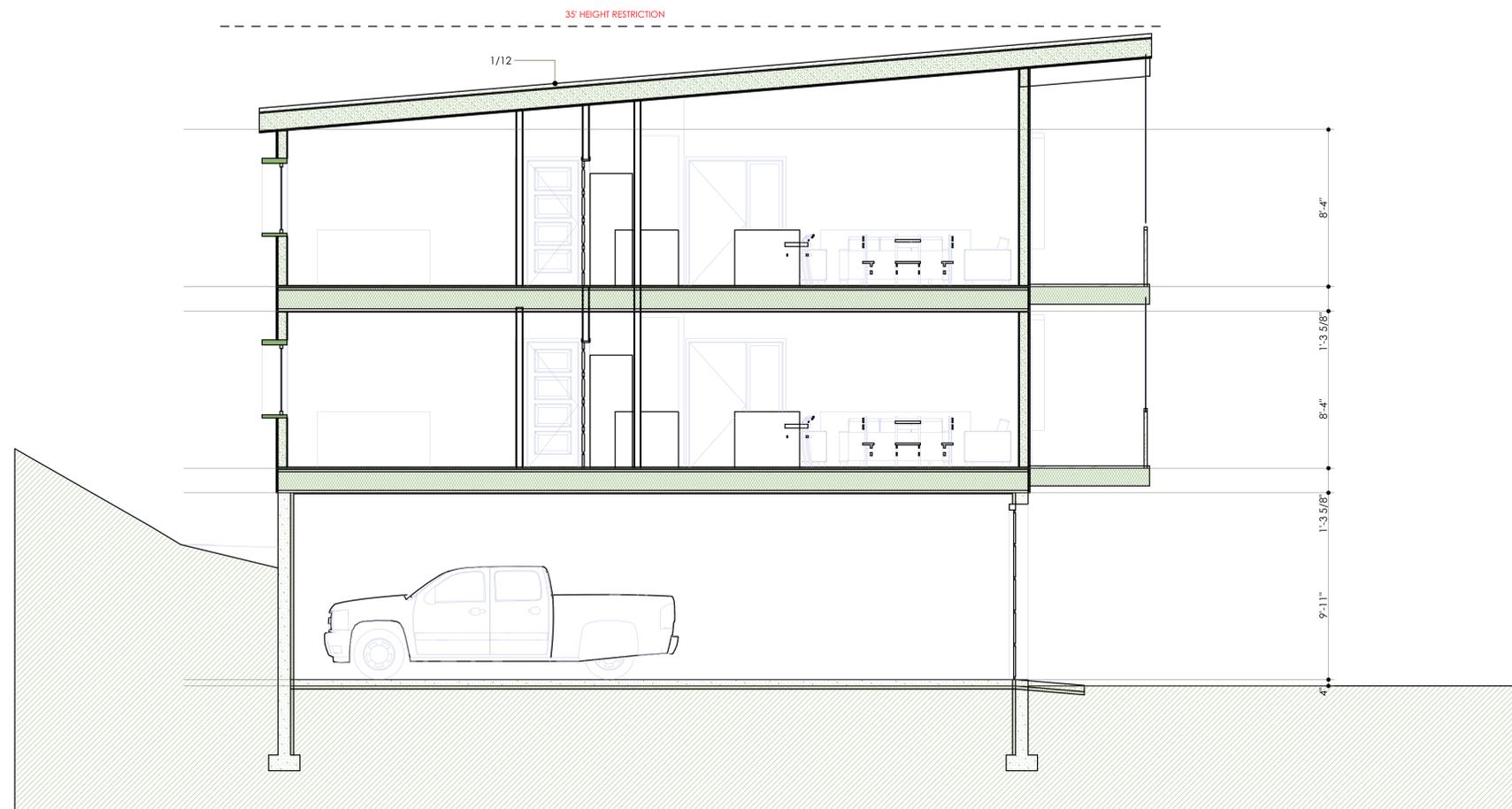
Thence along the boundary of said tract in Book 700 through the following courses and distances:

N49°31'25"E, 292.49 feet to a 12" steel spike;  
N40°08'14"W, 86.64 feet to a 5/8" steel reinforcing bar with aluminum cap inscribed "PE & LS 578", the northeasterly corner of said tract in Book 700 and a point on the north line of Said SW1/4 NE1/4;

Thence along said north line, S88°36'56"E, 262.22 feet to the Corner of Beginning.

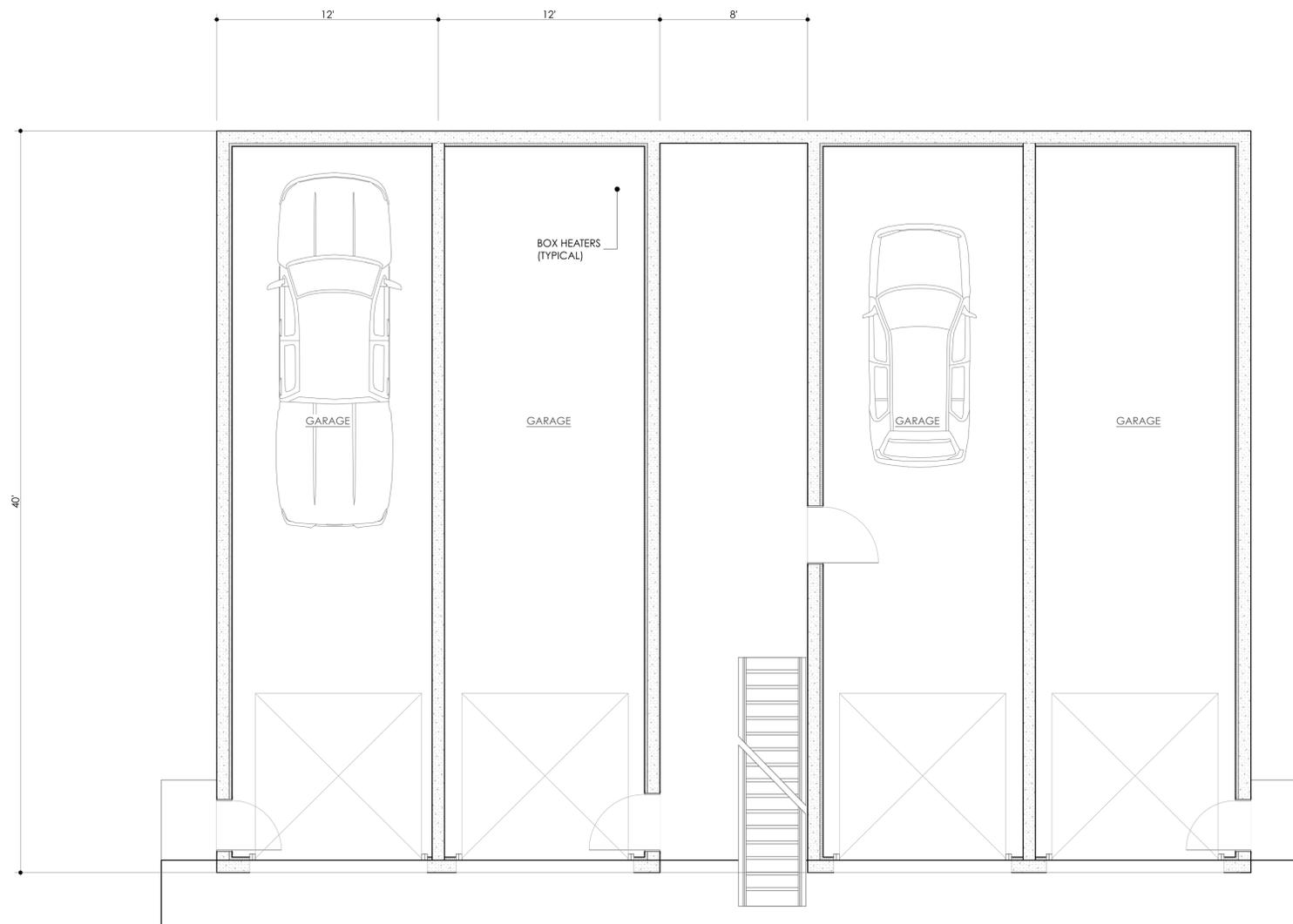
Said Parcel described herein containing 6.77 acres, more or less, and subject to easements, rights-of-way, reservations, and restrictions, of sight and/or of record.

This description is written to clarify and correct the description in that Memorandum of Sale Agreement in Book 264, pages 753-759, records of Teton County, and to reflect the location of the right-of-way line of Wyoming Highway 22 as surveyed and monumented in 2005.



CROSS SECTION - LOWER UNIT

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN - LOWER UNIT

SCALE: 1/4" = 1'-0"



DESIGN ASSOCIATES ARCHITECTS  
50 S. KING, STE 201 JACKSON WY  
(307) 733 3600

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REVISION HISTORY

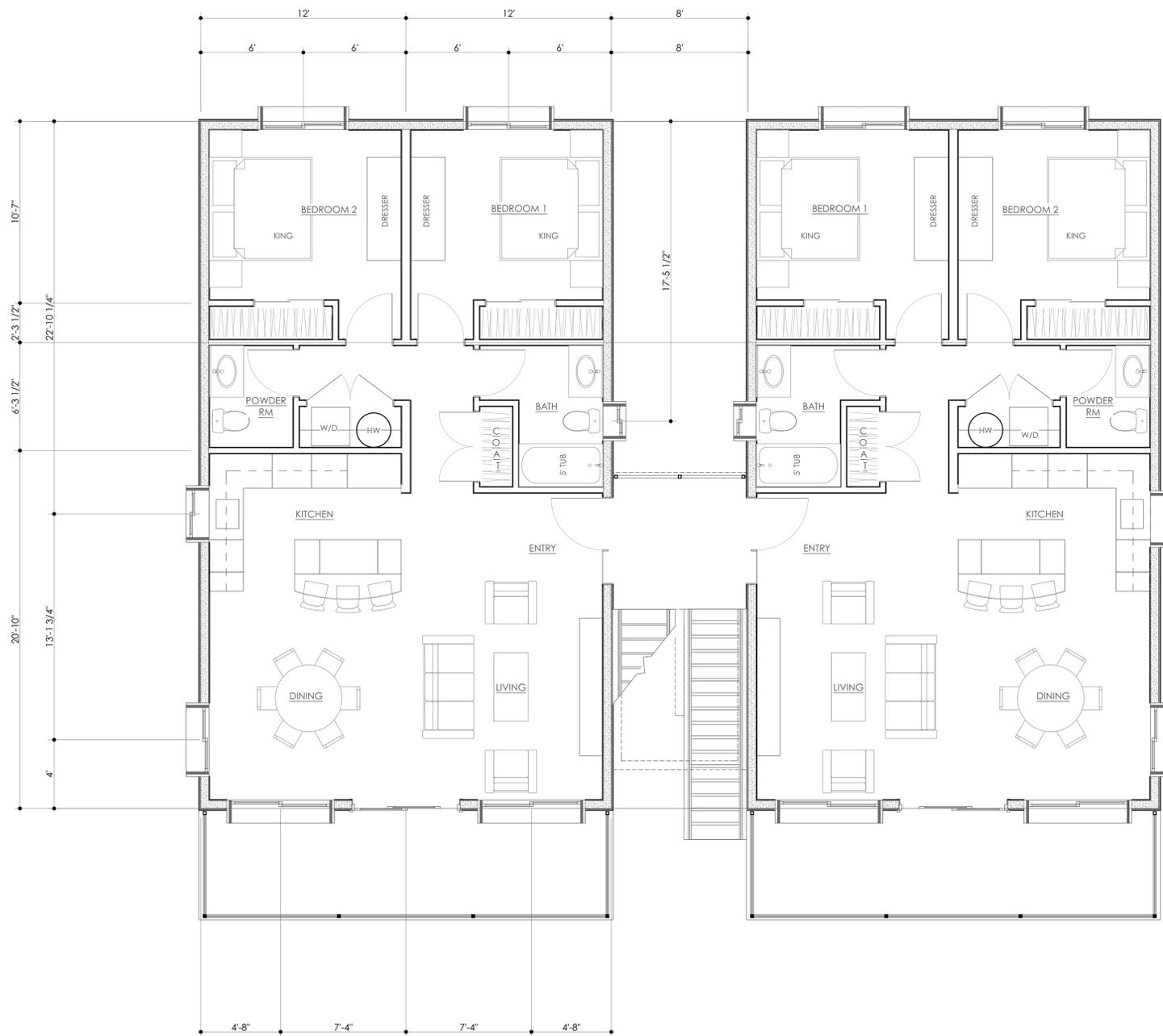
SYMB	CHANGE	DATE
1	PRELIMINARY	7-22-15
2	PRELIMINARY	8-4-15
3	PRELIMINARY	8-5-15
4	PRELIMINARY	8-25-15
5	PRELIMINARY	9-10-15
6	PRELIMINARY	5-25-16

**WESTVIEW TOWN HOMES**  
1255 WEST HWY 22  
JACKSON, WY

PRELIMINARY DESIGN  
9-10-15

**A200**

PLAN



SECOND FLOOR PLAN - LOWER UNIT

SCALE: 1/4" = 1'-0"



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REVISION HISTORY		
SYMB	CHANGE	DATE
1	PRELIMINARY	7-22-15
2	PRELIMINARY	8-4-15
3	PRELIMINARY	8-5-15
4	PRELIMINARY	8-25-15
5	PRELIMINARY	9-10-15
6	PRELIMINARY	5-25-16

**WESTVIEW TOWN HOMES**  
 1255 WEST HWY 22  
 JACKSON, WY

PRELIMINARY DESIGN  
 9-10-15

**A201**

PLAN



THIRD FLOOR PLAN - LOWER UNIT

SCALE: 1/4" = 1'-0"



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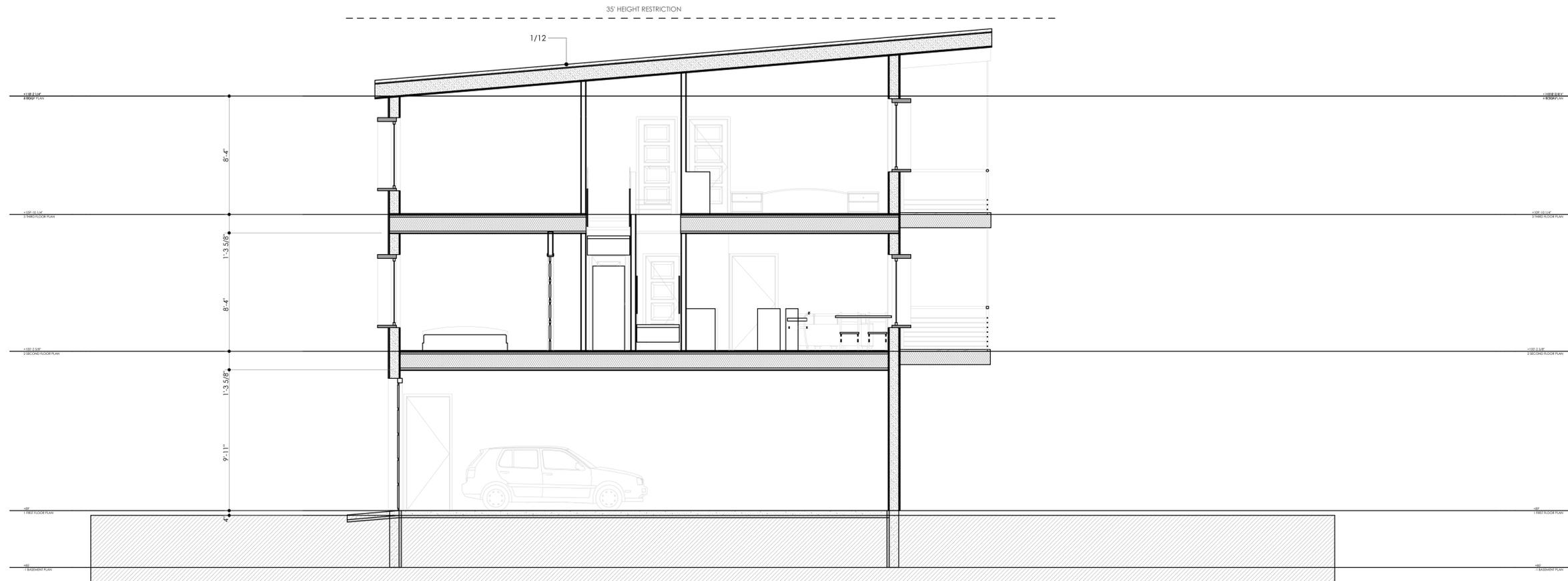
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SYMB	CHANGE	DATE
1	PRELIMINARY	7-22-15
2	PRELIMINARY	8-4-15
3	PRELIMINARY	8-5-15
4	PRELIMINARY	8-25-15
5	PRELIMINARY	9-10-15
6	PRELIMINARY	5-25-16

**WESTVIEW TOWN HOMES**  
1255 WEST HWY 22  
JACKSON, WY

PRELIMINARY DESIGN  
9-10-15

**A202**

PLAN



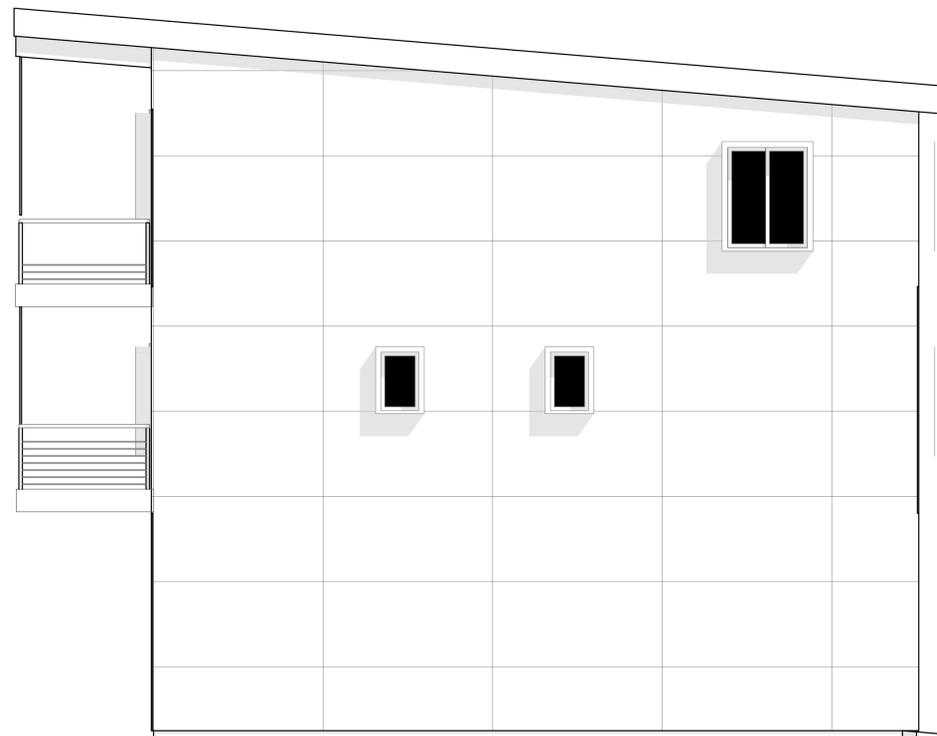
CROSS SECTION - UPPER UNIT

SCALE: 1/4" = 1'-0"



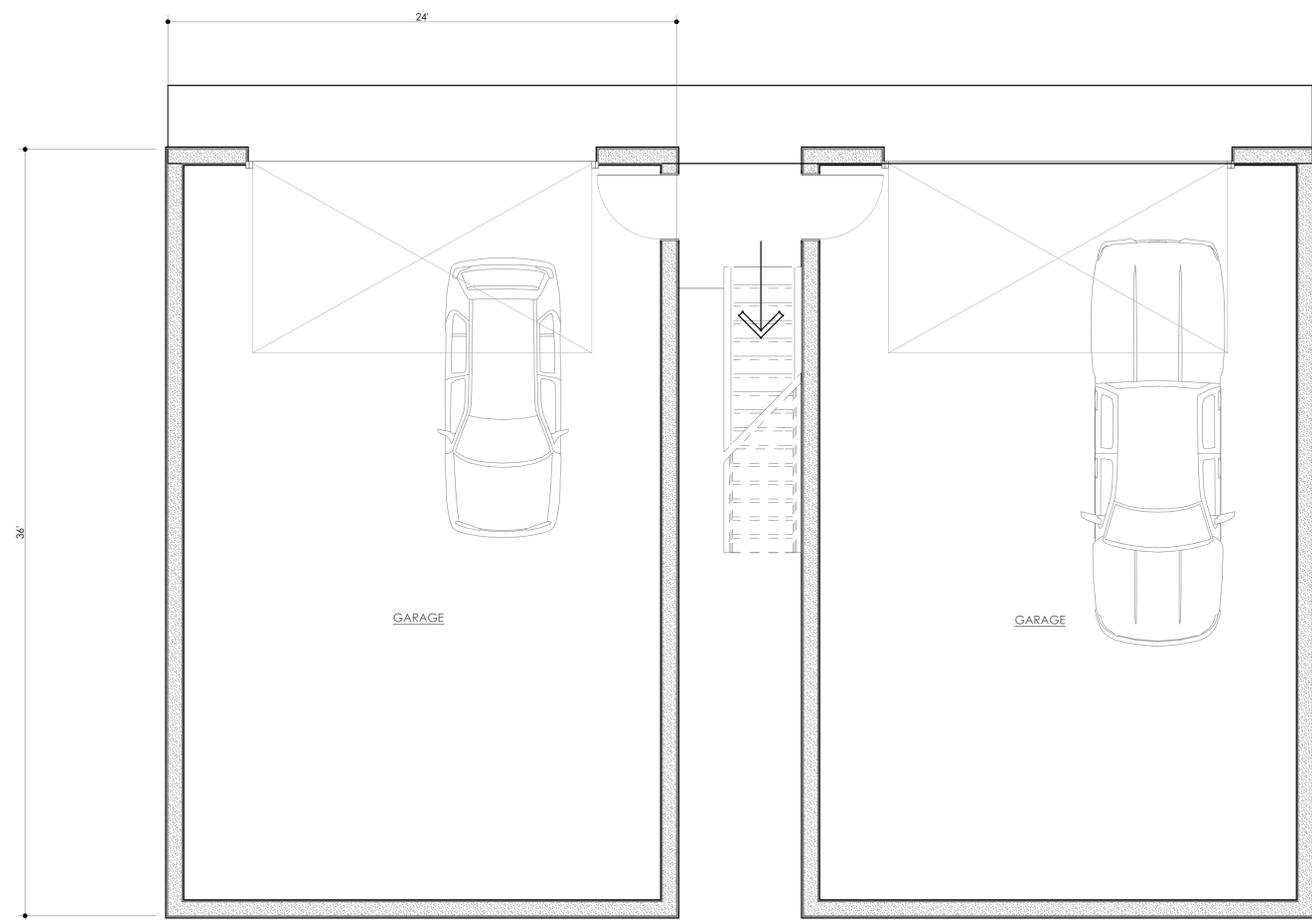
FRONT ELEVATION - UPPER UNIT

SCALE: 1/4" = 1'-0"



RIGHT ELEVATION - UPPER UNIT

SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN - UPPER UNIT  
SCALE: 1/4" = 1'-0"



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REVISION HISTORY

SYMB	CHANGE	DATE
1	PRELIMINARY	7-22-15
2	PRELIMINARY	8-4-15
3	PRELIMINARY	8-5-15
4	PRELIMINARY	8-25-15
5	PRELIMINARY	9-10-15
6	PRELIMINARY	5-25-16

**WESTVIEW TOWN HOMES**  
1255 WEST HWY 22  
JACKSON, WY

PRELIMINARY DESIGN  
9-10-15

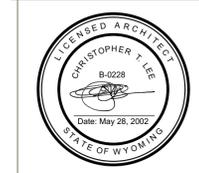
**A203**

PLAN

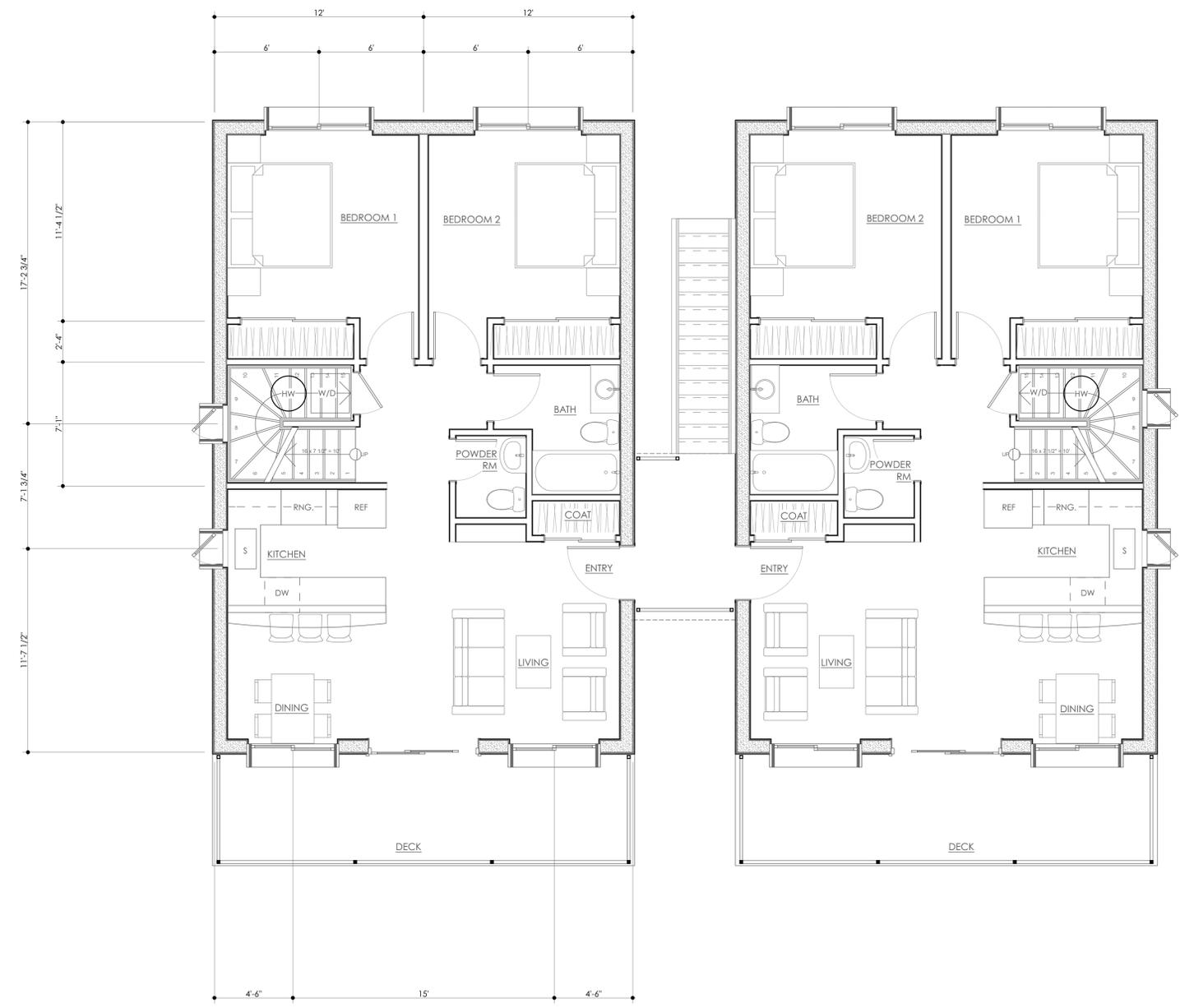


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REVISION HISTORY		
SYMB	CHANGE	DATE
1	PRELIMINARY	7-22-15
2	PRELIMINARY	8-4-15
3	PRELIMINARY	8-5-15
4	PRELIMINARY	8-25-15
5	PRELIMINARY	9-10-15
6	PRELIMINARY	5-25-16



SECOND FLOOR PLAN - UPPER UNIT  
SCALE: 1/4" = 1'-0"

**WESTVIEW TOWN HOMES**  
1255 WEST HWY 22  
JACKSON, WY

PRELIMINARY DESIGN  
9-10-15

**A204**

PLAN



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REVISION HISTORY

SYMB	CHANGE	DATE
1	PRELIMINARY	7-22-15
2	PRELIMINARY	8-4-15
3	PRELIMINARY	8-5-15
4	PRELIMINARY	8-25-15
5	PRELIMINARY	9-10-15
6	PRELIMINARY	5-25-16



THIRD FLOOR PLAN - UPPER UNIT

SCALE: 1/4" = 1'-0"

**WESTVIEW TOWN HOMES**  
1255 WEST HWY 22  
JACKSON, WY

PRELIMINARY DESIGN  
9-10-15

**A205**

PLAN

**STORMWATER MANAGEMENT  
RATIONAL METHOD FOR RUNOFF CALCULATIONS  
PRE-DEVELOPED FLOW RATE - 25 YEAR**

Design Storm Frequency = 25 years

Discharge Rate, d = 0.00 cfs

Surface Type	Area A (ft <sup>2</sup> )	Area (acres)	Runoff Coefficient C	Frequency Factor C <sub>f</sub>	C x C <sub>f</sub>	Calculati on Value C'	C' x A (acres)
Asphalt and Concrete	16,090	0.37	0.95	1.1	1.045	1	0.37
Roofs	3,370	0.08	0.95	1.1	1.045	1	0.08
Gravel Road	7,730	0.18	0.85	1.1	0.935	0.935	0.17
Lawn, Sandy, Average, 2 to 7	3,560	0.08	0.13	1.1	0.143	0.143	0.01
Lawn, Sandy, Steep, 7%+	16,990	0.39	0.18	1.1	0.198	0.198	0.08
<b>Totals</b>	<b>47740.00</b>	<b>1.10</b>					<b>0.72</b>

Weighted Runoff Coefficient,  $C_{wd} = \frac{\sum C_j A_j}{\sum A_j} = 0.60$        $C_{wd} \times C_f = 0.66$   
 $C_{wd} \times C_f \times \sum A_j = 0.72$

Time of Concentration = 5 minutes

Water Quantity Calculations			
Rainfall Duration, t (min)	Rainfall Intensity, i (in/hr)	Runoff Volume (ft <sup>3</sup> )	Peak Flow (ft <sup>3</sup> /sec)
1	0	0.00	0.00
5	2.15	469.36	1.55
10	1.7	742.25	1.23
15	1.41	923.44	1.02
20	1.25	1091.54	0.90
30	1.01	1322.95	0.73
40	0.85	1484.49	0.61
50	0.73	1593.65	0.53
60	0.64	1676.61	0.46
70	0.58	1772.66	0.42
80	0.52	1816.32	0.38
90	0.48	1886.18	0.35
100	0.45	1964.77	0.32

Peak Flow Rate = 1.55 cfs

**STORMWATER MANAGEMENT  
RATIONAL METHOD FOR RUNOFF CALCULATIONS  
POST-DEVELOPMENT - 25YEAR EVENT**

Design Storm Frequency = 25 years

Discharge Rate, d = 1.55 cfs

Surface Type	Area A (ft <sup>2</sup> )	Area (acres)	Runoff Coefficient C	Frequency Factor C <sub>f</sub>	C x C <sub>f</sub>	Calculation Value C'	C' x A (acres)
Asphalt and Concrete	13,740	0.32	0.95	1.1	1.045	1	0.32
Roofs	12,940	0.30	0.95	1.1	1.045	1	0.30
Lawn, Heavy, Average, 2 to 7%	6,850	0.16	0.2	1.1	0.22	0.22	0.03
Lawn, Heavy, Steep, 7%+	14,210	0.33	0.3	1.1	0.33	0.33	0.11
Lawn, Heavy, Flat, 2%		0.00	0.15	1.1	0.165	0.165	0.00
<b>Totals</b>	<b>47740</b>	<b>1.10</b>					<b>0.78</b>

Weighted Runoff Coefficient,  $C_{wd} = \frac{\sum C_i A_i}{\sum A_i} = 0.65$        $C_{wd} \times C_f = 0.71$   
 $C_{wd} \times C_f \times \sum A_i = 0.78$

Time of Concentration = 5 minutes

Water Quantity Calculations					
Rainfall Duration, t (min)	Rainfall Intensity, i (in/hr)	Runoff Volume (ft <sup>3</sup> )	Discharge Volume (ft <sup>3</sup> )	Site Detention (ft <sup>3</sup> )	Peak Flow (ft <sup>3</sup> /sec)
5	2.15	508.79	465.48	43.30	1.68
10	1.7	804.59	930.97	-126.37	1.33
15	1.41	1001.01	1396.45	-395.44	1.10
20	1.25	1183.23	1861.93	-678.71	0.98
30	1.01	1434.07	2792.90	-1358.83	0.79
40	0.85	1609.19	3723.87	-2114.68	0.66
50	0.73	1727.51	4654.83	-2927.32	0.57
60	0.64	1817.43	5585.80	-3768.36	0.50
70	0.58	1921.56	6516.76	-4595.21	0.45
80	0.52	1968.89	7447.73	-5478.84	0.41
90	0.48	2044.61	8378.70	-6334.08	0.38
100	0.45	2129.81	9309.66	-7179.86	0.35

Water Quantity Storage Required = 43 ft<sup>3</sup>  
 = 324 gallons

Peak Flow Rate = 1.68 cfs

**STORMWATER MANAGEMENT  
RATIONAL METHOD FOR RUNOFF CALCULATIONS  
PRE-DEVELOPED FLOW RATE - 50 YEAR**

Design Storm Frequency = 50 years

Discharge Rate, d = 0.00 cfs

Surface Type	Area A (ft <sup>2</sup> )	Area (acres)	Runoff Coefficient C	Frequency Factor C <sub>f</sub>	C x C <sub>f</sub>	Calculati on Value C'	C' x A (acres)
Asphalt and Concrete	16,090	0.37	0.95	1.2	1.14	1	0.37
Roofs	3,370	0.08	0.95	1.2	1.14	1	0.08
Gravel Road	7,730	0.18	0.85	1.2	1.02	1	0.18
Lawn, Sandy, Average, 2 to 7	3,560	0.08	0.13	1.2	0.156	0.156	0.01
Lawn, Sandy, Steep, 7%+	16,990	0.39	0.18	1.2	0.216	0.216	0.08
<b>Totals</b>	<b>47740.00</b>	<b>1.10</b>					<b>0.79</b>

Weighted Runoff Coefficient,  $C_{wd} = \frac{\sum C_j A_j}{\sum A_j} = 0.60$        $C_{wd} \times C_f = 0.72$   
 $C_{wd} \times C_f \times \sum A_j = 0.79$

Time of Concentration = 5 minutes

Water Quantity Calculations			
Rainfall Duration, t (min)	Rainfall Intensity, i (in/hr)	Runoff Volume (ft <sup>3</sup> )	Peak Flow (ft <sup>3</sup> /sec)
1	0	0.00	0.00
5	2.54	604.91	2.00
10	2	952.62	1.57
15	1.64	1171.72	1.29
20	1.43	1362.24	1.13
30	1.14	1628.97	0.90
40	0.97	1848.08	0.76
50	0.85	2024.31	0.67
60	0.75	2143.39	0.59
70	0.68	2267.23	0.54
80	0.6	2286.28	0.47
90	0.56	2400.59	0.44
100	0.52	2476.80	0.41

Peak Flow Rate = 2.00 cfs

**STORMWATER MANAGEMENT  
RATIONAL METHOD FOR RUNOFF CALCULATIONS  
POST-DEVELOPMENT - 50 YEAR EVENT**

Design Storm Frequency = 50 years

Discharge Rate, d = 2.00 cfs

Surface Type	Area A (ft <sup>2</sup> )	Area (acres)	Runoff Coefficient C	Frequency Factor C <sub>f</sub>	C x C <sub>f</sub>	Calculati on Value C'	C' x A (acres)
Asphalt and Concrete	13,740	0.32	0.95	1.2	1.14	1	0.32
Roofs	12,940	0.30	0.95	1.2	1.14	1	0.30
Lawn, Heavy, Average, 2 to 7%	6,850	0.16	0.2	1.2	0.24	0.24	0.04
Lawn, Heavy, Steep, 7%+	14,210	0.33	0.3	1.2	0.36	0.36	0.12
		0.00	0	1.2	0	0	0.00
<b>Totals</b>	<b>47740</b>	<b>1.10</b>					<b>0.85</b>

Weighted Runoff Coefficient, C<sub>wd</sub> =  $\frac{\sum C_j A_j}{\sum A_j} = 0.65$       C<sub>wd</sub> x C<sub>f</sub> = 0.78  
 C<sub>wd</sub> x C<sub>f</sub> x ΣA<sub>j</sub> = 0.85

Time of Concentration = 5 minutes

Rainfall Duration, t (min)	Water Quantity Calculations				
	Rainfall Intensity, i (in/hr)	Runoff Volume (ft <sup>3</sup> )	Discharge Volume (ft <sup>3</sup> )	Site Detention (ft <sup>3</sup> )	Peak Flow (ft <sup>3</sup> /sec)
5	2.54	655.72	599.91	55.81	2.17
10	2	1032.63	1199.82	-167.19	1.71
15	1.64	1270.14	1799.74	-529.60	1.40
20	1.43	1476.67	2399.65	-922.98	1.22
30	1.14	1765.80	3599.47	-1833.67	0.97
40	0.97	2003.31	4799.30	-2795.99	0.83
50	0.85	2194.35	5999.12	-3804.78	0.73
60	0.75	2323.43	7198.95	-4875.52	0.64
70	0.68	2457.67	8398.77	-5941.11	0.58
80	0.6	2478.32	9598.60	-7120.28	0.51
90	0.56	2602.24	10798.42	-8196.19	0.48
100	0.52	2684.85	11998.25	-9313.40	0.44

Water Quantity Storage Required = 56 ft<sup>3</sup>  
 = 417 gallons

Peak Flow Rate = 2.17 cfs

**STORMWATER MANAGEMENT  
RATIONAL METHOD FOR RUNOFF CALCULATIONS  
PRE-DEVELOPED FLOW RATE - 100 YEAR**

Design Storm Frequency = 100 years

Discharge Rate, d = 0.00 cfs

Surface Type	Area A (ft <sup>2</sup> )	Area (acres)	Runoff Coefficient C	Frequency Factor C <sub>f</sub>	C x C <sub>f</sub>	Calculati on Value C'	C' x A (acres)
Asphalt and Concrete	16,090	0.37	0.95	1.25	1.1875	1	0.37
Roofs	3,370	0.08	0.95	1.25	1.1875	1	0.08
Gravel Road	7,730	0.18	0.85	1.25	1.0625	1	0.18
Lawn, Sandy, Average, 2 to 7	3,560	0.08	0.13	1.25	0.1625	0.1625	0.01
Lawn, Sandy, Steep, 7%+	16,990	0.39	0.18	1.25	0.225	0.225	0.09
<b>Totals</b>	<b>47740.00</b>	<b>1.10</b>					<b>0.82</b>

Weighted Runoff Coefficient,  $C_{wd} = \frac{\sum C_j A_j}{\sum A_j} = 0.60$        $C_{wd} \times C_f = 0.75$   
 $C_{wd} \times C_f \times \sum A_j = 0.82$

Time of Concentration = 5 minutes

Water Quantity Calculations			
Rainfall Duration, t (min)	Rainfall Intensity, i (in/hr)	Runoff Volume (ft <sup>3</sup> )	Peak Flow (ft <sup>3</sup> /sec)
1	0	0.00	0.00
5	3	744.23	2.46
10	2.33	1156.04	1.91
15	1.9	1414.04	1.56
20	1.65	1637.31	1.35
30	1.3	1935.00	1.07
40	1.08	2143.39	0.89
50	0.95	2356.73	0.78
60	0.82	2441.08	0.67
70	0.74	2570.08	0.61
80	0.65	2580.00	0.53
90	0.61	2723.89	0.50
100	0.56	2778.47	0.46

Peak Flow Rate = 2.46 cfs

**STORMWATER MANAGEMENT  
RATIONAL METHOD RUNOFF CALCULATIONS  
POST-DEVELOPMENT - 100 YEAR EVENT**

Design Storm Frequency = 100 years

Discharge Rate, d = 2.46 cfs

Surface Type	Area A (ft <sup>2</sup> )	Area (acres)	Runoff Coefficient C	Frequency Factor C <sub>f</sub>	C x C <sub>f</sub>	Calculati on Value C'	C' x A (acres)
Asphalt and Concrete	13,740	0.32	0.95	1.25	1.1875	1	0.32
Roofs	12,940	0.30	0.95	1.25	1.1875	1	0.30
Lawn, Heavy, Average, 2 to 7%	6,850	0.16	0.2	1.25	0.25	0.25	0.04
Lawn, Heavy, Steep, 7%+	14,210	0.33	0.3	1.25	0.375	0.375	0.12
		0.00	0	1.25	0	0	0.00
<b>Totals</b>	<b>47740</b>	<b>1.10</b>					<b>0.89</b>

Weighted Runoff Coefficient,  $C_{wd} = \frac{\sum C_j A_j}{\sum A_j} = 0.65$        $C_{wd} \times C_f = 0.81$   
 $C_{wd} \times C_f \times \sum A_j = 0.89$

Time of Concentration = 5 minutes

Rainfall Duration, t (min)	Water Quantity Calculations				
	Rainfall Intensity, i (in/hr)	Runoff Volume (ft <sup>3</sup> )	Discharge Volume (ft <sup>3</sup> )	Site Detention (ft <sup>3</sup> )	Peak Flow (ft <sup>3</sup> /sec)
5	3	806.74	738.08	68.66	2.67
10	2.33	1253.14	1476.16	-223.02	2.07
15	1.9	1532.82	2214.24	-681.43	1.69
20	1.65	1774.84	2952.32	-1177.49	1.47
30	1.3	2097.54	4428.49	-2330.95	1.16
40	1.08	2323.43	5904.65	-3581.22	0.96
50	0.95	2554.69	7380.81	-4826.12	0.84
60	0.82	2646.12	8856.97	-6210.85	0.73
70	0.74	2785.96	10333.14	-7547.18	0.66
80	0.65	2796.72	11809.30	-9012.58	0.58
90	0.61	2952.69	13285.46	-10332.77	0.54
100	0.56	3011.85	14761.62	-11749.77	0.50

Water Quantity Storage Required = 69 ft<sup>3</sup>  
 = 514 gallons

Peak Flow Rate = 2.67 cfs

BY: AJ  
Date: 07/20/2016

Average Day Occupancy Rate	50%
Max Day Factor, MDF	2.72
Peak Hour Factor <sup>2</sup> , PHF	6

WATER DEMAND							
	a			b	c=a*b	d=MDF*c	e=d/1440 * PHF
	Number of Units	Bedroom Count	Total Bedrooms	Average gpd/bdrm <sup>1</sup>	Average TOTAL, gpd	Maximum TOTAL, gpd	PEAK HOUR, gpm
Unit, 2 Bdrm <sup>3</sup>	16	2	32	125	4000	10880	45.3
Unit, 3 Bdrm <sup>3</sup>	4	3	12	125	1500	4080	17.0
Subtotal Housing					5,500	14,960	62.3
	Quantity	Unit		Average inch/day	Average TOTAL, gpd	Maximum TOTAL, gpd	PEAK HOUR, gpm
Irrigation System	15,000	SF		0.25	2338	4675	19.5
Subtotal Irrigation					2,338	4,675	19.5
<b>TOTALS</b>					<b>7,838</b>	<b>19,635</b>	<b>82</b>

FIRE SUPPRESSION							
Total Pod Size	Building Type	Required Pressure <sup>4</sup>		Required Duration <sup>4</sup>	Total Fire Flow <sup>4</sup>	Sprinkler Reduction <sup>5</sup>	Adjusted Fire Flow <sup>5</sup>
(SF)	(IBC)	(psi)		(hours)	(gpm)	(%)	(gpm)
3,840	V-B	20		2	1750	75%	1500

Note:

<sup>1</sup> Based on daily rates from the WYDEQ CH 12, Section 8

<sup>2</sup> Peak Hour Factor based on busiest hour occurring during the busiest quarter of the day.

<sup>3</sup> Bedroom count shown PRELIMINARY, subject to change

<sup>4</sup> IFC - Appendix B, Table B105.1, Type V-B

<sup>5</sup> IFC - Appendix B, Section B105.2, 75% reduction for automatic sprinkler systems, minimum 1500 gpm

BY: AJ

Date: 07/20/2016

**WATER DEMAND - M22 FIXTURE CALCULATION**

	<b>Fixture</b>	<b>Fixtures per Unit</b>	<b>No. of Units</b>	<b>Total Fixtures</b>	<b>Fixture Value*</b>	<b>Total Fixture Value</b>
<b>Townhome, Lower Units</b>	Lavatory Sink	2	<b>16</b>	32	1.5	48
2 Bedroom, 2 Bathroom**	Bathtub	2		32	8	256
	Toilet	2		32	6	192
	Kitchen Sink	1		16	1.8	29
	Dishwasher	1		16	1.3	21
	Laundry Machine	1		16	3	48
<b>Townhome, Upper Units</b>	Lavatory Sink	4	<b>4</b>	16	1.5	24
3 Bedroom, 3 Bathroom**	Bathtub	2		8	8	64
	Shower	1		4	2.5	10
	Toilet	3		12	6	72
	Kitchen Sink	1		4	1.8	7
	Dishwasher	1		4	1.3	5
	Laundry Machine	1		4	3	12
<b>TOTAL FIXTURE VALUE</b>						<b>788</b>

Probable Water Flow Demand (AWWA M22 - Figure 4-2) 58  
 Design Pressure Adjustment Factor (AWWA M22 - 80 psi) 1.17  
 Adjusted Probable Demand (gpm)\*\*\* **67.86**

Note:

\*Fixture Value based on AWWA M22

\*\*Bedroom count shown PRELIMINARY, subject to change

\*\*\*Domestic use only, no irrigation

WESTVIEW TOWNHOMES  
 1255 W HWY 22, FDP  
 JA Project No. 09040.03

FDP Utility Study  
 SANITARY SEWER DEMAND

**JORGENSEN ASSOCIATES, PC**  
 PO Box 9550  
 Jackson, WY 83002  
 307.733.5150

BY: AJ  
 Date: 07/20/2016

Average Day Occupancy **50%**

WASTEWATER SYSTEM						
	No. of Units	Bedroom Count**	Total Bedrooms	Flow Per Bedroom*	Maximum Day Loading, gpd	Average Day Loading, gpd
Townhome, 2 Bedroom Unit	16	2	32	150	4800	2400
Townhome, 3 Bedroom Unit	4	3	12	150	1800	900
<b>TOTAL PROJECT WASTEWATER</b>					<b>6,600</b>	<b>3,300</b>
				Loading, gpm	5 gpm	
Peak Factor				3	15 gpm	

Note:

\*Based on daily flow rates from the WYDEQ CH 11, Part B, Table 1

\*\*Bedroom count shown PRELIMINARY, subject to change

Park Exactions			
Bedrooms	# of Units	Person per units	People
studio	0	1.25	0
1	0	1.75	0
2	20	2.25	45
3	0	3	0
4	0	3.75	0
5	0	4.5	0
6	0	#1	0
Dorm	0	#2	0
Total Units	20	Total Population	45
#1	Multiplier is 4.5 plus .50 for each additional bedroom over 5		
#2	Multiplier is 1.00 per 150 sf of net habitable area		
<b>Required Park Acreage Acres</b>			<b>0.41</b>
<b>Cash In-Lieu</b>			<b>\$40,500</b>

### School Exactions

<b>Unit type</b>	<b>Acres</b>	<b>land Dedication</b>
Single Family	0.02	0
Two-Family	0.02	0
Multi-Family	0.015	0.30
<b>Required Dedication of Land</b>		0.30
<b>Cash In-Lieu</b>		\$30,000

**Special Restrictions  
for Employee Housing  
Located at  
West View Townhomes, Town of Jackson**

These Special Restrictions for Employee Housing located at West View Town Homes, Unit \_\_\_, is made this \_\_\_ day of \_\_\_\_\_, 20\_\_ (the "Effective Date"), by the undersigned Declarant ("Declarant").

**WHEREAS**, the Declarant holds fee ownership interest in that certain real property, located in Teton County, Wyoming, and more specifically described as follows:

Lot [insert lot # of land/unit], [insert name of subdivision] Addition to the Town of Jackson, according to that plat recorded in the Office of the Teton County Clerk on [insert date of plat] as Plat No. [insert plat number].

PIN: [insert property identification number] (the "Residential Unit");

**WHEREAS**, as a condition of its Final Development Plan Approval (\_\_\_\_\_), dated \_\_\_\_\_, 20\_\_ for the \_\_\_\_\_ to the Town of Jackson (the "FDP Approval"), the Declarant agreed to dedicate sixteen, two-bedroom units as Employee Housing units to be occupied by individuals who work in Teton County and who will occupy the units as their sole primary residences (the "West View Units");

**WHEREAS**, in furtherance of the goals, objectives, requirements and conditions of the FDP Approval, and consistent with the Town of Jackson's goals of providing decent, safe, sanitary and affordable housing to qualified employees working in Teton County, Wyoming, Declarant has agreed to restrict the use and occupancy of the West Wind Units to "Qualified Households";

**WHEREAS**, a "Qualified Household" means natural persons meeting the employment, income and real estate ownership qualifications at the time of occupancy of the Residential Unit and during the course of such occupation;

**WHEREAS**, notwithstanding the foregoing, a West View Unit shall be master leased to an owner of a "local business," as defined herein ("Master Tenant"), pursuant to a master lease agreement (the "Master Lease") unless otherwise approved by the Jackson Teton County Affordable Housing Department (the "Housing Department");

**WHEREAS**, the Master Tenant may only lease the Residential Unit to a Qualified Household;

**WHEREAS**, consistent with the foregoing, the Residential Unit shall not be occupied by an owner or Master Tenant unless otherwise approved by the Housing Department;;

**WHEREAS**, the determination of whether a Master Tenant or household is qualified to lease the Residential Unit is determined by the Housing Department;

**WHEREAS**, Declarant desires that Jackson/Teton County Housing Authority, a duly constituted Housing Authority established by Teton County, Wyoming pursuant to W.S. §15-10-116, as amended, and its successors or assigns (collectively, "JTCHA") shall have an option to purchase the Residential Unit in certain circumstances, along with such other rights in the event of a breach of these Special Restrictions; and

**WHEREAS**, in accordance with the foregoing, Declarant desires to adopt these Special Restrictions and declare that the Residential Unit, also sometimes referred to herein as the "Unit", shall be held, sold, occupied and conveyed in perpetuity subject to these Special Restrictions, which Special Restrictions shall be in addition to all other covenants, conditions or restrictions of record affecting the Unit, and shall be enforceable by the JTCHA, Housing Department, or by the Town of Jackson;

#### **RESTRICTIONS:**

**NOW THEREFORE**, in satisfaction of the conditions in the FDP Approval, and in consideration of such FDP Approval and the foregoing Recitals, which are by this reference incorporated herein, Declarant hereby declares, covenants and agrees for itself and each and every person acquiring ownership of the Residential Unit, that the Unit shall be owned, used, occupied, developed, transferred and conveyed subject to the following Special Restrictions in perpetuity.

**SECTION 1. TETON COUNTY / HOUSING DEPARTMENT GUIDELINES.** References made herein to the "Guidelines" are references to the written policies, procedures and guidelines of Teton County and the Housing Department, as the same may be amended, modified, or updated from time to time and which policies, procedures and guidelines are on file with Housing Department or otherwise with the Town of Jackson, or if there are no such written policies, procedures or guidelines (or a written policy, procedure or guideline with respect to a specific matter) then the reference shall be to the current applied policy or policies of Teton County or the Housing Department (the "Guidelines"). Procedural and administrative matters not otherwise addressed in these Special Restrictions shall be as set forth in the Guidelines.

## **SECTION 2. OCCUPANCY BY QUALIFIED HOUSEHOLD.**

- A. Qualified Household. The occupancy of the Residential Unit shall be limited to natural persons who meet the definition of a Qualified Household for Employee Housing, as set forth below and as may be further detailed in the Guidelines ("Qualified Household").
1. Employment Requirement. At least one member of the Qualified Household must maintain an average of 30 hours per week employment on an annual basis, or a minimum of one thousand five hundred and sixty hours per year, from a local business, along with such other requirements as may be further set forth in the Guidelines. A "local business" shall mean a business physically located within Teton County, Wyoming, holding a business license with the Town of Jackson or one that can provide other verification of business status physically located in Teton County, Wyoming).
  2. Sole Residence Requirement. No member of the Qualified Household may own or have any interest (whether direct, indirect or beneficial) in whole or in part in any other residential real estate within 150 miles of Teton County, Wyoming.
  3. Determination by the Housing Department. The Housing Department shall determine whether a prospective tenant is a Qualified Household and whether a business owner is an owner of a "local business" and thereby qualified to be a Master Tenant. In addition to any requirements set forth in the Guidelines, such determinations shall be based upon written applications, representations, information and verification as are deemed by the Housing Department to be necessary to establish and substantiate eligibility.
  4. Continuing Obligation to Remain a Qualified Household. The occupants of the Residential Unit shall satisfy the definition of a Qualified Household at all times during the occupancy of the Residential Unit.
- B. No Legal Action. No owner of the Residential Unit, prospective purchaser of the Residential Unit, Master Tenant, renter or occupant, or other party shall have the right to sue or bring other legal process against the Town of Jackson, JTCHA or the Housing Department, or any person affiliated with the Town of Jackson, JTCHA or the Housing Department arising out of these Special Restrictions, and neither shall the Town of Jackson, JTCHA or the Housing Department have any liability to any person aggrieved by the decision of the Town of Jackson, JTCHA or the Housing Department regarding qualification of a Master Tenant, Qualified Household or any other matter relating to these Special Restrictions.

**SECTION 3. RESTRICTIONS ON OCCUPATION AND USE OF RESIDENTIAL UNIT.** In addition to any restrictions included in the Guidelines, occupancy and use of the Residential Unit shall be restricted as follows:

- A. Rental Unit; Master Lease. The Residential Unit shall remain a rental unit for Qualified Households and it shall be master leased to a Master Tenant who will thereafter lease the Residential Unit to a Qualified Household as described herein. The Master Lease shall require the Master Tenant to comply with all the requirements of these Special Restrictions, or cause its tenants to comply as applicable. Occupancy of the Residential Unit by the Qualified Household shall be pursuant to a written lease
- B. Rental Term. The Residential Unit shall be offered for rent in periods of not less than one (1) month. The Residential Unit shall not be used as a guest house, guest facility or for short-term rental.
- C. Rental Rates. The rental rate as between the owner and a Master Tenant shall be as the owner and Master Tenant shall agree. The Master Tenant shall not charge rental rates in excess of the then market rate for units similarly situated in the Town of Jackson, Wyoming. A Master Tenant shall not profit on the rental of the Unit and shall not charge a rental rate in excess of the rent the Master Tenant pays to the owner of the Unit.
- D. Preference. The Master Tenant, may give first priority to lease the Residential Unit to an employee of the Master Tenant, so long as such employee can qualify as a Qualified Household.
- E. Vacancies. The Residential Unit may be vacant intermittently between tenancies to allow for proper verification, advertisement for Qualified Households and reasonable maintenance. However, the Residential Unit shall not be vacant for a period greater than sixty (60) days, unless authorized by the Housing Department. If the Residential Unit remains vacant for more than sixty (60) days without approval, then the Housing Department shall have the right, but not the obligation, to identify a Qualified Household to rent the Unit. Anything herein notwithstanding, the owner or Master Tenant, respectively, shall have the right to deny occupancy to any proposed tenant who in such owner's or Master Tenant's reasonable discretion does not meet its standard for occupancy, so long as such denial does not violate Federal or state fair housing laws.
- F. Occupancy by Qualified Household. The Residential Unit may only be occupied by a Qualified Household, shall be such Qualified Household's sole and exclusive primary residence, and the tenant named on the lease shall physically occupy the Unit on a full-time basis, at least ten months out of each calendar year or for the full lease-term if less than ten months; Except for permitted guests, no persons

other than those who comprise the Qualified Household may occupy the Unit, provided that such requirement does not violate Federal or state fair housing laws; no more than three (3) unrelated persons may occupy the Unit, unless Town of Jackson building regulations permit or require otherwise;

- G. No Owner or Master Tenant Occupancy. No owner or Master Tenant shall reside in or occupy the Residential Unit. If an owner or Master Tenant is an entity (including without limitation, a partnership, limited partnership, limited liability company, corporation, association, or other) or a trust, this prohibition on owner-occupancy shall extend to any partner, member, shareholder, other principal or owner of the entity, or trustee or beneficiary of the trust.
- H. Business Activity. No business activities shall occur at the Residential Unit, other than a home occupation use that is: (i) permitted by applicable zoning; (ii) permitted by any declaration(s) of covenants, conditions and restrictions for the Property as the same may be amended, restated, or supplemented from time to time (the "Declaration"); (iii) permitted by the Guidelines, and (iv) not prohibited by any law, statute, code, rule, ordinance, covenant or regulation ("Laws") affecting the Property;
- I. Guests. No persons other than those comprising the Qualified Household shall be permitted to occupy the Residential Unit for periods in excess of 30 cumulative days per calendar year;
- J. Maintenance. The owner and/or the Master Tenant, shall cause the interior and all other aspects of the Residential Unit not otherwise maintained by a homeowners association to be well cared for, and maintained in a safe, sound, habitable, sanitary, and good state of repair. In case of damage to the Residential Unit, the owner or the Master Tenant shall repair the damage or replace or restore any destroyed parts of the Residential Unit, as speedily as practical; In the event the owner or Master Tenant fails to maintain the Residential Unit in a safe, sound, habitable, sanitary or good condition and such condition continues for fourteen (14) days after notice from the Housing Department, the Housing Department shall have the right but not the obligation to repair such condition and the owner shall reimburse the Housing Department for such reasonable repair costs. Payment to the Housing Department from the owner or Master Tenant shall be due upon receipt of invoice;
- K. Insurance. The owner shall cause the Residential Unit to be continuously insured against "all risks" of physical loss (not otherwise covered by a homeowners association insurance), for the full replacement value of the Residential Unit; and
- L. Compliance with Laws, Declaration. The Residential Unit shall be occupied in full compliance with all Laws, including without limitation, the Declaration, and all

supplements and amendments thereto, and any other rules and regulations of any applicable homeowners association, as the same may be adopted from time to time; and

M. Periodic Reporting; Inspection.

1. In order to confirm compliance with these Special Restrictions, the owner and the Master Tenant shall comply, and shall cause all occupants to comply, with any reporting or inspection requirements as set forth herein and as may be required by the Housing Department from time to time. Upon reasonable notice to owner or Master Tenant, the Housing Department shall have the right to review the written Master Lease and lease to a Qualified Household, as well as the right to inspect the Residential Unit from time to time to determine compliance with these Special Restrictions and to review the written records required to be maintained by owner or Master Tenant.
2. The owner shall provide to the Housing Department the name, contact person, address, telephone number and email address of the Master Tenant upon entering into a Master Lease as well as annually each year during the month of January. Owner will provide information satisfactory to the Housing Department that the Master Tenant is the owner of a local business as described herein.
3. The Master Tenant shall provide to the Housing Department by way of an Affidavit of Employment executed by each tenant, the name, address, telephone number and email address of the tenant and the tenant's employer, the salary or hourly wage of the tenant, and the number of hours worked per month, along with a copy of the tenant's pay stub. The Affidavit shall also list all the occupants of the Unit. The Affidavits of Employment shall be submitted to the Housing Department upon each new rental of the Residential Unit as well as annually during the month of January. Any check stub submitted shall be dated as of two-weeks from the submission date.
4. The Owner or the Master Tenant shall maintain such records for a period of two (2) years.

Notwithstanding the foregoing, the Housing Department may approve uses inconsistent with this Section in accordance with the Guidelines.

**SECTION 4. SALE OF THE RESIDENTIAL UNIT.** The Residential Unit may be bought and sold as the then owner may determine except that all reporting and record-keeping required herein shall be continuous and any new owner shall obtain the required records

from the prior owner. Within ten (10) days prior to the closing of the sale or other transfer of the Unit, the then owner shall notify the Housing Department of the pending sale or transfer and after the close of the sale or transfer the new owner shall notify the Housing Department of their contact information (including without limitation, mailing address, phone number and email).

**SECTION 5. DEFAULT.** The following shall be considered a default ("Default"):

- A. Failure at any time of the occupants of the Residential Unit to qualify as a Qualified Household.
- B. A violation of any term of these Special Restrictions, the Guidelines, the Declaration, or any Laws affecting the Residential Unit.

In the event the Housing Department believes there to be a Default, the Housing Department shall send written notice to the owner, and Master Tenant if any, informing the owner of the Default and the required action to cure. If the owner or Master Tenant dispute the Housing Department's decision, the owner or Master Tenant shall proceed in accordance with the Guidelines.

**SECTION 7. DEFAULT REMEDIES.** In addition to any other remedies the Housing Department or JTCHA may have at law or equity, in the event of a Default, the remedies shall include, without limitation, the following:

- A. Purchase Option; Forced Sale. In order to ensure the Residential Unit remains in use for rental housing purposes to Qualified Households, in the event of a default, JTCHA shall have an option to purchase the Unit ("Option"), or the right to require the owner to sell the Unit("Forced Sale"), as follows:
  - 1. If JTCHA determines to exercise its Option or require the Forced Sale of the Unit, JTCHA shall provide written notice to the owner. The notice shall include whether JTCHA is exercising its Option or requiring the Forced Sale (collectively, the "Default Transfer"). Such notice shall include the purchase price and the timing for the closing of the Default Transfer.
  - 2. The purchase price shall be the Unit's appraised value. JTCHA shall have reasonable access to the Unit for purposes of the appraisal. The cost of the appraisal shall be charged against the sale proceeds as well as the reasonable costs and expenses (including reasonable attorney fees) incurred by the Housing Department and JTCHA in exercising its rights hereunder.
  - 3. JTCHA shall use reasonable efforts to cause the Default Transfer to close within ninety (90) days of the notice.

- B. Appointment of the Housing Department as Owner's Attorney-in-Fact. In the event of JTCHA's exercise of its Option or election to require the Forced Sale, the owner hereby irrevocably appoints the then serving Housing Manager as such owner's attorney-in-fact to effect any such purchase or sale on the owner's behalf and to execute any and all deeds of conveyance or other instruments necessary to fully effect such purchase or sale and conveyance.
- C. Equitable Relief. JTCHA and the Housing Department shall have the right of specific performance of these Special Restrictions and the right to obtain from any court of competent jurisdiction a temporary restraining order, preliminary injunction and permanent injunction to obtain such performance. Any equitable relief provided for herein may be sought singly or in combination with such other remedies as JTCHA may be entitled to, either pursuant to these Special Restrictions or under the laws of the State of Wyoming.

#### **SECTION 8. TERMINATION AND MODIFICATION OF SPECIAL RESTRICTIONS.**

- A. Termination by the Town of Jackson. These Special Restrictions may be terminated after a determination by the Town of Jackson that these Special Restrictions are no longer consistent with the Town's goals for employee housing and that they should therefore be terminated.
- B. Amendment. These Special Restrictions may be amended, in whole or in part, as follows:
  - 1. With the written consent of the owner of the Residential Unit, the Housing Manager for the Housing Department, and the Planning Director for the Town of Jackson, Wyoming.
  - 2. The Housing Department may unilaterally modify these Special Restrictions (i) to provide clarification to any provisions hereto which may be unclear or subject to differing interpretations, (ii) to correct any errors identified herein, or (iii) where the Housing Department deems such modification necessary to effectuate the purposes and intent of the Special Restrictions or the goals of the Town of Jackson in providing decent, safe and affordable housing, and where such modification does not, in the Housing Department's reasonable discretion, materially impair the owner rights.

**SECTION 10. SPECIAL RESTRICTIONS AS COVENANT.** These Special Restrictions shall constitute covenants running with the Residential Unit, as a burden thereon, and shall be binding on all parties having any right, title, or interest in the Residential Unit, or any part

thereof, their heirs, devisees, successors and assigns, and shall inure to the benefit of and shall be enforceable by JTCHA, the Housing Department and the Town of Jackson.

**SECTION 11. NOTICES.** Any notice, consent or approval which is required to be given hereunder to an owner shall be in writing and shall be deemed given by mailing the same, certified mail, return receipt requested, properly addressed and with postage fully prepaid to the owner's mailing address as provided to the Housing Department or such address as is on record with the Teton County Assessor. Any notice, consent or approval which is required to be given hereunder to a Master Tenant shall be in writing and shall be deemed given by mailing the same, certified mail, return receipt requested, properly addressed and with postage fully prepaid to the Master Tenant's mailing address as provided to the Housing Department. Any notice which is required to be given hereunder to JTCHA or the Housing Department shall be given by mailing the same, certified mail, return receipt requested, properly addressed and with postage fully prepaid to JTCHA, P.O. Box 714, Jackson, WY 83001. Alternatively, notice may be hand delivered, but any such hand delivery shall require a signed receipt from the owner, Master Tenant, or the Housing Manager of the Housing Department, respectively, evidencing the same. Failure of any party to pick up and/or sign for a certified mailing does not constitute failure to provide notice provided it was properly addressed and evidence of that mailing is retained. In the event of mailing, notice shall be deemed given when deposited in the U.S. Mail.

**SECTION 12. ATTORNEY'S FEES.** In the event any party shall be required to retain counsel and file suit for the purpose of enforcing the terms and conditions of these Special Restrictions, the prevailing party shall be entitled to recover, in addition to any other relief recovered, a reasonable sum as determined by the court for attorney's fees and costs of litigation.

**SECTION 13. CHOICE OF LAW, FORUM.** These Special Restrictions and each and every related document, are to be governed by and construed in accordance with the laws of the State of Wyoming. The parties agree that the appropriate court in Teton County, Wyoming and/or the Ninth Judicial District for the State of Wyoming shall have sole and exclusive jurisdiction over any dispute, claim, or controversy which may arise involving these Special Restrictions or its subject matter.

**SECTION 14. SEVERABILITY.** Each provision of these Special Restrictions and any other related document shall be interpreted in such a manner as to be valid under applicable law; but, if any provision, or any portion thereof, of any of the foregoing shall be invalid or prohibited under said applicable law, such provision shall be deemed modified to the extent necessary and possible to render it valid and enforceable, or if such modification is not possible, such provision shall be ineffective to the extent of such invalidity or prohibition without invalidating the remaining provision(s) of such document.

**SECTION 15. SECTION HEADINGS.** Paragraph or section headings within these Special Restrictions are inserted solely for convenience or reference, and are not intended to, and shall not govern, limit or aid in the construction of any terms or provisions contained herein.

**SECTION 16. WAIVER.** No claim of waiver, consent or acquiescence with respect to any provision of these Special Restrictions shall be valid against any party hereto except on the basis of a written instrument executed by the parties to these Special Restrictions. However, the party for whose benefit a condition is inserted herein shall have the unilateral right to waive such condition.

**SECTION 17. INDEMNIFICATION.** The owner shall indemnify, defend, and hold the JTCHA, the Housing Department and the Town of Jackson, and its directors, officers, agents and employees harmless against any and all loss, liability, claim, or cost (including reasonable attorneys' fees and expenses) for damage or injury to persons or property from any cause whatsoever on or about the Residential Unit, or for an owner's or a Master Tenant's breach of any provision of these Special Restrictions. The owner waives any and all such claims against JTCHA, the Housing Department and the Town of Jackson.

**SECTION 18. SUCCESSORS AND ASSIGNS.** These Special Restrictions shall be binding upon, and inure to the benefit of, the parties hereto and their respective successors, heirs, devisees, administrators and assigns.

**SECTION 19. SOVEREIGN IMMUNITY.** None of the Town of Jackson, JTCHA, nor the Housing Department waive sovereign immunity by executing these Special Restrictions and specifically retain immunity and all defenses available to them as sovereigns pursuant to Wyo. Stat. § 1-39-104(a) and any other applicable law.

**IN WITNESS WHEREOF,** the undersigned have executed this instrument as of the Effective Date.

**Declarant:**

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

STATE OF WYOMING        )  
  ) ss.  
COUNTY OF TETON        )

On the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_, the foregoing instrument was acknowledged before me by \_\_\_\_\_, as \_\_\_\_\_, of \_\_\_\_\_.

Witness my hand and official seal.

(Seal)

\_\_\_\_\_  
Notary Public  
My commission expires:

**TOWN OF JACKSON**

\_\_\_\_\_  
Sara Flitner, Mayor

STATE OF WYOMING        )  
  ) ss.  
COUNTY OF TETON        )

On the \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_, the foregoing instrument was acknowledged before me by Sara Flitner as Mayor, of the Town of Jackson, Wyoming.

Witness my hand and official seal.

(Seal)

\_\_\_\_\_  
Notary Public  
My commission expires:

Approved as to form:

**JACKSON/TETON COUNTY AFFORDABLE HOUSING DEPARTMENT:**

\_\_\_\_\_  
Stacy A. Stoker, Housing Manager

STATE OF WYOMING            )  
  ) ss.  
COUNTY OF TETON            )

On the \_\_\_\_ day of \_\_\_\_\_, 20\_\_, the foregoing instrument was acknowledged before me by Stacy A. Stoker, as Housing Manager of the Jackson/Teton County Affordable Housing Department.

Witness my hand and official seal.

(Seal)

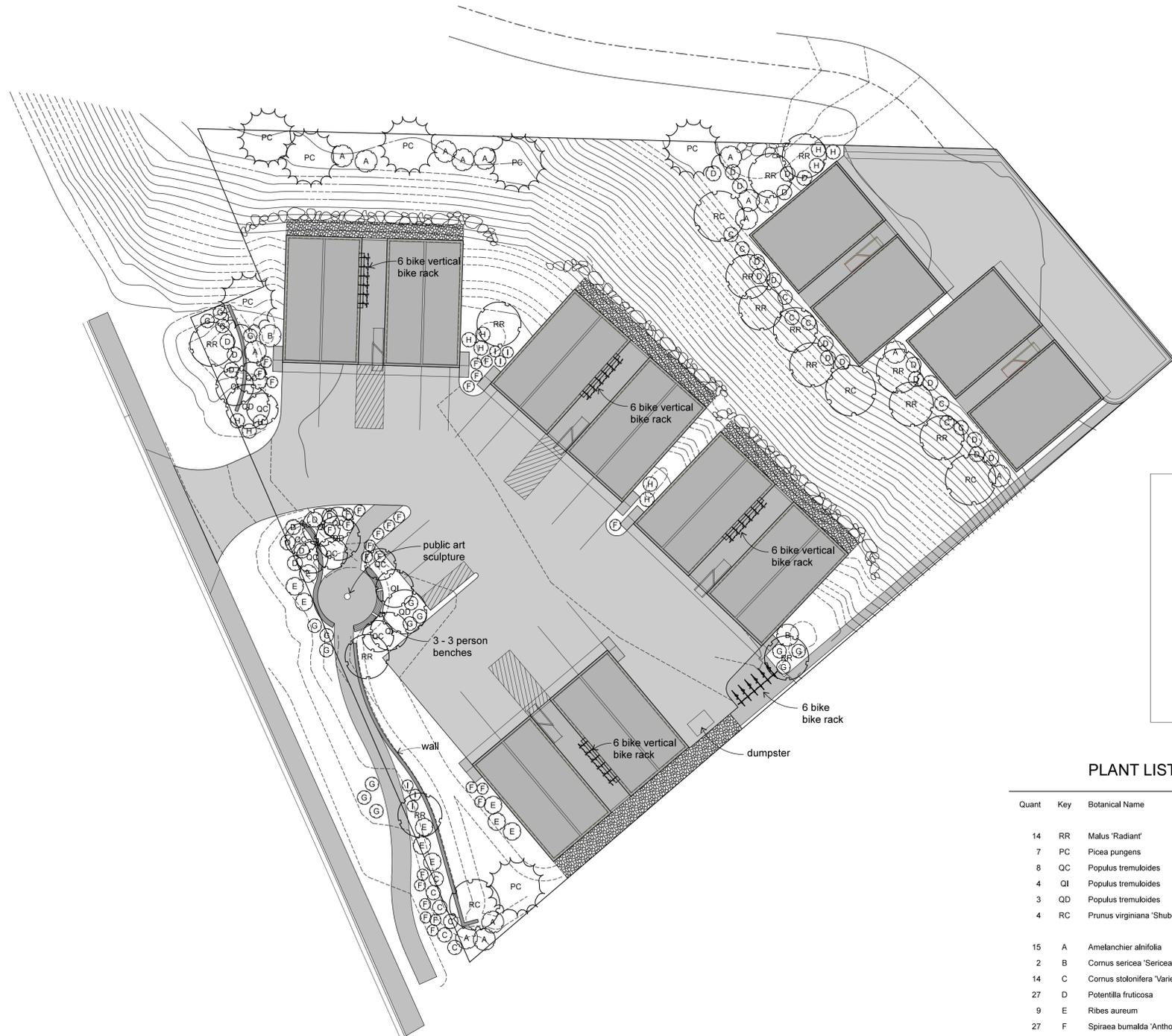
\_\_\_\_\_  
Notary Public  
My commission expires:



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 OF THE OWNER. NO CONTRACTUAL OBLIGATION  
 INCURRED BY WEAVER & ASSOCIATES PA FOR  
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 INVOLVED IN THE PROJECT



**WEAVER & ASSOCIATES PA**  
 LANDSCAPE ARCHITECTURE - LAND PLANNING  
 1635 SOUTH WOODRUFF AVENUE  
 IDAHO FALLS, IDAHO 83404  
 (208) 526-9504



**PLANT UNIT INFORMATION**

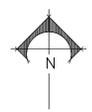
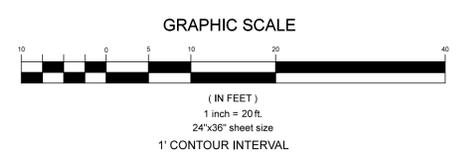
23 Plant Units Required  
 average value of Plant Unit = \$2,600 x 23 = \$59,800 required

cost for 3"-4" cal. aspen tree: \$400	8 @ \$400 =	\$ 3,200
cost for 4"-5" cal. aspen tree: \$600	4 @ \$600 =	\$ 2,400
cost for 5"-6" cal. aspen tree: \$750	3 @ \$750 =	\$ 2,250
cost for 14'-16" spruce tree: \$1,500	7 @ \$1,500 =	\$10,500
cost for 3-3.5" cal. crabapple: \$450	14 @ \$450 =	\$ 6,300
cost for 2.5" cal. canada red: \$350	5 @ \$350 =	\$ 1,750
cost for 5'-6" shrub: \$250	31 @ \$250 =	\$ 7,750
cost for 3' shrub: \$175	96 @ \$175 =	\$16,800
cost for 6 unit bike rack: \$550	5 @ \$550 =	\$ 2,750
cost for 2 person bench: \$550	4 @ \$550 =	\$ 2,200
public art sculpture		\$ 4,000
<b>TOTAL</b>		<b>\$ 59,900</b>

**PLANT LIST**

Quant	Key	Botanical Name	Common Name	Size
TREES				
14	RR	Malus 'Radiant'	Radiant Flowering Crab	3"-3.5" B&B
7	PC	Picea pungens	Colorado Spruce	14'-16" B&B
8	QC	Populus tremuloides	Quaking Aspen	3"-4" cal.
4	QI	Populus tremuloides	Quaking Aspen	4"-5" cal.
3	QD	Populus tremuloides	Quaking Aspen	5"-6" cal.
4	RC	Prunus virginiana 'Shubert's'	Canada Red Cherry	2-1/2" B&B
SHRUBS				
15	A	Amelanchier alnifolia	Western Serviceberry	6' B&B
2	B	Cornus sericea 'Sericea'	Red Osier Dogwood	6' B&B
14	C	Cornus stolonifera 'Variegatum'	Variegated Red Twig Dogwood	5'-6" B&B
27	D	Potentilla fruticosa	Native Cinquefoil	7 gal. 36"
9	E	Ribes aureum	Golden Currant	7 gal. 36"
27	F	Spiraea bumalda 'Anthony Waterer'	Anthony Waterer Spiraea	5 gal. 12-18"
16	G	Spiraea bumalda 'Gold Flame'	Gold Flame Spiraea	5 gal. 12-18"
11	H	Spiraea betulifolia 'Tor'	Tor Birchleaf Spiraea	7 gal. 36"
6	I	Symphoricarpos oreophilus	Mountain Snowberry	7 gal. 36"

**LANDSCAPE PLANTING PLAN**

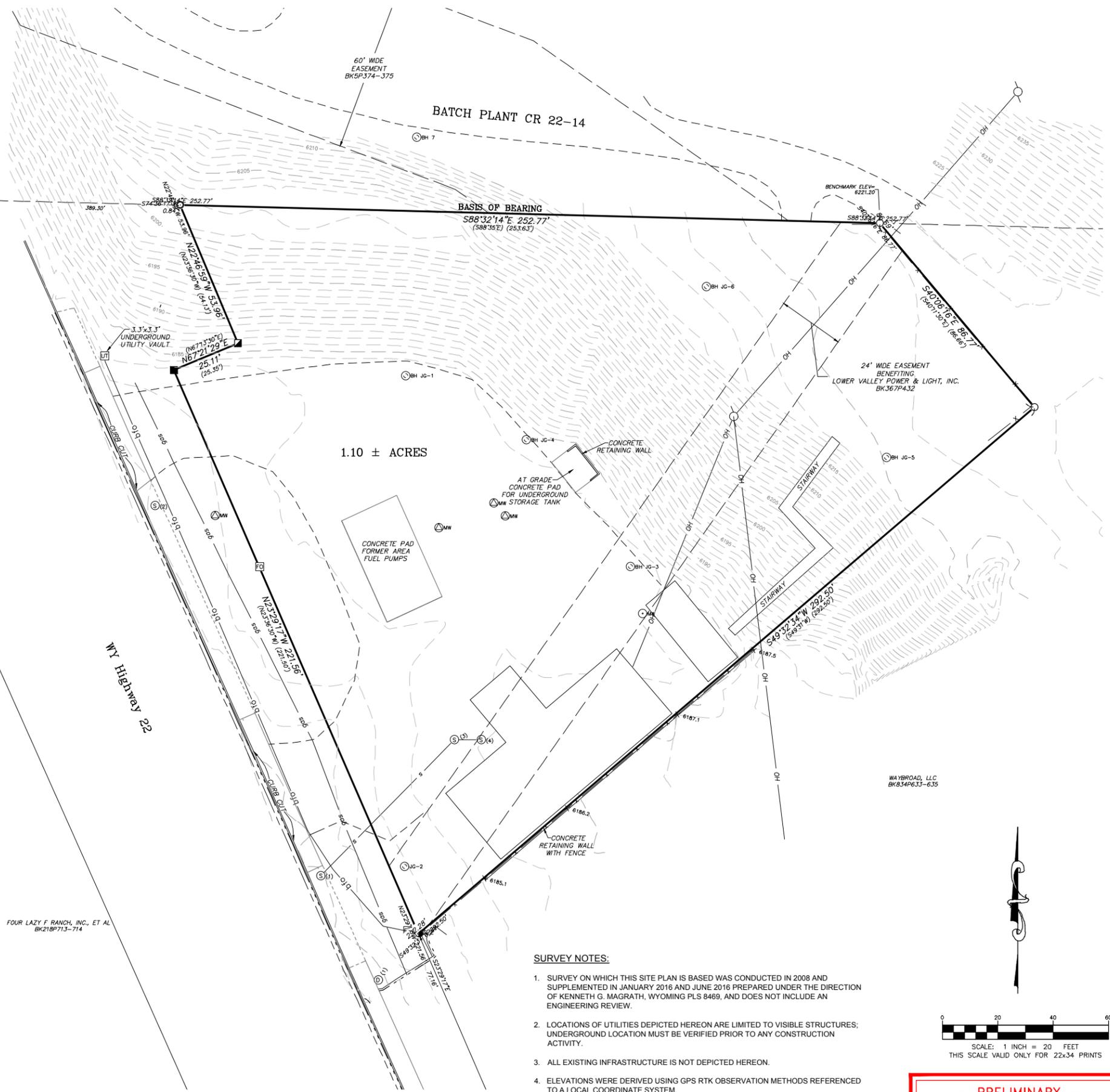


FINAL DEVELOPMENT PLAN SUBMITTAL 07-27-16

**WESTVIEW TOWN HOMES**  
 JACKSON, WYOMING

**L1**



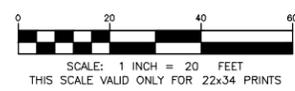


**LEGEND:**

- 6" sq. concrete post with 3-1/2" # brass cap inscribed "WYOMING DEPT. OF TRANSPORTATION PLS 482" with other appropriate markings
- 2-1/2" # aluminum pipe with 3" # aluminum cap inscribed "WYOMING DEPT. OF TRANSPORTATION PLS 482" with other appropriate markings RM indicates reference monument
- 2-1/2" # iron pipe with 3" # brass cap inscribed "U.S. CADASTRAL SURVEY BUREAU OF LAND MANAGEMENT 1956" with other appropriate markings RM indicates reference monument
- 1" # iron pipe with 2-1/2" # brass cap inscribed "U.S. GENERAL LAND OFFICE SURVEY 1956" with other appropriate markings
- 2-1/2" # iron pipe with 3" # brass cap inscribed "1998 PE & LS 578" with other appropriate markings
- 5/8" # steel reinforcing bar with 2" # aluminum cap inscribed "PLS 566"
- 5/8" # steel reinforcing bar with 1-1/2" # aluminum cap inscribed "PLS 4270"
- 5/8" # steel reinforcing bar with 1-1/2" # aluminum cap inscribed "PE & LS 578"
- boundary, SUBJECT PROPERTY
- boundary, adjoining property
- - - - - easement, record, as noted
- - - - - edge of pavement (SEE NOTE AT \*)
- - - - - edge of gravel (SEE NOTE AT \*)
- - - - - edge of pathway, concrete
- - - - - edge of pathway, asphalt
- curb
- - - - - flow line
- x — x — x fence, chain-link, at grade and on retaining wall
- - - - - index contour (5' interval)
- - - - - intermediate contour (1' interval)
- measured bearing and distance
- record bearing and distance
- FG communications pedestal, fiber optic/telephone
- UT communications vault, size as noted, underground
- bfo communications line, fiber optic/telephone, underground
- gas gas line, underground
- power/utility pole power/utility pole
- OH utility lines, overhead
- S sewer manhole
- s sanitary sewer line, approximate
- D storm drain manhole
- D storm drain line, approximate
- water well
- monitoring well
- BH ID# bore hole

**SURVEY NOTES:**

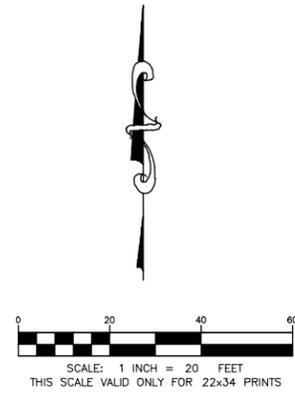
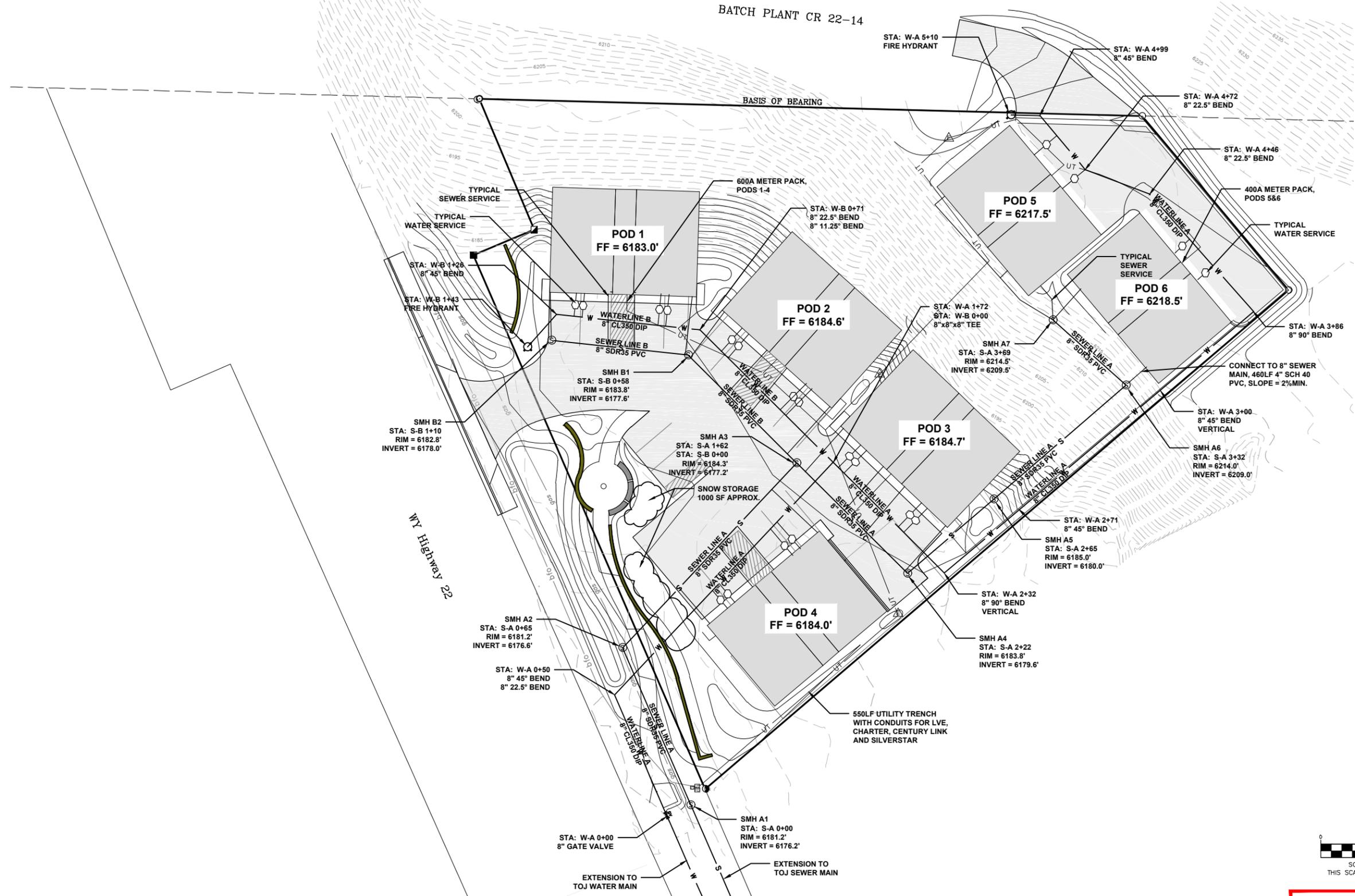
- SURVEY ON WHICH THIS SITE PLAN IS BASED WAS CONDUCTED IN 2008 AND SUPPLEMENTED IN JANUARY 2016 AND JUNE 2016 PREPARED UNDER THE DIRECTION OF KENNETH G. MAGRATH, WYOMING PLS 8469, AND DOES NOT INCLUDE AN ENGINEERING REVIEW.
- LOCATIONS OF UTILITIES DEPICTED HEREON ARE LIMITED TO VISIBLE STRUCTURES; UNDERGROUND LOCATION MUST BE VERIFIED PRIOR TO ANY CONSTRUCTION ACTIVITY.
- ALL EXISTING INFRASTRUCTURE IS NOT DEPICTED HEREON.
- ELEVATIONS WERE DERIVED USING GPS RTK OBSERVATION METHODS REFERENCED TO A LOCAL COORDINATE SYSTEM.
- BASIS OF BEARING FOR THIS SURVEY IS S88°32'14"E ON THE NORTH LINE OF THE SW¼ NE¼ OF SECTION 32, TOWNSHIP 41 NORTH, RANGE 116 WEST, 6TH P.M.



— PRELIMINARY —  
 SUBJECT TO CORRECTION  
 AND APPROVAL

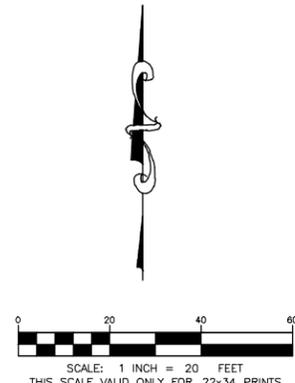
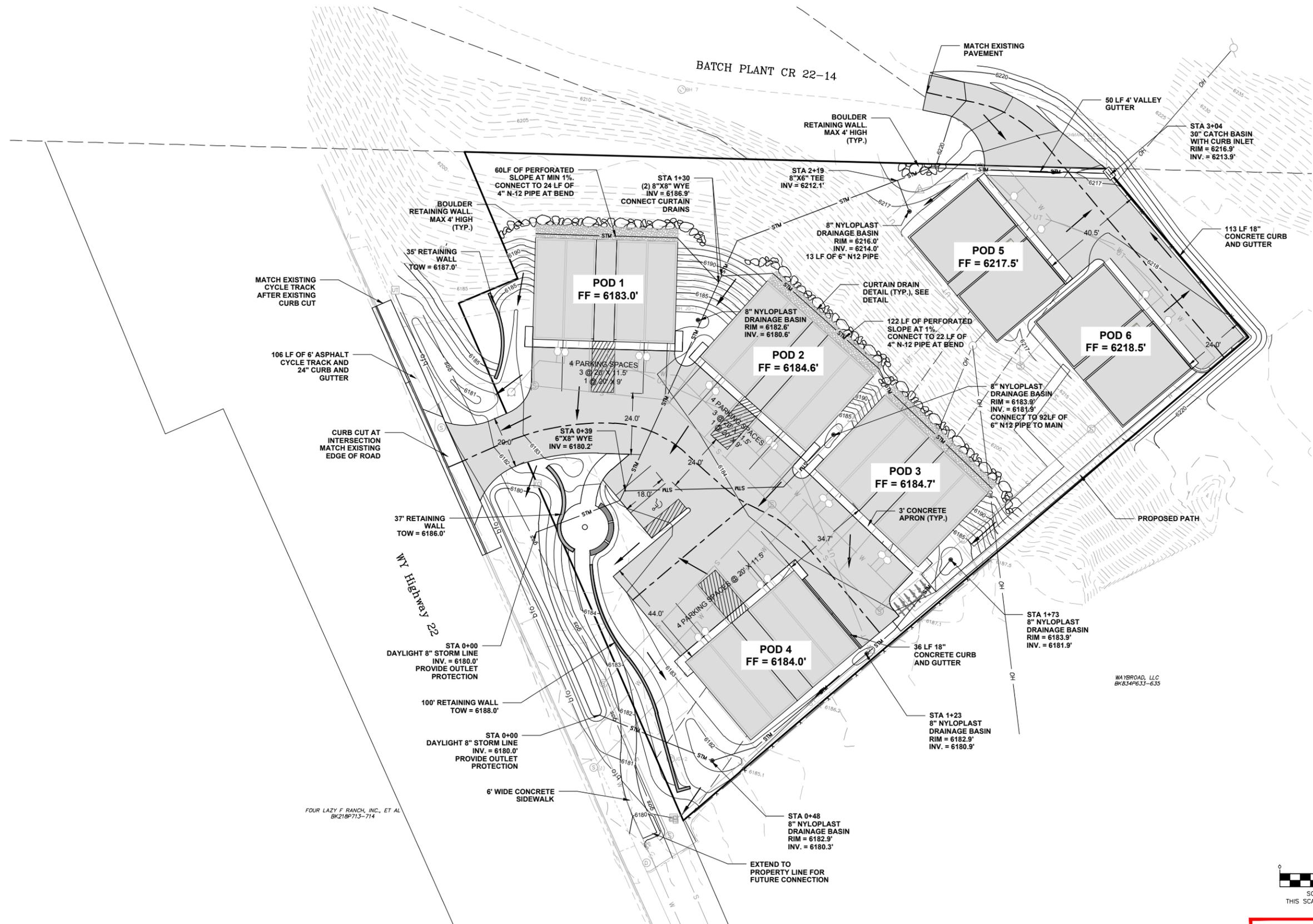
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 AND APPROVAL

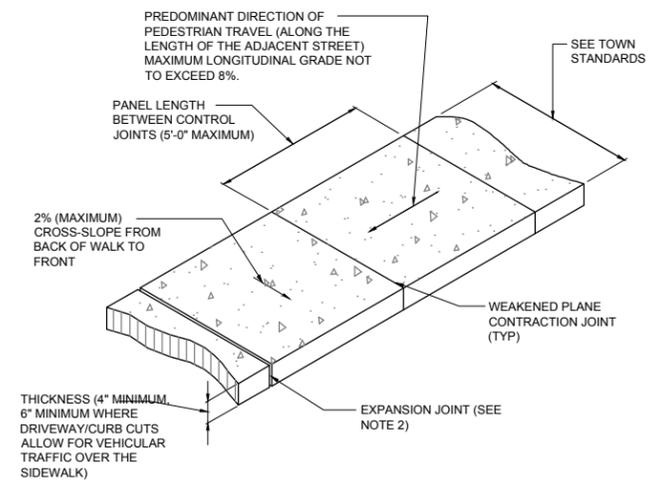
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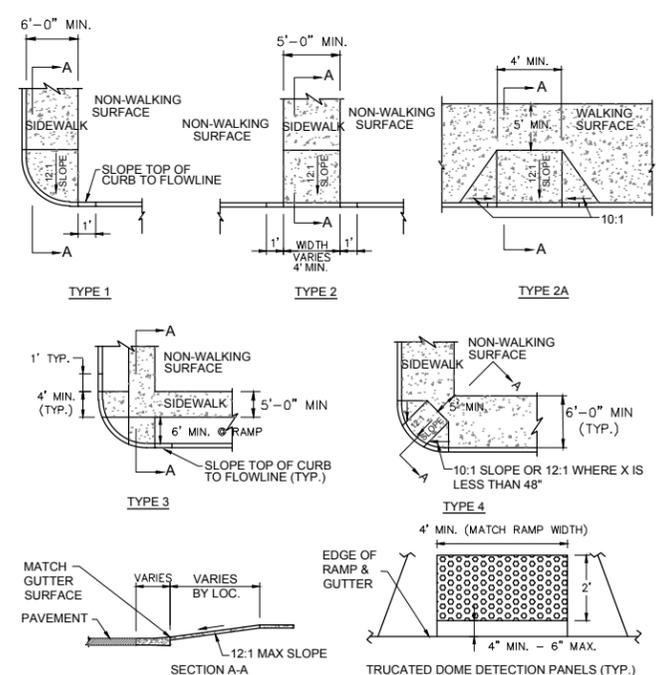


Ver. 1.5.1  
Revised by Jorgensen on Jul 22, 2016, 10:20am



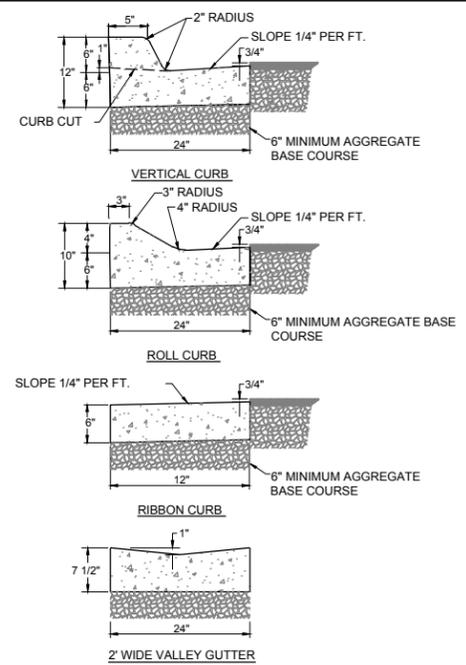
- NOTES:**
- SIDEWALK SHALL CONFORM TO ALL APPLICABLE ADA STANDARD REQUIREMENTS SIDEWALKS SHALL CONFORM TO WPWSS SECTION 02776, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPWSS SECTION 03304, PART 2.07.
  - EXPANSION JOINTS SHALL BE PLACED IN SIDEWALK AT THE SAME LOCATIONS AS THOSE IN CURB AND GUTTER WHEN SIDEWALK IS ADJACENT TO CURB. (PER WPWSS SECTION 03251, PART 3.04 SPACING SHALL NOT EXCEED 32'-0" ON CENTER.)
  - FOR SIDEWALKS GREATER THAN SIX FEET IN WIDTH, A LONGITUDINAL CONTROL JOINT SHALL BE INSTALLED AT THE CENTER OF THE WALK.
  - REMOVAL AND REPLACEMENT OF SIDEWALK SHALL TAKE PLACE IN FULL PANELS.
  - AGGREGATE BASE COURSE SHALL BE FOUR INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.

**1 CONCRETE SIDEWALK**  
C4.1 SCALE: NTS



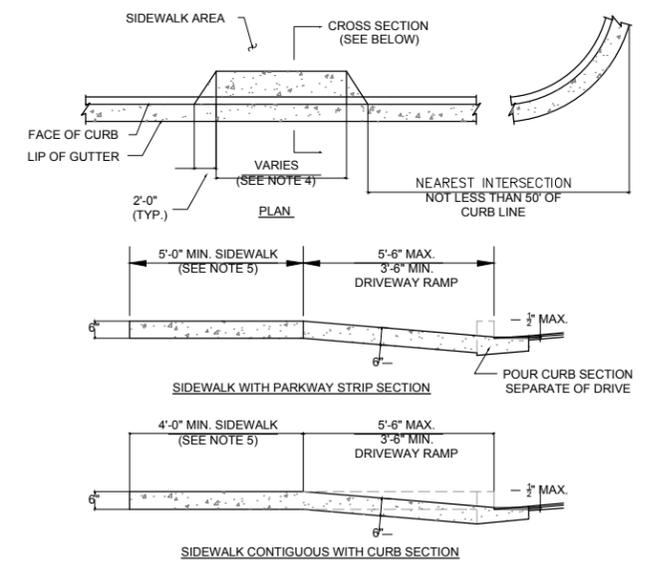
- NOTES:**
- SIDEWALKS SHALL CONFORM TO ALL APPLICABLE ADA STANDARD REQUIREMENTS.
  - LIP AT GUTTER TO BE NO MORE THAN 1/4" HIGH.
  - CONCRETE TO BE A BROOM FINISH.
  - ALL PEDESTRIAN RAMPS SHALL INCLUDE PLACEMENT OF CAST IRON TRUNCATED DOME DETECTION PANELS IN A BRICK RED COLOR.

**5 PEDESTRIAN RAMP DETAILS**  
C4.1 SCALE: NTS



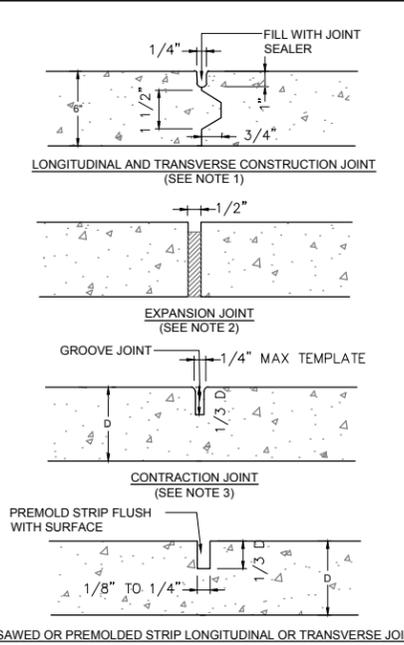
- NOTES:**
- CURBS SHALL CONFORM TO WPWSS SECTION 02525, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPWSS SECTION 03304, PART 2.07.
  - AGGREGATE BASE COURSE SHALL BE SIX INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
  - REMOVAL AND REPLACEMENT OF CURB SHALL TAKE PLACE IN FULL PANELS.
  - VERTICAL CURB SHALL BE USED IN PREFERENCE TO ROLL CURB.
  - CONTRACTION JOINTS SHALL BE PLACED AT 12' MAXIMUM FOR CURBS AND VALLEY GUTTER.

**2 VALLEY GUTTER & CURB SECTIONS**  
C4.1 SCALE: NTS



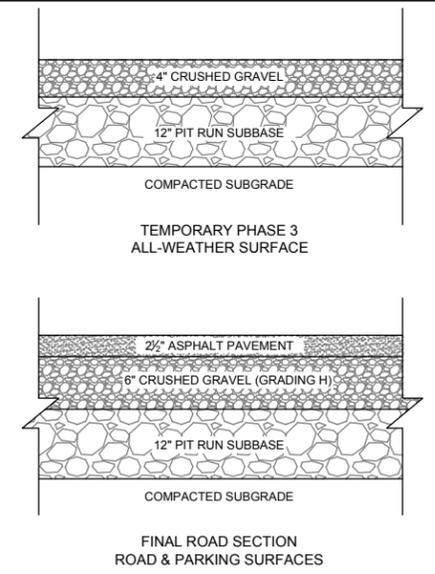
- NOTES:**
- DRIVEWAYS AND CURB CUT SHALL BE INSTALLED TO CONFORM WITH ALL APPLICABLE ADA STANDARD REQUIREMENTS.
  - CONCRETE DRIVEWAY RAMPS/CURB CUTS AND ASSOCIATED ADJACENT SIDEWALK SHALL CONFORM TO WPWSS SECTION 02776, EXCEPT THAT PORTLAND CEMENT CONCRETE SHALL BE FIBERMESH-REINFORCED CLASS 4000 CONCRETE CONFORMING WITH WPWSS SECTION 03304, PART 2.07.
  - AGGREGATE BASE COURSE SHALL BE SIX INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
  - THE FLAT BOTTOM WIDTH DIMENSION OF CURB CUTS SHALL NOT EXCEED THE DIMENSIONS SET FORTH IN THE TOWN LAND DEVELOPMENT REGULATIONS.
  - THE ENTIRE SIDEWALK AND RAMP SHALL BE DEPRESSED AND INSTALLED AT A MAXIMUM CROSS-SLOPE OF 2% LONGITUDINAL SLOPE (ALONG THE SIDEWALK) AT EACH END OF THE DEPRESSED SECTION SHALL NOT BE STEEPER THAN 1:12.
  - SIDEWALK CONSTRUCTION SHALL BE PER TOWN STANDARDS.

**6 DRIVEWAY CURB CUT**  
C4.1 SCALE: NTS



- NOTE:**
- KEYWAY FORMED BY FASTENING METAL KEY TO FORM.
  - 1/2" PREMOLDED NON-EXTRUDING EXPANSION JOINT MATERIAL TO MEET AASHTO M-59. EXPANSION MATERIAL SHALL BE INSTALLED WHEN ABUTTING EXISTING CONCRETE OR FIXED STRUCTURES SUCH AS INLETS AND DRIVEWAYS, AND EVERY 300' ON LONG STRAIGHT CONCRETE STRETCHES.
  - FORM WITH TEMPLATE OR SAWCUT JOINTS. IF SAWCUT JOINTS ARE USED, THEY SHALL BEGIN AS SOON AS CONCRETE IS HARDENED SUFFICIENTLY TO PERMIT SAWING WITHOUT EXCESSIVE RAVELING AND BEFORE UNCONTROLLED CRACKING OCCURS. MINIMUM DISTANCE BETWEEN JOINTS IS 5'.
  - JOINT LAYOUT FOR CONCRETE STREETS IS TO BE SUBMITTED TO THE TOWN ENGINEER FOR APPROVAL.

**3 PAVING AND CONCRETE JOINT**  
C4.1 SCALE: NTS



- NOTES:**
- CLEAR VEGETATION AND STRIP TOPSOIL TO SUBGRADE. SCARIFY, CONDITION, AND COMPACT. PROOF ROLL IN THE PRESENCE OF THE ENGINEER.
  - MATERIAL STRIPPED TO DEPTH LOWER THAN SUBGRADE SHALL BE REPLACE WITH STRUCTURAL MATERL TO SUBGRADE ELEVATION.
  - WHERE UNSUITABLE SUBGRADE SOIL EXISTS, OVER EXCAVATION AND REPLACEMENT WILL BE REQUIRED. GEOGRID MAY BE SUBSTITUTED FOR OVER EXCAVATION UPON APPROVAL FROM GEOTECHNICAL ENGINEER.

**4 ROAD SECTION DETAILS**  
C4.1 SCALE: NTS



PROJECT TITLE:  
**WESTVIEW TOWNHOMES  
FINAL DEVELOPMENT PLAN  
1255 WEST HIGHWAY 22  
JACKSON, WYOMING**

SHEET TITLE:  
**ROAD DETAILS**

DRAFTED BY:	ZD
REVIEWED BY:	AJ
PLAN VERSION	DATE
FDP	7/22/2016
PROJECT NUMBER	09040.03
SHEET	C4.1

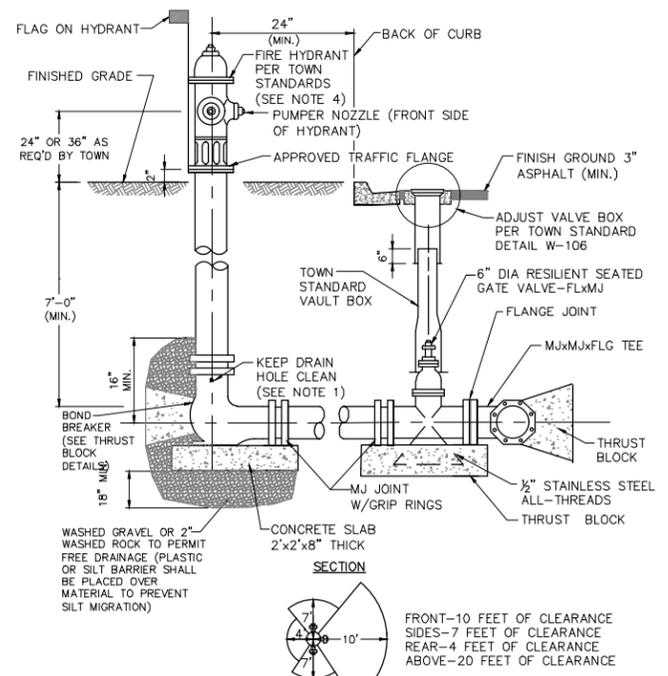
**- PRELIMINARY -  
SUBJECT TO CORRECTION  
AND APPROVAL**

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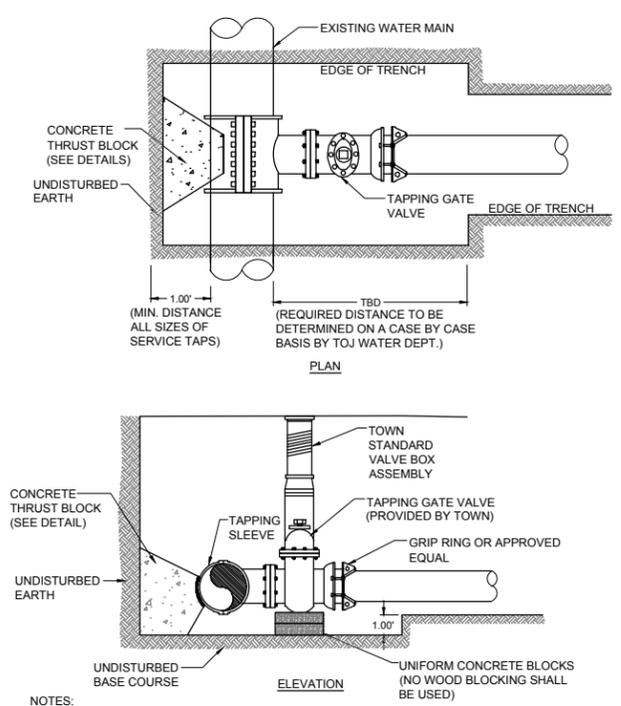
Ver. 18.1

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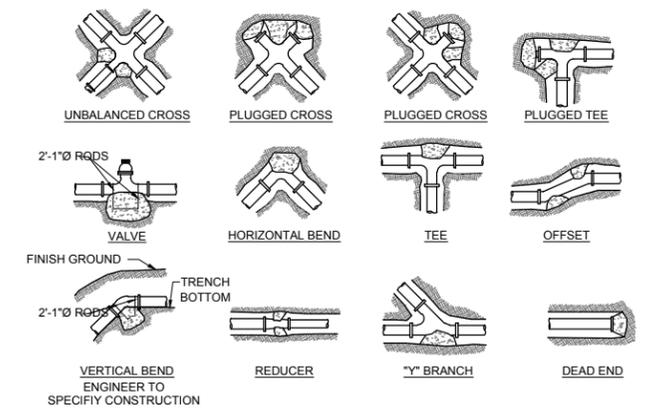
- NOTES:**
- HYDRANT DRAIN HOLE NOT PERMITTED IF BELOW WATER TABLE.
  - HYDRANT LOCATION TO BE APPROVED BY THE TOWN OF JACKSON PRIOR TO INSTALLATION.
  - THERE ARE NO ABOVE GROUND OBSTRUCTIONS ALLOWED IN THE AREAS SHOWN IN THE HYDRANT CLEARANCE DIAGRAM UNLESS APPROVED BY THE TOWN.
  - FIRE HYDRANTS SHALL BE WATEROUS PACER OR CLOW MOUNTAIN MEDALLION.

**1 FIRE HYDRANT DETAIL**  
SCALE: NTS



- NOTES:**
- THE TOWN SHALL COMPLETE THE TAPPING OF THE MAIN. NO OTHER PERSONS SHALL COMPLETE TAP WITHOUT CONSENT OF TOWN. ALL OTHER WATER MAIN WORK SHALL BE THE RESPONSIBILITY OF THE OWNER.
  - TRENCH WILL BE EXCAVATED TO MEET ALL WYOSHA STANDARDS PRIOR TO TAPPING.
  - EXCAVATION OF TAPPING LOCATION SHALL BE APPROVED BY TOJ WATER DEPARTMENT PRIOR TO TAPPING.

**2 WATER MAIN TAPPING**  
SCALE: NTS

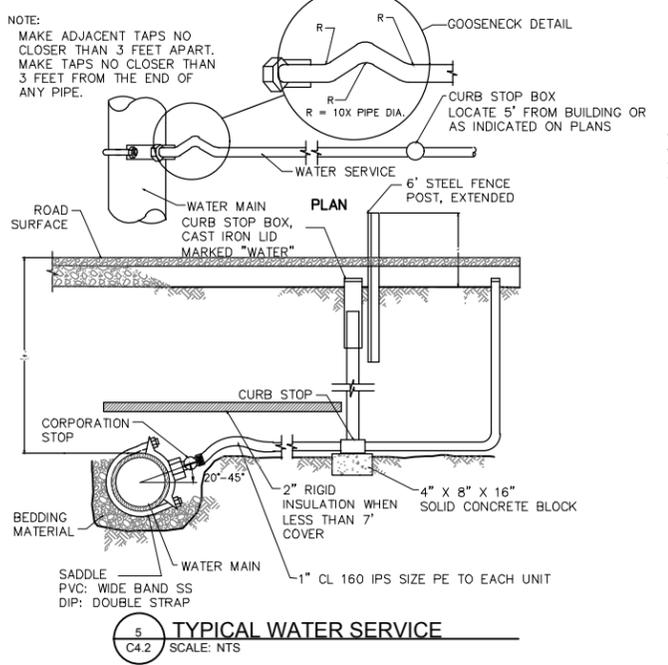


**MINIMUM DIMENSIONS FOR THRUST BLOCKING**

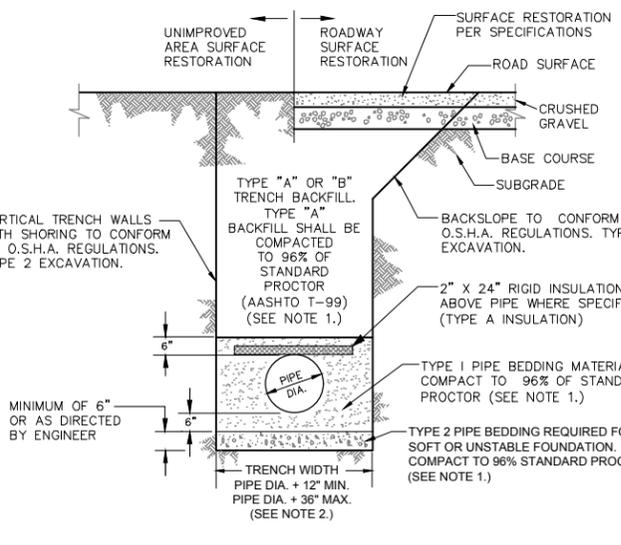
FITTING SIZE	TEES & PLUGS		90° BENDS		45° BENDS & WYES		REDUCERS & 22 1/2° BENDS		11 1/4° BENDS	
	A	B	A	B	A	B	A	B	A	B
4"	1'-3"	1'-2"	1'-9"	1'-8"	1'-8"	0'-10"	1'-7"	0'-8"	0'-6"	0'-6"
6"	2'-0"	1'-11"	2'-5"	2'-2"	1'-10"	1'-7"	1'-9"	0'-10"	1'-0"	0'-6"
8"	2'-8"	2'-6"	3'-2"	3'-0"	2'-5"	2'-1"	1'-9"	1'-6"	1'-0"	1'-0"
10"	3'-4"	3'-3"	4'-0"	3'-10"	3'-0"	2'-9"	2'-2"	1'-11"	1'-6"	1'-0"
12"	4'-0"	3'-10"	4'-8"	4'-8"	3'-8"	3'-3"	2'-7"	2'-3"	2'-0"	1'-0"
14"	5'-5"	3'-10"	6'-8"	4'-11"	4'-9"	3'-5"	3'-5"	2'-5"	2'-0"	1'-6"
20"	5'-0"	5'-0"	6'-0"	6'-0"	4'-0"	3'-6"	3'-0"	3'-0"	3'-0"	2'-0"
24"	6'-0"	6'-0"	7'-0"	7'-0"	5'-0"	5'-0"	4'-6"	3'-0"	3'-0"	3'-0"
30"	7'-6"	7'-6"	8'-0"	8'-0"	6'-3"	6'-3"	4'-9"	4'-6"	3'-3"	3'-3"

- NOTES:**
- SIZE BLOCKS SHALL BE A MINIMUM OF 6" THICK.
  - ALL BLOCKING SHALL BEAR AGAINST UNDISTURBED MATERIAL.
  - DESIGN IS BASED ON 150 PSI MAIN PRESSURE AND 2000 PSF SOIL BEARING CAPACITY.
  - 4 MIL POLYETHYLENE PLASTIC BOND BREAKER SHALL BE PROVIDED BETWEEN THRUST BLOCK AND WATER PIPE.

**3 THRUST BLOCK DETAILS**  
SCALE: NTS

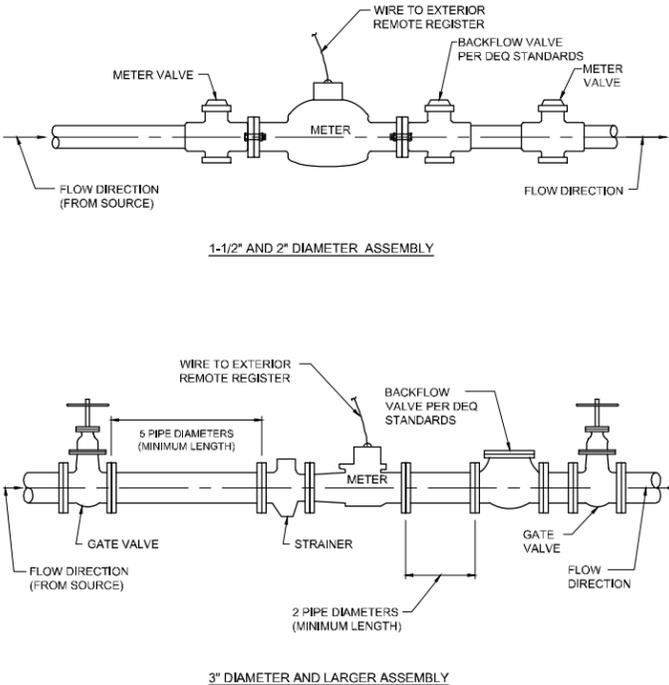


**5 TYPICAL WATER SERVICE**  
SCALE: NTS



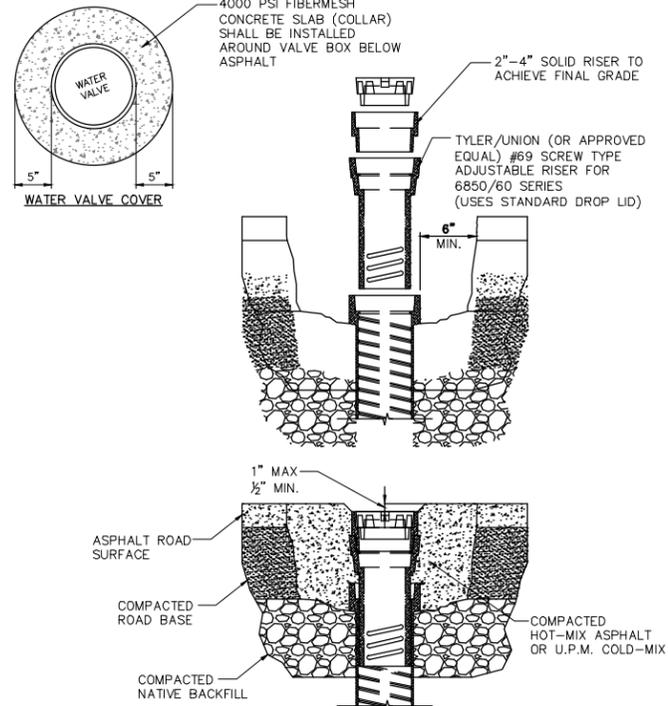
- NOTES:**
- FOR TRENCHING, BEDDING AND BACKFILL REQUIREMENTS, SEE SECTIONS 02220 AND 02225.
  - WHERE THE SPECIFIED MAXIMUM TRENCH WIDTH IS EXCEEDED, OR IF THE PIPE IS INSTALLED IN COMPACTED EMBANKMENT, THEN PIPE EMBEDMENT SHALL BE COMPACTED TO 96% OF STANDARD PROCTOR MAXIMUM DENSITY (ASTM D-698) TO A POINT AT LEAST 3 PIPE DIAMETERS FROM THE PIPE ON BOTH SIDES OF THE PIPE OR TO THE TRENCH WALL, WHICHEVER IS LESS.
  - WHERE TRENCH PASSES THROUGH EXISTING PAVEMENT, THE PAVEMENT SHALL BE CUT IN ACCORDANCE WITH SECTION 02075-3.01.
  - PROVIDE 12" MINIMUM HORIZONTAL CLEARANCE BETWEEN PIPE WALLS FOR MULTIPLE PIPES INSTALLED IN SAME TRENCH. MATCH INVERT ELEVATIONS UNLESS OTHERWISE SPECIFIED.

**6 TYPICAL WATER/SEWER TRENCH**  
SCALE: NTS



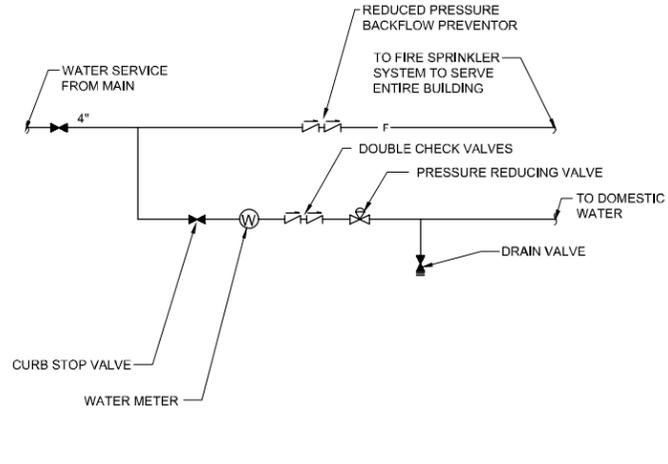
- NOTES:**
- SERVICE PIPE MATERIAL SHALL MEET ADOPTED PLUMBING CODE REQUIREMENTS.
  - METER SHALL BE INSTALLED IN HORIZONTAL ALIGNMENT ONLY.
  - CONNECTIONS WITHIN THE ASSEMBLY SHALL BE THREADED OR BOLTED FLANGED, AS APPROPRIATE.

**7 WATER METER INSTALLATION**  
SCALE: NTS



- NOTES:**
- ADJUST WATER VALVES UPWARD OR DOWNWARD AS REQUIRED. FINAL ADJUSTMENT SHALL BE MADE AFTER PAVING AND BEFORE SEAL COATING.
  - THE TOWN SHALL INSPECT THE VERTICAL ALIGNMENT PRIOR TO AND POST BACKFILLING.
  - MUD PLUGS ARE REQUIRED TO BE PLACED IN ALL VALVE BOXES.

**4 GATE VALVE DETAIL**  
SCALE: NTS

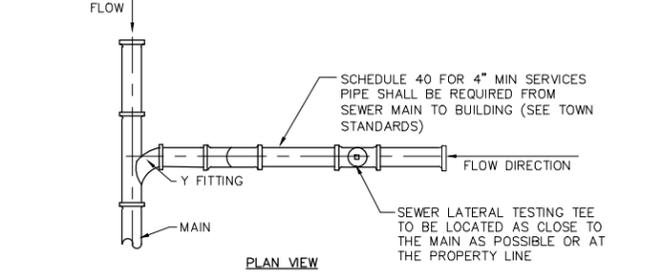
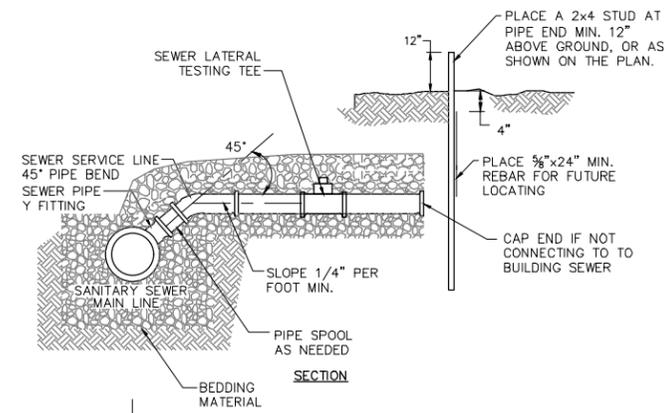


- NOTES:**
- SERVICE PIPE MATERIAL SHALL MEET ADOPTED PLUMBING CODE REQUIREMENTS.
  - METER SHALL BE INSTALLED IN HORIZONTAL ALIGNMENT ONLY.
  - CONNECTIONS WITHIN THE ASSEMBLY SHALL BE THREADED OR BOLTED FLANGED, AS APPROPRIATE.

**8 WATER SERVICE FIRE ENTRY DETAIL**  
SCALE: NTS

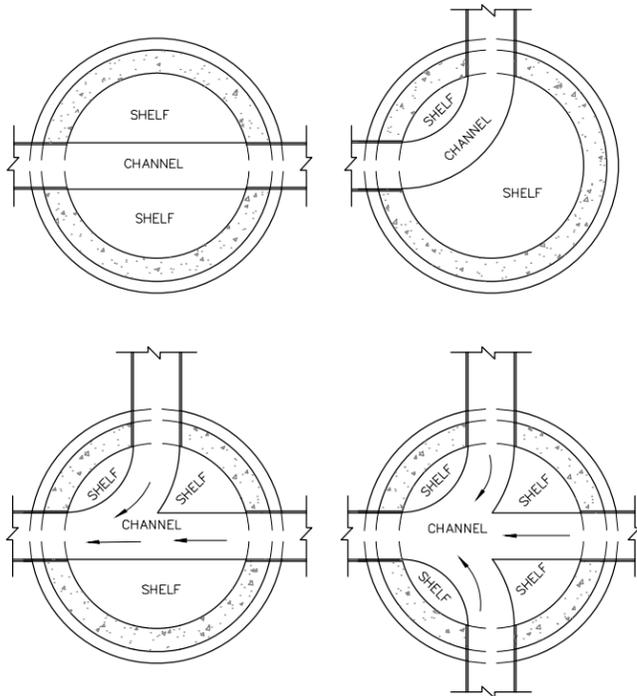
- PRELIMINARY -  
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AND APPROVAL

Ver. 18.1  
Revised by Jorgensen on Jul 22, 2016, 10:10am



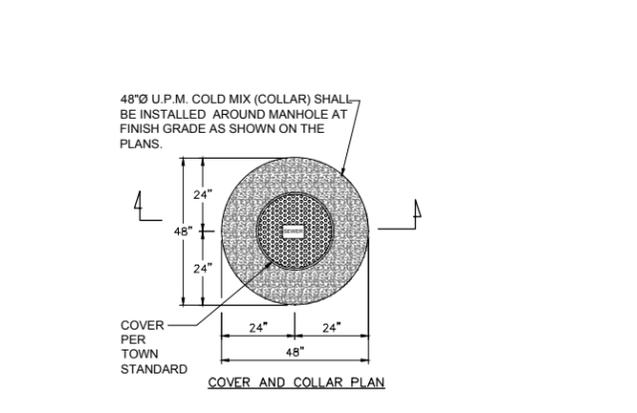
- NOTES:**
- NEW SERVICE CONNECTIONS TO EXISTING SANITARY SEWER MAINS SHALL BE COMPLETED BY TOWN OF JACKSON. THE PRIVATE PARTY BEING SERVED BY THE NEW CONNECTION SHALL BE RESPONSIBLE FOR CARRYING OUT BACKFILL OPERATIONS.
  - BACKFILL OPERATIONS AT NEW SERVICES CONNECTED TO EXISTING SANITARY SEWER MAINS SHALL BE COMPACTED PER TOWN STANDARDS.
  - CLEANOUT TO BE PROVIDED ADJACENT TO BUILDING EVERY 100' OR SERVICE LINE AND AT ALL BENDS.

**1 SANITARY SEWER SERVICE**  
C4.3 SCALE: NTS



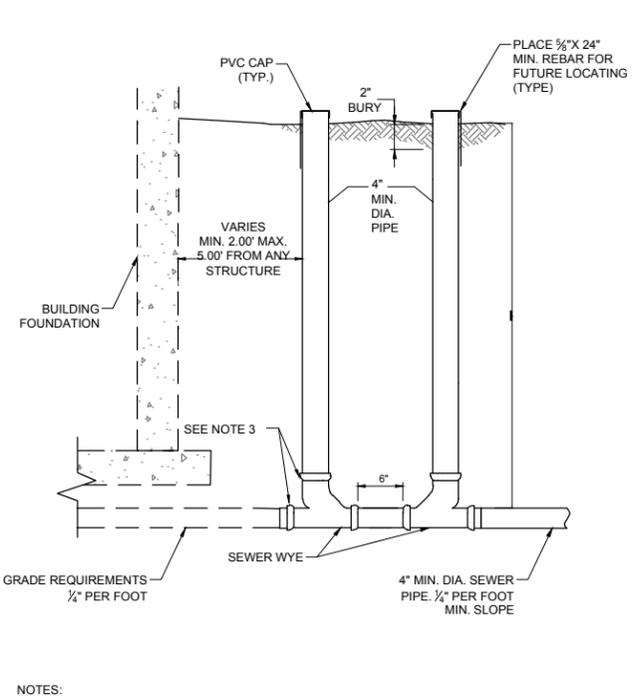
- NOTES:**
- SLOPE ALL SHELVES TO CHANNEL AT 1" PER FOOT.
  - SEE PLAN-PROFILE SHEETS FOR SLOPE OF CHANNEL.

**2 MANHOLE CHANNEL DETAILS**  
C4.3 SCALE: NTS



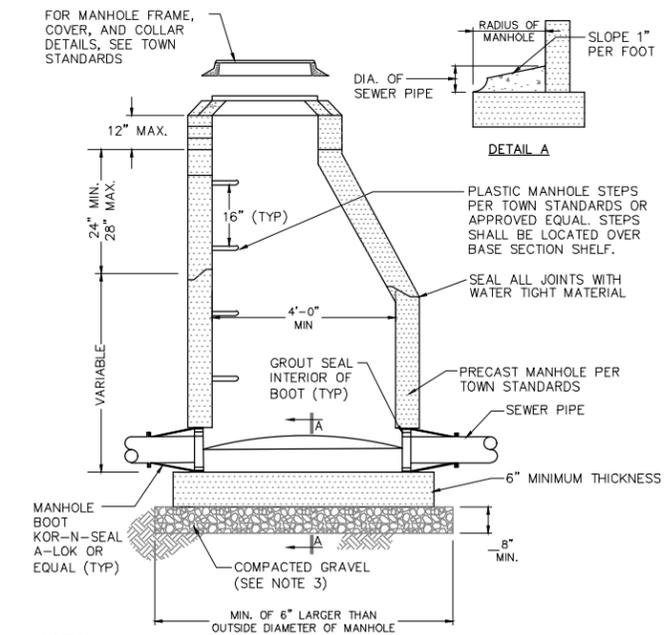
- NOTES:**
- ADJUST MANHOLE UPWARD WITH ADJUSTING RINGS UNDER FRAME. ADJUST MANHOLE DOWNWARD BY REMOVING A PORTION OF THE MANHOLE RISER AND REBUILDING TO PROPER HEIGHT. SLOPE MANHOLE RING AS REQUIRED TO MATCH STREET GRADE AND CROSS SLOPE. MAKE FINAL MANHOLE ADJUSTMENT AFTER PAVING AND BEFORE SEAL COATING.
  - IF MANHOLE IS WITHIN UNPAVED AREA USE TAPERED COLLAR. SEE TOWN SANITARY SEWER DETAIL SS-110.

**3 MANHOLE COVER ADJUSTMENT**  
C4.3 SCALE: NTS



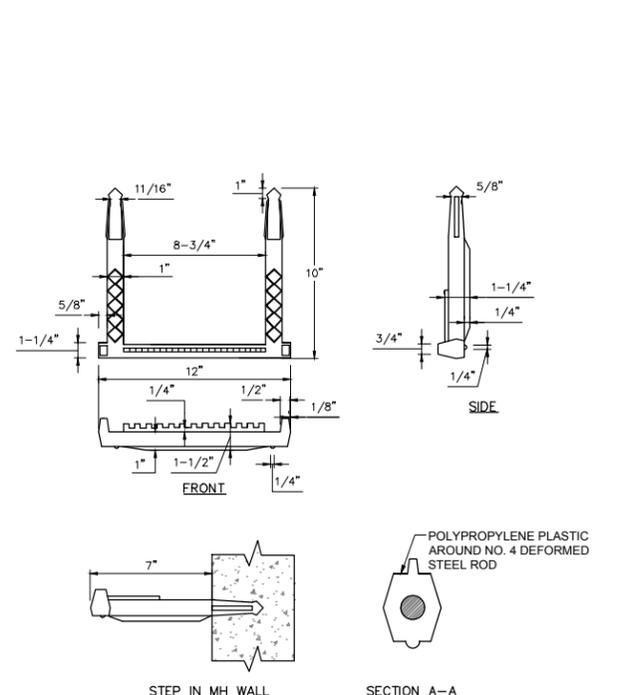
- NOTES:**
- PRIOR TO BACKFILL THE TOWN PUBLIC WORKS DEPARTMENT MUST INSPECT ALL PIPE, FITTINGS, COUPLINGS GRADE AND COMPLETE WATER TESTING.
  - INSTALL AND COMPACT ALL BACKFILL MATERIAL PER TOWN PUBLIC WORKS DEPARTMENT STANDARD SPECIFICATIONS AND AS SHOWN WITHIN THE TRENCH DETAIL.
  - ALL PVC FITTINGS SHALL MEET ASTM D3034 SPECIFICATIONS, AND SHALL ALSO MEET ASTM D312 SPECIFICATIONS FOR RUBBER GASKETED BELL AND SPIGOT TYPE WITH INTEGRAL BELL.

**4 BUILDING CLEANOUT DETAIL**  
C4.3 SCALE: NTS



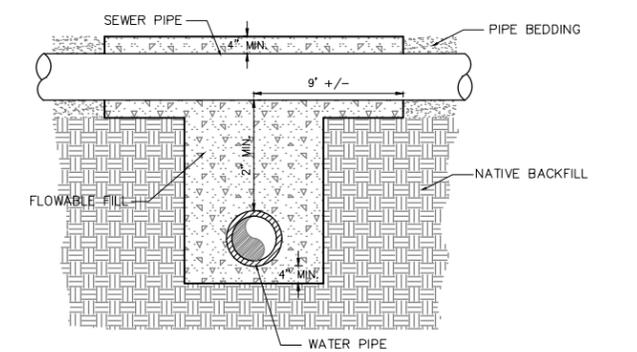
- NOTES:**
- DROP ACROSS INVERT SHALL BE GREATER THAN OR EQUAL TO SLOPE OF ADJACENT SEWER PIPE.
  - BASE SHALL BE REINFORCED WHEN THE DISTANCE FROM INVERT TO TOP OF COVER EXCEEDS 15'. REINFORCEMENT TO BE APPROVED BY ENGINEER.
  - GRAVEL SHALL BE EIGHT INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
  - ALL PIPES GOING INTO MANHOLE SHALL BE INSTALLED TO MATCH TOP OF PIPE CROWNS.
  - TROUGH DEPTH AT CENTER TO BE HALF THE DIAMETER OF THE PIPE.

**5 STANDARD MANHOLE DETAIL**  
C4.3 SCALE: NTS



- NOTES:**
- PLACE INTO WET CONCRETE WALL DURING MANUFACTURE OR MORTAR INTO HOLES AFTER CONCRETE HAS SET.
  - PLASTIC COATED STEPS PER THIS STANDARD DRAWING OR AS APPROVED BY THE ENGINEER.

**6 STANDARD MANHOLE STEPS**  
C4.3 SCALE: NTS

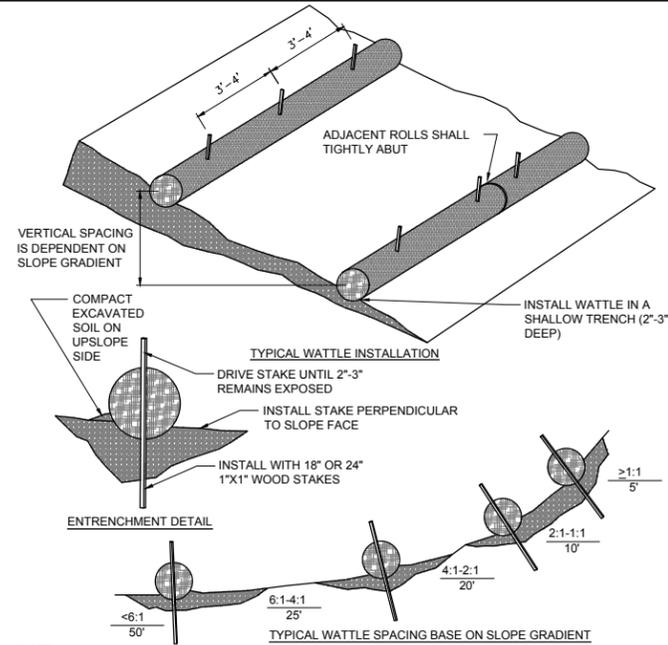


- WATER/SEWER CROSSING NOTES:**
- NORMAL CONDITIONS** - WATER MAINS CROSSING SANITARY SEWER MAINS, OR STORM SEWERS SHALL BE LAID ABOVE TO PROVIDE A VERTICAL SEPARATION OF AT LEAST EIGHTEEN (18) INCHES WHENEVER POSSIBLE. THE DISTANCE SHALL BE MEASURED FROM THE TOP OF THE SEWER PIPE TO THE BOTTOM OF THE WATER PIPE.
- UNUSUAL CONDITIONS** - WHEN LOCAL CONDITIONS PREVENT A VERTICAL SEPARATION OF AT LEAST EIGHTEEN (18) INCHES AS NOTED ABOVE, THE FOLLOWING CONSTRUCTION SHALL BE USED:
- THE SANITARY SEWER OR STORM SEWER JOINTS SHALL BE CONSTRUCTED OF MATERIALS AND WITH JOINTS THAT ARE EQUIVALENT TO WATER MAIN STANDARDS OF CONSTRUCTION (SDR 26 OR C-900) AND SHALL BE TESTED FOR WATER TIGHTNESS BY SEWER LINE METHODS; OR
  - THE SANITARY SEWER, STORM SEWER OR WATER MAIN SHALL BE PLACED IN A SEPARATE CASING PIPE EXTENDING A MINIMUM OF NINE (9) FEET EACH SIDE OF THE CROSSING; OR
  - THE SANITARY SEWER SHALL BE ENCASED IN FLOWABLE FILL A MINIMUM OF NINE (9) FEET EACH SIDE OF CROSSING.
  - WATER MAINS PASSING UNDER SEWER LINES SHALL IN ADDITION TO THE ABOVE REQUIREMENTS, BE PROTECTED BY PROVIDING FLOWABLE FILL BETWEEN WATER AND SEWER LINES FOR ADDITIONAL SUPPORT.
  - FLOWABLE FILL SHALL BEAR ON UNDISTURBED SOIL AND HAVE A 28 DAY COMPRESSIVE STRENGTH OF 30 PSI TO 60 PSI. REFERENCE WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS SECTION 02510.
- (REF. WYOMING PUBLIC WORKS STANDARD SPECIFICATIONS)

**7 WATER/SEWER CROSSING**  
C4.3 SCALE: NTS

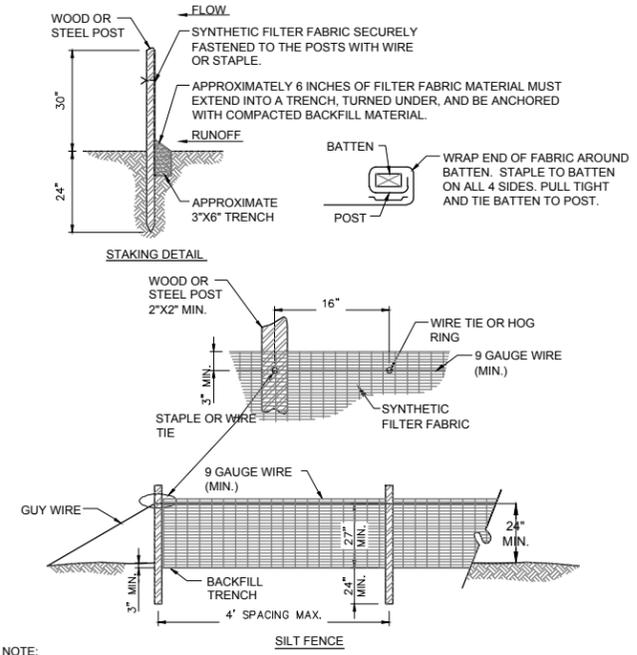
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Revised by Jorgensen on Jul 22, 2016, 10:10am



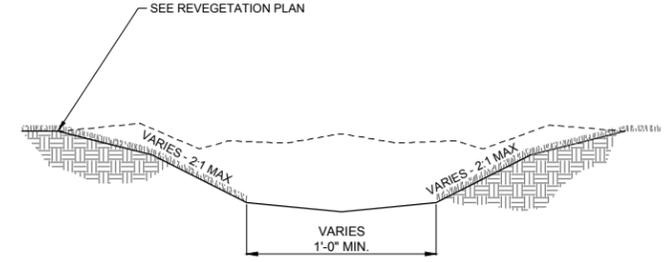
- NOTE:**
- BEGIN AT THE LOCATION WHERE THE WATTLE IS TO BE INSTALLED BY EXCAVATING A 2'-3" DEEP BY 9" WIDE TRENCH ALONG THE CONTOUR OF THE SLOPE. EXCAVATED SOIL SHOULD BE PLACED UP-SLOPE FROM THE ANCHOR TRENCH.
  - PLACE THE WATTLE IN THE TRENCH SO THAT IT CONTOURS TO THE SOIL SURFACE. COMPACT SOIL FROM THE EXCAVATED TRENCH AGAINST THE WATTLE ON THE UPHILL SIDE. ADJACENT WATTLES SHOULD TIGHTLY ABUT.
  - SECURE THE WATTLE WITH 18"-24" STAKES EVERY 3'-4" AND WITH A STAKE ON EACH END. STAKES SHOULD BE DRIVEN THROUGH THE MIDDLE OF THE WATTLE LEAVING AT LEAST 2'-3" OF STAKE EXTENDING ABOVE THE WATTLE. STAKES SHOULD BE DRIVEN PERPENDICULAR TO SLOPE FACE.
  - EROSION CONTROL PLAN AND LOCATION OF STRAW WATTLES SHALL BE APPROVED BY THE TOJ PUBLIC WORKS DEPARTMENT.

**1 STRAW WATTLE DETAIL**  
SCALE: NTS

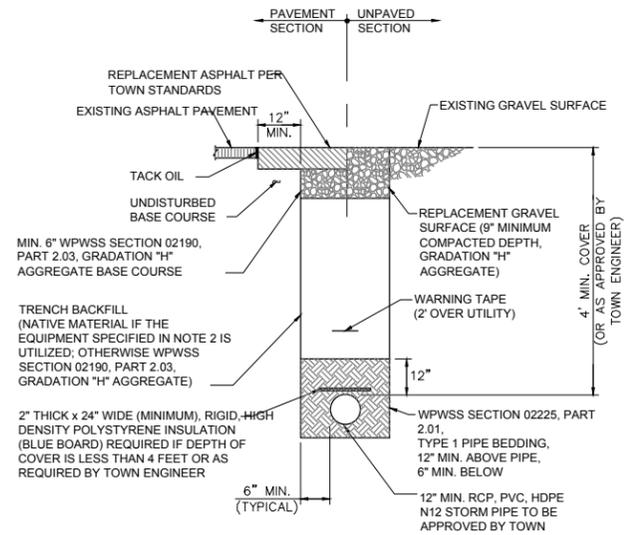


- NOTE:**
- TIE WIRES TO LAP FOR LONG FENCES AND TO BE GUYED TO GROUND WITH 24\"/>

**2 SILT FENCE DETAIL**  
SCALE: NTS

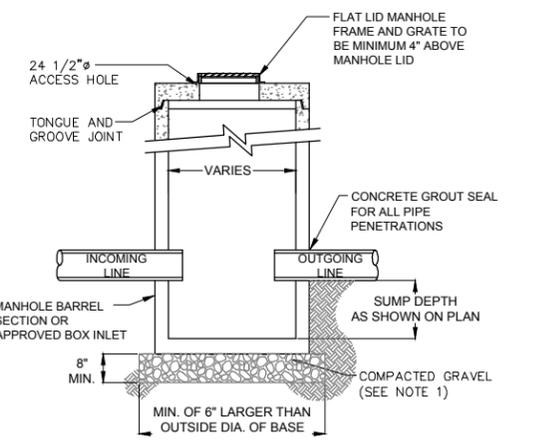


**3 STORMWATER CUT-OFF TRENCH**  
SCALE: NTS



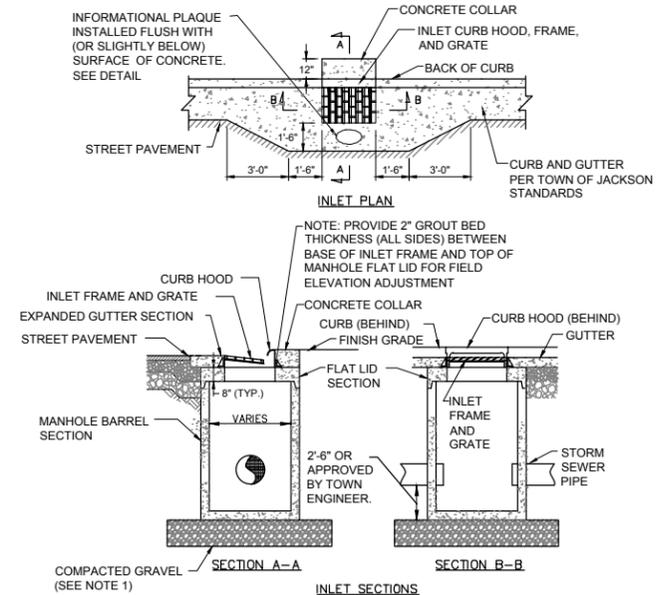
- NOTES:**
- TRENCH BACKFILL BELOW THE SURFACE SHALL MEET THE FOLLOWING CRITERIA:  
- 95% MODIFIED PROCTOR DENSITY WITHIN STREET AND ALLEY RIGHTS-OF-WAY.  
- 90% MODIFIED PROCTOR DENSITY OUTSIDE STREET AND ALLEY RIGHTS-OF-WAY.
  - COMPACTION OF NATIVE TRENCH BACKFILL, WITH ALL ROCK LARGER THAN 6" REMOVED, SHALL BE CARRIED OUT IN 2' LIFTS WITH A HOE-PACK OR A VIBRATORY SHEEPS FOOT ROLLER (COMPACTION METHOD AND EQUIPMENT SHALL BE REVIEWED AND APPROVED BY TOWN ENGINEER PRIOR TO BACKFILLING).
  - PIPE BEDDING SHALL BE PLACED IN 6' LIFTS AND THOROUGHLY COMPACTED WITH A JUMPING JACK TO PROVIDE UNIFORM PIPE SUPPORT.
  - UNLESS OTHERWISE DIRECTED, ALL BASE COURSE AND GRAVEL SURFACE REPLACEMENT SHALL BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
  - ALL TRENCH EXCAVATION SHALL CONFORM TO WYOMING OCCUPATIONAL HEALTH AND SAFETY ADMINISTRATION (WOSHA) REGULATIONS.

**4 TYPICAL STORMWATER TRENCH**  
SCALE: NTS



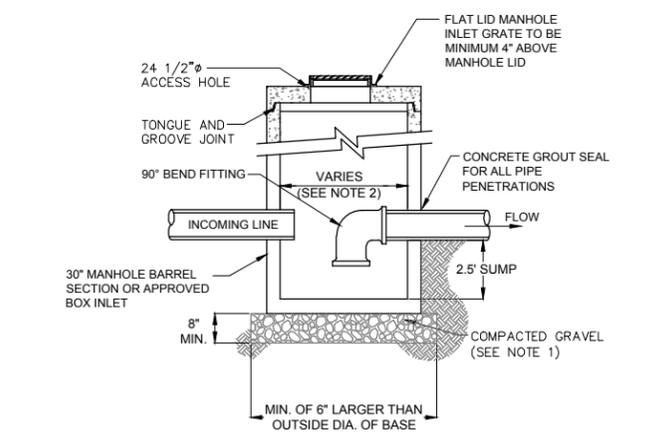
- NOTES:**
- GRAVEL SHALL BE EIGHT INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
  - MANHOLE COVER SHALL BE DESIGNED FOR HS20 LOADING.
  - SEE DETAIL FOR CAST IRON FRAME AND COVER.

**5 STORM DRAIN MANHOLE**  
SCALE: NTS



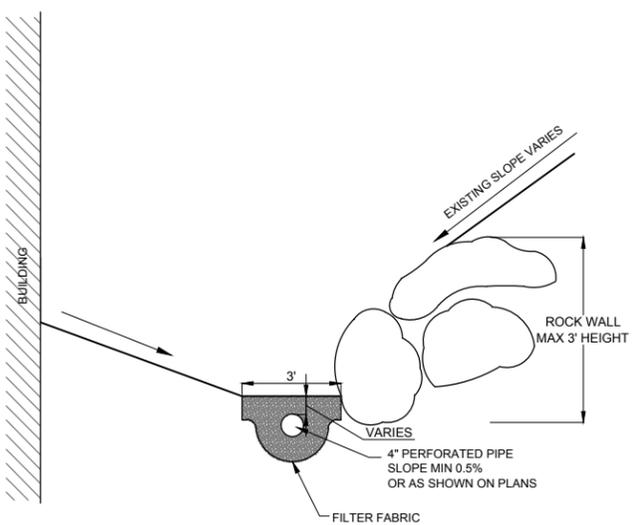
- NOTES:**
- GRAVEL SHALL BE EIGHT INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
  - WHERE INLET IS SHOWN ALONG VALLEY GUTTER, NO CURB HOOD SHALL BE USED. INCLUDE 1" COLLAR AROUND INLET GRATE. SINGLE VALLEY GUTTER INLET FRAME AND GRATE TO BE D&L I-3386, OR APPROVED EQUAL.

**6 CURB/VALLEY GUTTER INLET**  
SCALE: NTS



- NOTES:**
- GRAVEL SHALL BE EIGHT INCH MINIMUM THICKNESS, CONFORM TO WPWSS SECTION 02190, PART 2.03, GRADING H, AND BE INSTALLED PER WPWSS SECTION 02231, PART 3.03.
  - ALL DIMENSIONS TO BE APPROVED BY THE TOWN PUBLIC WORKS DEPARTMENT.
  - MANHOLE COVER SHALL BE DESIGNED FOR HS-20 LOADING.
  - SEE DETAIL FOR CAST IRON FRAME AND COVER.
  - SEE ADJUSTMENT AND COLLAR DETAIL.

**7 TYPICAL STORM DRAIN INLET**  
SCALE: NTS



**8 ROOF DRAIN DETAIL**  
SCALE: NTS

- PRELIMINARY -  
SUBJECT TO CORRECTION  
AND APPROVAL



PROJECT TITLE:  
**WESTVIEW TOWNHOMES  
FINAL DEVELOPMENT PLAN  
1255 WEST HIGHWAY 22  
JACKSON, WYOMING**

SHEET TITLE:  
**STORMWATER SYSTEM DETAILS**

DRAFTED BY:	ZD
REVIEWED BY:	AJ
PLAN VERSION	DATE
FDP	7/22/2016
PROJECT NUMBER	09040.03
SHEET	C4.4

11/20/2016 09:03:17 EPW/C4.4/09040.03 EPW C4.4 Details.dwg