

ORDINANCE L

AN ORDINANCE AMENDING AND REENACTING SECTION 1 OF TOWN OF JACKSON ORDINANCE NOS. 1111 AND 1074 (PART) AND DIVISIONS 2.1 AND 2.2 AND SECTIONS 2.3.1, 2.3.2, 2.3.3, 2.3.7, AND 2.3.8 OF THE TOWN OF JACKSON LAND DEVELOPMENT REGULATIONS REGARDING COMPLETE NEIGHBORHOOD ZONES IN CONNECTION WITH IMPLEMENTING CHARACTER DISTRICT 2 - TOWN COMMERCIAL CORE AS SET FORTH IN THE JACKSON/TETON COUNTY COMPREHENSIVE PLAN, AND PROVIDING FOR AN EFFECTIVE DATE.

BE IT ORDAINED BY THE GOVERNING BODY OF THE TOWN OF JACKSON, WYOMING, IN REGULAR SESSION DULY ASSEMBLED THAT:

SECTION I.

Section 1 of Town of Jackson Ordinance No. 1074 (part) and Division 2.1 of the Town of Jackson Land Development Regulations are hereby amended and reenacted to read as follows:

Article 2. Complete Neighborhood Zones | Div. 2.1. All Complete Neighborhood Zones
2.1.1. Character Zones (D2 effective date)

Div. 2.1. All Complete Neighborhood Zones

Complete neighborhood zones are intended to enhance the locations in the community that are most appropriate for use and development into the most desirable places to live, work, and play. There are 2 types of complete neighborhood zones.

2.1.1. Character Zones (D2 effective date)

Character zones, established in [Div. 2.2.](#), are character-based and established to implement the Comprehensive Plan. The character zones include:

- A. Downtown Core (DC)
- B. Commercial Residential-1 (CR-1)
- C. Commercial Residential-2 (CR-2)
- D. Office Residential (OR)

2.1.2. Legacy Zones (D2 effective date)

Legacy zones, established in [Div. 2.3.](#), are carried forward from the previous LDRs, and it is the intent that they will be phased out over time as character zones are adopted and applied. The legacy zones include:

- A. Town Square (TS)
- B. Urban Commercial (UC)
- C. Urban Residential (UR)
- D. Auto Urban Commercial-Town (AC-ToJ)
- E. Auto Urban Residential-Town (AR-ToJ)
- F. Business Park-Restricted Uses (BP-R)
- G. Business Park-Town (BP-ToJ)
- H. Business Conservation-Town (BC-ToJ)
- I. Residential Business (RB)
- J. Mobile Home Park-Town (MHP-ToJ)
- K. Neighborhood Conservation-Town (NC-ToJ)
- L. Neighborhood Conservation-Two-Family (NC-2)
- M. Suburban-Town (S-ToJ)

Section 1 of Town of Jackson Ordinance No. 1074 (part) and Division 2.2 of the Town of Jackson Land Development Regulations are hereby amended and reenacted to add Section 2.2.1 regarding Rules Applicable to All Complete Neighborhood Character Zones, add Section 2.2.2 regarding the Downtown Core (DC) zone, add Section 2.2.3 regarding the Commercial Residential – 1 (CR-1) zone, add Section 2.2.4 regarding the Commercial Residential – 2 (CR-2) zone, and add Section 2.2.5 regarding the Office Residential (OR) zone, to read as follows:

Article 2. Complete Neighborhood Zones | Div. 2.2. Complete Neighborhood Character Zones
 2.2.1. Rules Applicable to All Complete Neighborhood Character Zones (D2 effective date)

Div. 2.2. Complete Neighborhood Character Zones

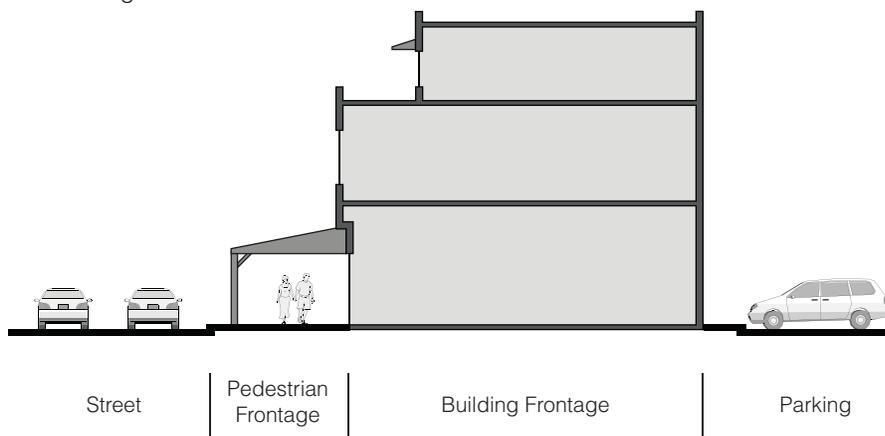
This division provides the development standards that apply to all Complete Neighborhood Character Zones. The standards are organized into three categories: 1) lot standards; 2) bulk standards; and 3) form standards. Each character zone contains specific standards related to these three categories.

2.2.1. Rules Applicable to All Complete Neighborhood Character Zones (D2 effective date)

A. Form Standards

The form rules for character zones are set out in the following categories (as illustrated below):

1. Streets;
2. Pedestrian Frontages;
3. Building Frontages; and
4. Parking.



B. Streets

See the Town of Jackson 2015 Community Streets Plan for street cross-sections intended for locations throughout the Town.

C. Pedestrian Frontages

Pedestrian frontages are the spaces that occur on public or private property between the curb and the building, and are required along all primary and secondary streets. Good pedestrian frontages are essential for fostering mixed-use, walkable, and pedestrian-oriented development. Specific rules for each pedestrian frontage are listed below.

A pedestrian frontage is composed of three parts:

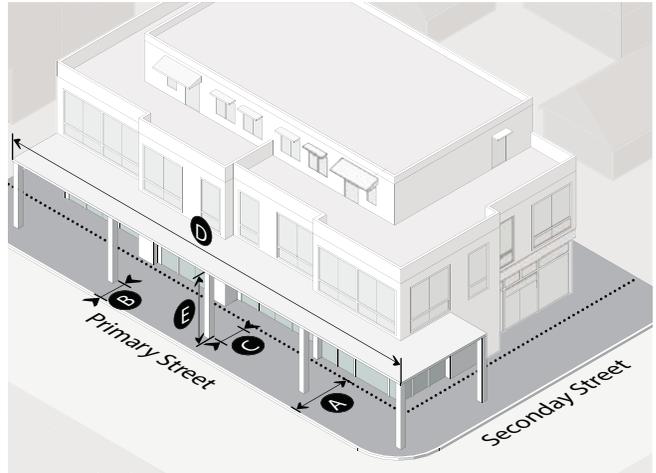
- **Furnishing/Planting Area.** The furnishing/planting area is the area between the back of curb and the clear sidewalk. This area provides for columns, required plantings, accessible ramps, signs, fire hydrants, snow storage, parked vehicle overhang or door swing, etc.
- **Clear Sidewalk.** The clear sidewalk is the primary pedestrian travelway and shall be clear of any obstacles or protruding objects.
- **Building Transition Area.** The remaining space between the clear sidewalk and building facade is a semi-public/private, building transition area that provides room for front door swings, planter boxes, window shopping, outdoor cafe seating, street furniture, public art, etc.

Where private property is used for a furnishing/planting area or a clear sidewalk, an easement may be permanently dedicated to the Town.

See Sec. 2.2.2. through Sec. 2.2.6. to determine which pedestrian frontages may be allowed in each zone. The Planning Director will determine the appropriate pedestrian frontage from the options for a zone based on the established pedestrian frontage and desired pedestrian frontage described in the Community Streets Plan.

The Planning Director may establish lesser standards in any pedestrian frontage pursuant to the procedure of Sec. 8.8.1. in order to achieve consistency between the established pedestrian frontage and the desired pedestrian frontage described in the Community Streets Plan.

1. Covered Walkway



Description

A covered walkway provides visual interest along the street edge, reduces the perceived mass of the building facade, and provides shelter from the rain, snow, and sun throughout the year. A covered walkway also reduces winter maintenance and improves pedestrian safety. A covered walkway is supported by posts or columns, or cantilevered from the building facade.

Pedestrian Frontage Dimensions

Total width from back of curb (min)	13'	A
Furnishing/planting area (min-max)	18" - 3'	B
Clear sidewalk width (min)	8'	C

Additional Specifications

Gallery must be contiguous and extend for at least 75% of the street facade width **D**

Clear height above sidewalk (min) 9' **E**

The furnishing/planting area shall be hardscape other than slab concrete (e.g. pavers, bricks)

The building transition area shall be hardscape



Covered Walkway

2. Trees in Grates



Description

Trees in grates provide a moderate amount of landscaping to screen buildings and provide shade, while remaining easy to maintain.

Pedestrian Frontage Dimensions

Total width from back of curb (min)	13.5'	A
Furnishing/planting area (min)	5'	B
Clear sidewalk width (min)	6'	C

Additional Specifications

Planting type	Tree grate	D
Tree spacing (on center)	30' to 40'	E

The furnishing/planting area that is not tree grates shall be hardscape other than slab concrete (e.g. pavers, bricks)



Trees in Grates

3. Trees in Lawn



Description

Trees in lawn provide a continuous landscape buffer that separates pedestrians from traffic with planted trees that also screen buildings and provide shade.

Pedestrian Frontage Dimensions

Total width from back of curb (min)	13.5'	A
Furnishing/planting area (min)	5'	B
Clear sidewalk width (min)	6'	C

Additional Specifications

Planting type	Tree lawn	D
Tree spacing (on center)	30' to 40'	E



Trees in Lawn

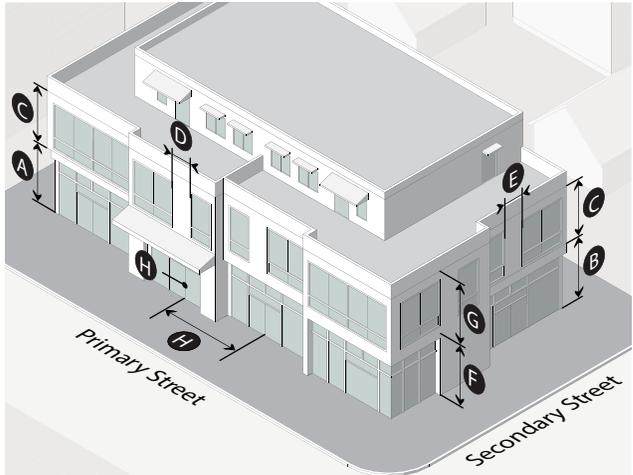
D. Building Frontages

Building frontages set standards for building facades that face streets, and are required along all primary and secondary streets. Building frontages help to ensure that buildings address each street appropriately. They play an important role in shaping the built environment and enhancing the pedestrian experience. Specific rules for each building frontage are listed below. See Sec. 2.2.2 through Sec. 2.2.6 to determine which options are allowed in each zone. The rules of measurement for a building frontage are in Sec. 9.4.

Any use allowed in the applicable zoning district is allowed in any building frontage type, provided the use meets all other zoning and building code requirements. The applicant may use multiple building frontages along the same street frontage, provided that each frontage type is allowed in the applicable zoning district.

Institutional and transportation/Infrastructure uses may be allowed to comply with the building frontages on an 'as practicable' basis with Planning Director approval.

1. Shopfront

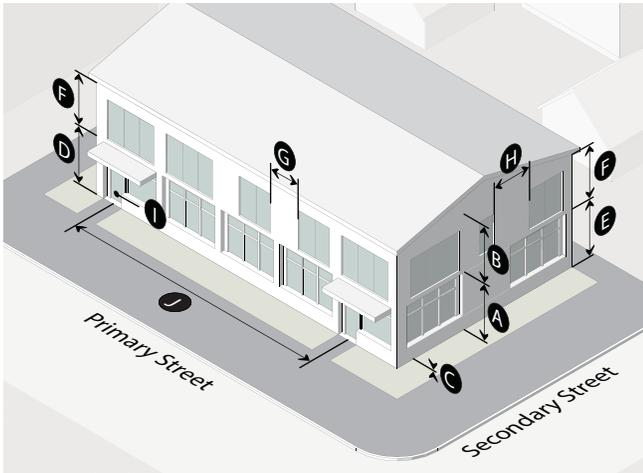


Description

In the Shopfront Frontage, the main facade of the building is located at or near the public sidewalk, often with at-grade entrances spaced at regular intervals. The Shopfront Frontage is intended primarily for retail uses, and has substantial glazing (windows and doors) at the sidewalk level.

Story Height		Sec. 9.4.13
Ground story height (min)	12'	A
Upper story height (min)	9'	B
Ground floor elevation (min-max)	0' - 2'	C
Transparency		Sec. 9.4.14
Ground story, primary street (min)	60%	D
Ground story, secondary street (min)	30%	E
Upper story, primary/secondary street (min)	20%	F
Blank Wall Area		Sec. 9.4.15
Blank wall area, primary street (max)	15'	G
Blank wall area, secondary street (max)	30'	H
Pedestrian Access		Sec. 9.4.16
Entrance facing primary street (max)	Required	I
Entrance spacing along primary street (max)	50'	J

2. Office

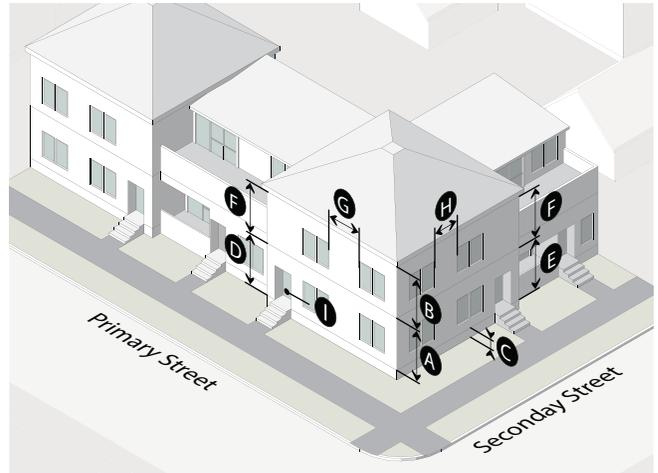


Description

In the Office Frontage, the main facade of the building is set back from the sidewalk with a street-facing entrance. The Office Frontage is intended primarily for employment, and secondary residential uses, and has moderate glazing (windows and doors) at the sidewalk level.

Story Height		Sec. 9.4.13
Ground story height (min)	10'	A
Upper story height (min)	9'	B
Ground floor elevation (min-max)	0' - 2'	C
Transparency		Sec. 9.4.14
Ground story, primary street (min)	40%	D
Ground story, secondary street (min)	20%	E
Upper story, primary/secondary street (min)	20%	F
Blank Wall Area		Sec. 9.4.15
Blank wall area, primary street (max)	25'	G
Blank wall area, secondary street (max)	40'	H
Pedestrian Access		Sec. 9.4.16
Entrance facing primary street	Required	I
Entrance spacing along primary street (max)	100'	J

3. Residential

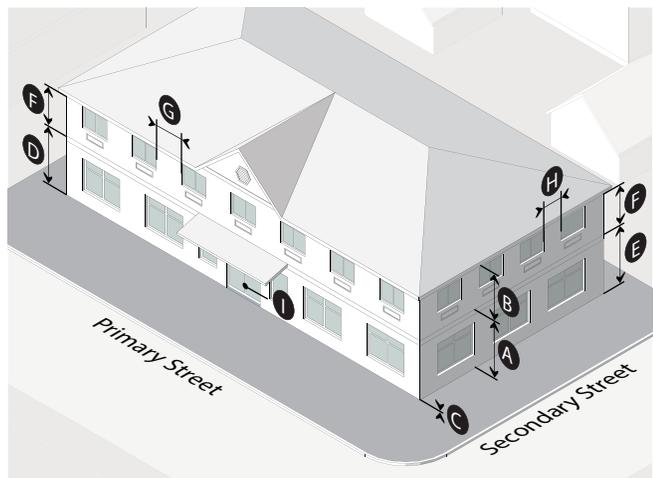


Description

In the Residential Frontage, the main facade of the building is set back from the sidewalk to protect privacy, with a street-facing entrance or series of entrances. The Residential Frontage is intended primarily for residential uses, and has limited glazing (windows and doors) at the sidewalk level.

Story Height		Sec. 9.4.13
Ground story height (min)	9'	A
Upper story height (min)	9'	B
Ground floor elevation (min-max)	0' - 5'	C
Transparency		Sec. 9.4.14
Ground story, primary street (min)	20%	D
Ground story, secondary street (min)	20%	E
Upper story, primary/secondary street (min)	20%	F
Blank Wall Area		Sec. 9.4.15
Blank wall area, primary street (max)	35'	G
Blank wall area, secondary street (max)	50'	H
Pedestrian Access		Sec. 9.4.16
Entrance facing primary street	Required for each ground floor unit	I
Entrance spacing along primary street (max)	n/a	

4. Lodging



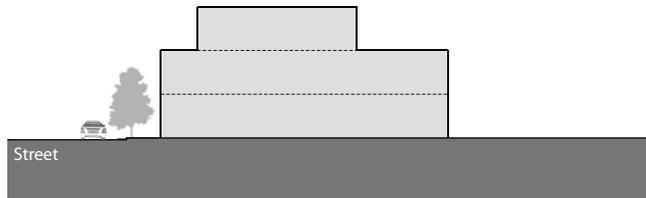
Description

In the Lodging Frontage, the main facade of the building is either set back or pulled up to the sidewalk with a street-facing entrance or series of entrances. The Lodging Frontage is intended primarily for lodging uses, and has a variety of glazing (windows and doors) at the sidewalk level.

Story Height		Sec. 9.4.13
Ground story height (min)	12'	A
Upper story height (min)	7' 6"	B
Ground floor elevation (min-max)	0' - 5'	C
Transparency		Sec. 9.4.14
Ground story, primary street (min)	40%	D
Ground story, secondary street (min)	20%	E
Upper story, primary/secondary street (min)	20%	F
Blank Wall Area		Sec. 9.4.15
Blank wall area, primary street (max)	35'	G
Blank wall area, secondary street (max)	50'	H
Pedestrian Access		Sec. 9.4.16
Entrance facing primary street	Required	I
Entrance spacing along primary street (max)	n/a	

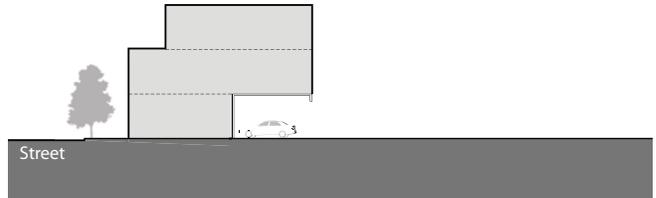
E. Parking Types

The location of parking is very important. Improper treatment can have a negative effect on walkability. A variety of parking type options are illustrated below. See Sec. 2.2.2 through Sec. 2.2.6 to determine which options are allowed in each zone.



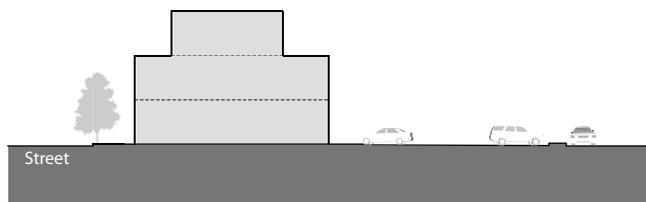
1. On-Street Parking

On-street parking provides off-site, at grade parking in the public right-of-way.



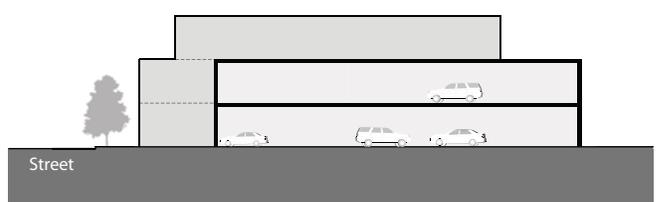
4. Tuck-Under Parking

Tuck-under parking provides at grade parking located beneath the upper-stories of a building. Tuck-under parking must be located to the rear of the building.



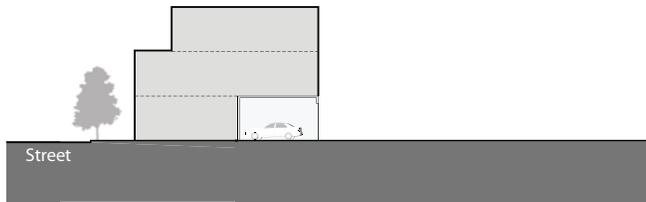
2. Surface Parking

Surface parking provides uncovered, at-grade parking. Surface parking must be located behind or to the side of buildings and must be screened from view from any street (except an alley).



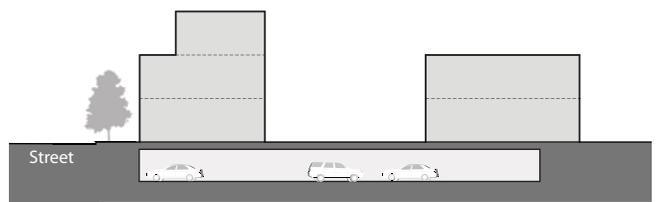
5. Structured Parking

Structured parking provides parking fully integrated within a building. Active street fronts must be provided to the extent practical.



3. Enclosed Parking

Enclosed parking provides at grade parking located beneath the upper-stories of a building. Parking must be fully enclosed and be screened by a building facade.



6. Underground Parking

Underground parking provides below grade parking.

2.2.2. DC: Downtown Core (D2 effective date)

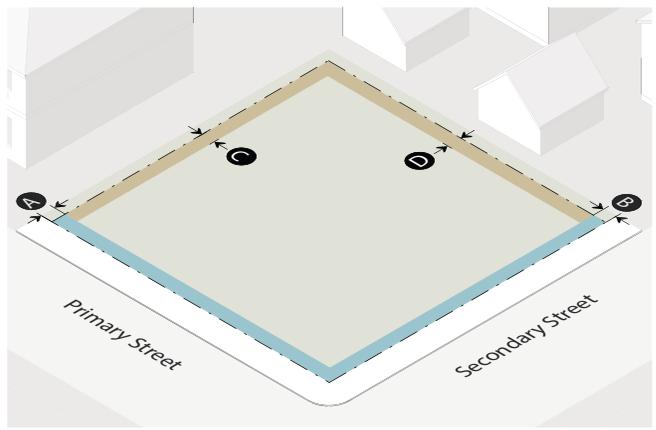
A. Intent

1. **General Intent.** The intent of the Downtown Core (DC) zone is to provide for a vibrant mixed-use area with a variety of uses and amenities, consisting of wide sidewalks and retail shopfronts pulled up to the street.
2. **Buildings.** Buildings can be up to 3 stories in height. Massing, articulation, openings, and step backs are used to reduce bulk and mass. Buildings are located close to the sidewalk, creating an attractive street edge. Large storefront windows invite and encourage pedestrian activity.
3. **Parking.** Parking is primarily provided off-site on public lots and on-street. Parking provided on-site is underground or screened from view by buildings.
4. **Land Use.** Active and engaging uses are encouraged on ground floors but not required, with offices, apartments, single-family attached, and lodging primarily located on upper stories.
5. **Comprehensive Plan.** Based primarily on sub area 2.3 of the Comprehensive Plan.

B. Physical Development

Standards applicable to physical development are provided in this Section. Where a cross-reference is listed, see the referenced division or section for additional standards. Standards in Article 5 apply unless stated otherwise.

1. Lot Standards



Building Setbacks Sec. 9.4.8

Primary street setback range (min-max)	0' - 5'	A
Secondary street setback range (min-max)	0' - 5'	B
Side interior (min)	0' or 5'	C
Rear (min)	0' or 5'	D
Abutting protected zone (min)	10'	

Landscaping Div. 5.5

Landscape surface ratio (min)	n/a
Plant units (min)	n/a

Fencing

Height in any street or side yard (max)	4'
Height in rear yard (max)	6'
Setback from pedestrian frontage (min)	1'
Setback from side or rear lot line (min)	0'

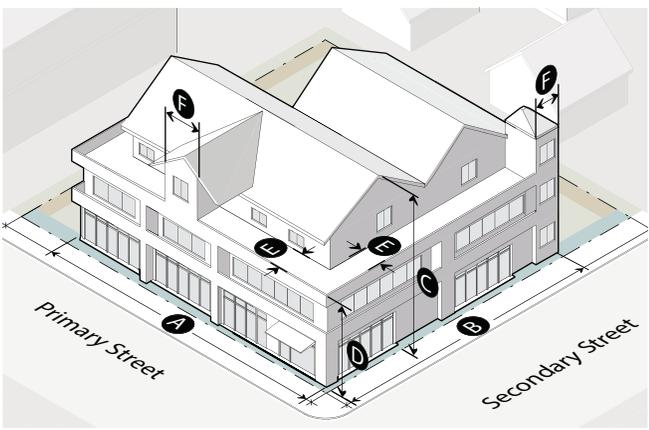
Parking Setbacks Sec. 9.4.8

Primary street, above ground (min)	30'
Secondary street, surface parking (min)	30'
Secondary street, tuck-under, enclosed, or structured parking screened by bldg. (min)	0'

Access

Curb cut width (max)	24'
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2. Bulk Standards



Street Facade		Sec. 9.4.11
Width of ground and 2nd story in primary street setback range		A
% of lot width (min)	80%	
Length from street corner (min)	30'	
Width of ground and 2nd story in secondary street setback range		B
% of lot width (min)	80%	
Length from street corner (min)	30'	
Building Height		Sec. 9.4.9
Height (max) if roof pitch \geq 5/12	46'	C
Height (max) if roof pitch $<$ 5/12	42'	C
Stories (max)	3	C
Stories or Height (min) in any street setback range	2 or 24'	D
Building Stepback		Sec. 9.4.12
Stepback for any 3rd story street facade or street facade over 30' (min)	10'	E
Encroachment in stepback (max % of overall facade width)	60%	F
A building with only residential use that has at least 4 units is exempt from the stepback requirement		
Scale of Development		
Floor area ratio (FAR) (max) (E.3)	1.3	
Deed restricted housing exemption	Sec. 7.8.3	
Workforce housing floor area bonus	Sec. 7.8.4	

3. Form Standards



Design Guidelines		Sec. 5.8
These requirements apply to all development, except where exempted by Planning Director for additions of 20% or less that are consistent with existing architecture.		
Pedestrian Frontage		
Planning Director will establish one of the following as the pedestrian frontage		
Covered walkway		see Sec. 2.2.1.C.1
Trees in grates		see Sec. 2.2.1.C.2
Building Frontage Options		
Shopfront		see Sec. 2.2.1.D.1
Residential		see Sec. 2.2.1.D.3
Lodging		see Sec. 2.2.1.D.4
Parking Type Options		
On-street parking		see Sec. 2.2.1.E.1
Surface parking		see Sec. 2.2.1.E.2
Tuck-Under Parking		see Sec. 2.2.1.E.4
Enclosed parking		see Sec. 2.2.1.E.3
Structured parking		see Sec. 2.2.1.E.5
Underground parking		see Sec. 2.2.1.E.6

4. Environmental Standards	
Natural Resource Setback (min)	Sec 5.1.1
Cache Creek south of Cache Creek Dr.	20'
Flat Creek north of Hansen Ave.	25'
Flat Creek south of Hansen Ave.	50'
Wetland	30'
Irrigation Ditch Setback (min)	Sec. 7.7.4.D
Irrigation Ditch	15'
Natural Resource Overlay (NRO)	Sec. 5.2.1
5. Scenic Standards	
Exterior Lighting	Sec. 5.3.1
Total cuff off angle (max)	90°
Illumination in footcandles	1.50
Height (max)	18'
Scenic Resource Overlay (SRO)	Sec. 5.3.2
6. Natural Hazards to Avoid	
Steep Slopes	Sec. 5.4.1
Development prohibited	Slopes > 25%
Hillside CUP required	Parcel with average cross-slope ≥ 10%
Areas of Unstable Soils	Sec. 5.4.2
Fault Area	Sec. 5.4.3
Floodplains	Sec. 5.4.4
Wildland Urban Interface	Sec. 5.4.5

7. Signs (nonresidential)		Div. 5.6	
Number of signs (max)	3 per business per		
Background color	No white or yellow		
Sign Area			
Total sign area (max)	3 sf per linear ft of street facade width up to 150 sf		
Penalty	10% per projecting and freestanding sign		
Sign Type Standards			
Canopy sign			
Clearance (min)	7'6" from average grade		
Setback (min)	18" from back of curb		
Freestanding sign			
Height (max)	6'		
Setback (min)	5'		
Projecting sign			
Height (max)	24' above grade		
Clearance (min)	7'6" from average grade		
Setback (min)	18" from back of curb		
Window sign			
Window surface coverage (max)	25% up to 16 sf		
Temporary signs	Sec. 5.6.1		
8. Grading, Erosion Control, Stormwater			
Grading	Sec. 5.7.2		
Erosion Control	Sec. 5.7.3		
Erosion shall be controlled at all times			
Stormwater Management			Sec. 5.7.4
No increase in peak flow rate or velocity across property lines			

9. Physical Development Permits Required							
Physical Development	Sketch Plan (Sec. 8.3.1)	Development Plan (Sec. 8.3.2)	Building Permit (Sec. 8.3.3)	DRC Review (Sec. 8.2.6)	Sign Permit (Sec. 8.3.5)	Grading Permit (Sec. 8.3.4)	Floodplain Permit
Floor Area							
< 19,500 sf			X	X		Sec. 5.7.1	Sec. 5.4.4
19-500 - 39,000 sf		X	X	X		Sec. 5.7.1	Sec. 5.4.4
> 39,000 sf	X	X	X	X		Sec. 5.7.1	Sec. 5.4.4
> 39,000 sf for only residential use	optional	X	X	X		Sec. 5.7.1	Sec. 5.4.4
Sign					X	Sec. 5.7.1	Sec. 5.4.4

C. Allowed Uses and Use Standards

Standards applicable to use are provided below. Where a cross-reference is listed see the referenced division or section for additional standards. Allowed uses are listed in subsection 1. Uses that are not listed are prohibited unless a similar use determination is made pursuant to Sec. 6.1.2.C. All standards in Article 6 are applicable unless stated otherwise.

1. Allowed Uses				2. Use Requirements	
Use	Permit	Individual Use (max)	Density (max)	Parking (min) (Div 6.2) (E.1)	Employee Housing (min) (Div 6.3)
Residential Uses					
Attached Single-Family Unit (6.1.4.B)	B	8,000 sf habitable excluding basement	n/a	1/DU if < 2 bedrooms and < 500 sf; otherwise, 1.5/DU	n/a
Apartment (6.1.4.D)	B				
Dormitory (6.1.4.F)	C	n/a	n/a	0.251/bed	n/a
Group Home (6.1.4.G)	C	n/a	n/a	0.5/bed	n/a
Lodging					
Conventional Lodging (6.1.5.B)	B (LO)	n/a	n/a	0.75/room	47 sf/1,000 sf
Short-term Rental Unit (6.1.5.C)	B (LO)	n/a	n/a	1/DU if < 2 bedrooms and < 500 sf; otherwise, 1.5/DU	n/a
Commercial Uses					
Office (6.1.6.B)	B	n/a	n/a	1.65/1,000 sf	14 sf/1,000 sf
Retail (6.1.6.C)	B	12,500 sf	n/a	2.25/1,000 sf	156 sf/1,000 sf
Service (6.1.6.D)	B	excluding basement	n/a	1.5/1,000 sf	56 sf/1,000 sf
Restaurant/Bar (6.1.6.E)	B	storage	n/a	1/110 sf dining area + 1/60 sf bar area	378 sf/1,000 sf
Amusement/Recreation					
Amusement (6.1.7.B)	B	n/a	n/a	1/60 sf seating area or independent calculation	independent calculation
Developed Recreation (6.1.7.D)	B	n/a	n/a	2.25/1,000 s	independent calculation
Outfitter/Tour Operator (6.1.7.E)	C	n/a	n/a	independent calculation	independent calculation
Institutional Uses					
Assembly (6.1.8.B)	C	n/a	n/a	independent calculation	exempt
Day Care/Education (6.1.8.C)	B	n/a	n/a	independent calculation	exempt

Y = Use allowed, no permit required B = Basic Use Permit (Sec. 8.4.1) C = Conditional Use Permit (Sec. 8.4.2) (LO) = Lodging Overlay Only

1. Allowed Uses				2. Use Requirements	
Use	Permit	Individual Use (max)	Density (max)	Parking (min) (Div 6.2) (E.1)	Employee Housing (min) (Div 6.3)
Transportation/Infrastructure					
Parking (6.1.10.B)	C	n/a	n/a	n/a	independent calculation
Utility Facility (6.1.10.C)	C	n/a	n/a	0.5/employee + 0.5/stored vehicle	independent calculation
Wireless Communications Facilities (6.1.10.D)					
Minor	B	n/a	n/a	0.5/employee + 0.5/stored vehicle	independent calculation
Accessory Uses					
Accessory Residential Unit (6.1.11.B)	B	n/a	n/a	1/DU	n/a
Home Occupation (6.1.11.D)	B	n/a	n/a	n/a	n/a
Family Home Daycare (6.1.11.F)	B	n/a	n/a	0.5/employee + 0.5 off-street pick-up/drop-off	exempt
Temporary Uses					
Christmas Tree Sales (6.1.12.B)	Y	n/a	n/a	0.5/1,000 sf outdoor display area + 0.5/employee	exempt
Farm Stand (6.1.12. E)	B	n/a	n/a	2.5/1,000 sf display area	exempt
Y = Use allowed, no permit required B = Basic Use Permit (Sec. 8.4.1) C = Conditional Use Permit (Sec. 8.4.2) (LO) = Lodging Overlay Only					

3. Operational Standards	
Outdoor Storage	Sec. 6.4.1
Outdoor Storage	Prohibited
Freestanding storage units (trailers, sheds, "Bully Barns", tarpaulin structures, etc.) not made a permanent part of a structure	Prohibited
Refuse and Recycling	Sec. 6.4.2
Trash & recycling enclosure	Required
Noise	Sec. 6.4.3
Sound level at property line (max)	65 DBA
Vibration	Sec. 6.4.4
Electrical Disturbances	Sec. 6.4.5
Fire and Explosive Hazards	Sec. 6.4.6

D. Development Options and Subdivision

Standards applicable to development options and subdivision are provided below. Where a cross-reference is provided see the referenced division or section for additional standards. All standards in Article 7 are applicable unless stated otherwise.

1. Allowed Subdivision and Development Options						
Option	GSA (min)	Lot Size (min)	Density (max)	LSR (min)	FAR (max)	Option Standards
Allowed Subdivision Options						
Land Division	n/a	5,000 sf	n/a	determined by physical development		Sec. 7.2.3
Townhouse Condominium Subdivision	n/a	n/a	n/a	n/a	n/a	Sec. 7.2.4
2. Residential Subdivision Requirements						
Affordable Housing						
Required Affordable Housing				1 affordable unit per 4 market units		
Schools and Parks Exaction						
Schools exaction				.020 acres per 1- or 2-family unit .015 acres per multi-family unit		
Parks exaction				9 acres per 1,000 resident		
3. Infrastructure						
Transportation Facilities						(Div. 7.6.)
Access						required
Right-of-way for Minor Local Road (min)						60'
Paved travel way for Minor Local Road (min)						20'
Required Utilities						(Div. 7.7.)
Water						public
Sewer						public
4. Required Subdivision and Development Option Permits						
Option	Planned Unit Development (Sec. 8.7.3)	Sketch Plan (Sec. 8.3.1)	Development Plan (Sec. 8.3.2)	Development Option Plan (Sec. 8.5.2)	Subdivision Plat (Sec. 8.5.3)	
Land Division						
≤ 10 Lots			X		X	
> 10 Lots		X	X		X	
Condominium/Townhouse						X

E. Additional Zone-Specific Standards

1. Provision of Nonresidential, Nonlodging Parking

- a. **Applicability.** The following options for providing required parking shall apply to allowed uses except:
 - i. Residential Uses (Sec. 6.1.4.);
 - ii. Lodging Uses (Sec. 6.1.5.); and
 - iii. Accessory Residential Unit (6.1.11.B).
- b. **Existing Parking Credits.** For properties with established parking credits per the Town Parking Credit Table (on reference with the Planning Department), the landowner may use such credits toward required parking. Credits are based on the amount of parking provided in 1988, as determined in 2005. Parking credits run with the land and are not transferable.

c. **On-street Parking.** Required parking may be provided on-street provided the following standards are met.

- i. An on-street parking space shall have the following length of uninterrupted curb adjoining to the lot of record of the use.

Uninterrupted Curb per On-street Parking Space	
Parking Space Angle	Uninterrupted Curb
Parallel	22'
45°/60°	18'
90°	9'

- ii. On-street parking shall not be provided along a red curb or other no-parking area put in place by the Town or WYDOT.
 - iii. The on-street parking shall follow the established configuration of existing on-street parking.
 - iv. On-street parking spaces shall be available for general public use at all times. No signs or actions limiting general public use of on-street spaces shall be permitted.
- d. **Fee-In-Lieu.** Required parking may be provided off-site through the Town’s in-lieu fee program pursuant to the following standards.
- i. **Fee.** The fee shall be a one-time fee commensurate with the cost of providing off-street parking and shall be used exclusively for such purpose. The Town Clerk shall accept fees in accordance with the parking fee schedule set forth by Resolution.
 - ii. **Assignment of Credits.** Parking credits purchased by fee-in-lieu run with the land and are not transferable.
 - iii. **Banking of Fee-in-Lieu Spaces.** Fee-in-lieu spaces may be purchased in advance and “banked” for future use.

- 2. **Loading Requirement.** Sufficient off-street loading facilities must be provided. The requirements of Sec. 6.2.2.E are not applicable. The applicant must address how their specific loading needs are being met in the proposed application.
- 3. **Existing Floor Area Allowed.** Where the existing floor area on a site exceeds the allowed floor area ratio (FAR), the maximum allowed floor area shall be the lawfully existing floor area. The burden of establishing the amount of lawfully existing floor area shall be the responsibility of the landowner.

2.2.3. CR-1: Commercial Residential-1
 (D2 effective date)

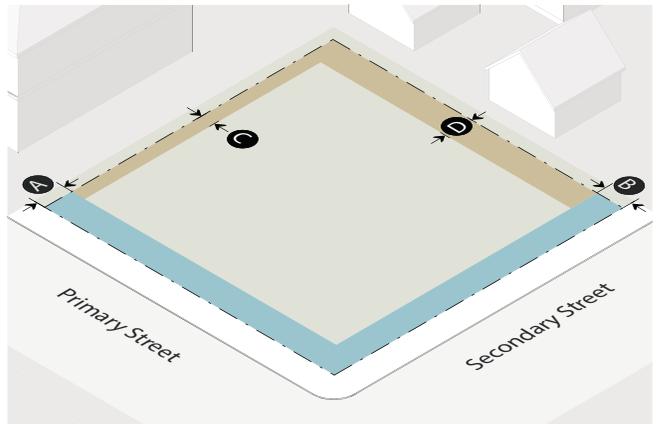
A. Intent

1. **General Intent.** The intent of the Commercial Residential-1 (CR-1) zone is to provide for mixed-use development consisting primarily of offices, retail and residential development. Lodging uses are allowed within the Lodging Overlay. This zone will often be located on secondary corridors and may serve as a transition zone between higher intensity commercial areas and residential neighborhoods.
2. **Buildings.** Buildings can be up to 3 stories in height. Buildings are pulled up to the street, awnings, galleries, porches, stoops, and windows and doors work in concert to provide an attractive pedestrian environment that complements and serves the surrounding neighborhood.
3. **Parking.** Parking is primarily provided on-site, to the rear or side of buildings and screened from view.
4. **Land Use.** Ground-level uses add vitality and street life at a scale consistent with neighboring residential structures and uses. Upper floors primarily accommodate residential, office and lodging uses, but these uses are allowed on the ground floor as well.
5. **Comprehensive Plan.** Based primarily on sub area 2.2 of the Comprehensive Plan.

B. Physical Development

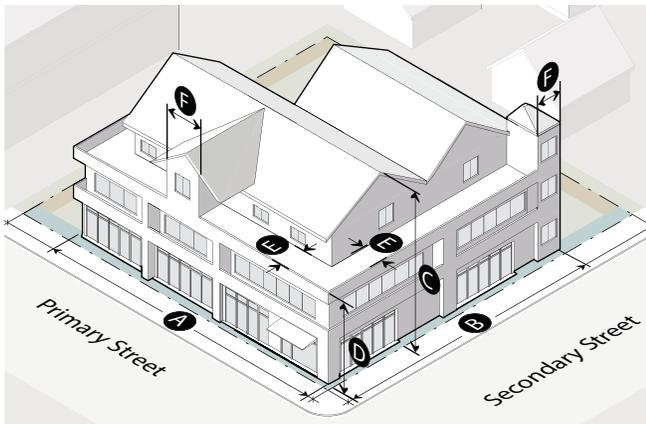
Standards applicable to physical development are provided on the following pages. Where a cross-reference is listed, see the referenced division or section for additional standards. Standards in Article 5 apply unless stated otherwise.

1. Lot Standards



Building Setbacks		Sec. 9.4.8
Primary street setback range (min-max)	0' - 5'	A
Secondary street setback range (min-max)	0' - 5'	B
Side interior (min)	0' or 5'	C
Rear (min)	10'	D
Abutting protected zone (min)	10'	
Landscaping		Div. 5.5
Landscape surface ratio (min)	10%	
Plant Units		
All uses	1/1,000 sf of landscape areas	
Parking lot (all uses)	1/12 parking spaces	
Fencing		
Height in any street or side yard (max)	4'	
Height in rear yard (max)	6'	
Setback from pedestrian frontage (min)	1'	
Setback from side or rear lot line (min)	0'	
Parking Setbacks		Sec. 9.4.8
Primary street, above ground (min)	30'	
Secondary street, surface parking (min)	30'	
Secondary street, tuck-under, enclosed, or structured parking (min)	0'	
Access		
Curb cut width (max)	24'	

2. Bulk Standards



Street Facade		Sec. 9.4.11
Width of ground and 2nd story in primary street setback range		A
% of lot width (min)	80%	
Length from street corner (min)	30'	
Width of ground and 2nd story in secondary street setback range		B
% of lot width (min)	40%	
Length from street corner (min)	30'	
Building Height		Sec. 9.4.9
Height (max) if roof pitch \geq 5/12	46'	C
Height (max) if roof pitch $<$ 5/12	42'	C
Stories (max)	3	C
Stories or Height (min) in any street setback range	2 or 24'	D
Building Stepback		Sec. 9.4.12
Stepback for any 3rd story street facade or street facade over 30' (min)	10'	E
Encroachment in stepback (max % of overall facade width)	60%	F
A building with only residential use that has at least 4 units is exempt from the stepback requirement		
Scale of Development		
Floor area ratio (FAR max) (E.3)	0.65	
Additional FAR for lodging use	0.15	
Deed restricted housing exemption	Sec. 7.8.3	
Workforce housing floor area bonus	Sec. 7.8.4	

3. Form Standards



Design Guidelines		Sec. 5.8
These requirements apply to all development, except where exempted by Planning Director for additions of 20% or less that are consistent with existing architecture.		
Pedestrian Frontage		
Trees in grates		see Sec. 2.2.1.C.2
Building Frontage Options		
Shopfront		See Sec. 2.2.1.D.1
Office		see Sec. 2.2.1.D.2
Residential		see Sec. 2.2.1.D.3
Lodging		see Sec. 2.2.1.D.4
Parking Type Options		
On-street parking		see Sec. 2.2.1.E.1
Surface parking		see Sec. 2.2.1.E.2
Enclosed parking		see Sec. 2.2.1.E.3
Tuck-Under Parking		see Sec. 2.2.1.E.4
Structured parking		see Sec. 2.2.1.E.5
Underground parking		see Sec. 2.2.1.E.6

4. Environmental Standards	
Natural Resource Setback (min)	Sec 5.1.1
Cache Creek south of Cache Creek Dr.	20'
Flat Creek north of Hansen Ave.	25'
Flat Creek south of Hansen Ave.	50'
Wetland	30'
Irrigation Ditch Setback (min)	Sec. 7.7.4.D
Irrigation Ditch	15'
Natural Resource Overlay (NRO)	Sec. 5.2.1
5. Scenic Standards	
Exterior Lighting	Sec. 5.3.1
Total cuff off angle (max)	90°
Illumination in footcandles	1.50
Height (max)	18'
Scenic Resource Overlay (SRO)	Sec. 5.3.2
6. Natural Hazards to Avoid	
Steep Slopes	Sec. 5.4.1
Development prohibited	Slopes > 25%
Hillside CUP required	Parcel with average cross-slope ≥ 10%
Areas of Unstable Soils	Sec. 5.4.2
Fault Area	Sec. 5.4.3
Floodplains	Sec. 5.4.4
Wildland Urban Interface	Sec. 5.4.5

7. Signs (nonresidential)		Div. 5.6	
Number of signs (max)	3 per business per frontage		
Background color	No white or yellow		
Sign Area			
Total sign area (max)	3 sf per ft of street facade width up to 150 sf		
Penalty	10% per projecting and freestanding sign		
Sign Type Standards			
Canopy sign			
Clearance (min)	7'6" from average grade		
Setback (min)	18" from back of curb		
Freestanding sign			
Height (max)	6'		
Setback (min)	5'		
Projecting sign			
Height (max)	24' above grade		
Clearance (min)	7'6" from average grade		
Setback (min)	18" from back of curb		
Window sign			
Window surface coverage (max)	25% up to 16 sf		
Temporary signs	Sec. 5.6.1		
8. Grading, Erosion Control, Stormwater			
Grading	Sec. 5.7.2		
Erosion Control	Sec. 5.7.3		
Erosion shall be controlled at all times			
Stormwater Management			Sec. 5.7.4
No increase in peak flow rate or velocity across property lines			

9. Physical Development Permits Required							
Physical Development	Sketch Plan (Sec. 8.3.1)	Development Plan (Sec. 8.3.2)	Building Permit (Sec. 8.3.3)	DRC Review (Sec. 8.2.6)	Sign Permit (Sec. 8.3.5)	Grading Permit (Sec. 8.3.4)	Floodplain Permit
Floor Area							
< 9,750 sf			X	X		Sec. 5.7.1	Sec. 5.4.4
9,750 - 19,500 sf		X	X	X		Sec. 5.7.1	Sec. 5.4.4
> 19,500 sf	X	X	X	X		Sec. 5.7.1	Sec. 5.4.4
> 19,500 sf for only residential use	optional	X	X	X		Sec. 5.7.1	Sec. 5.4.4
Sign					X	Sec. 5.7.1	Sec. 5.4.4

C. Allowed Uses and Use Standards

Standards applicable to use are provided below. Where a cross-reference is listed see the referenced division or section for additional standards. Allowed uses are listed in subsection 1. Uses that are not listed are prohibited unless a similar use determination is made pursuant to Sec. 6.1.2.C. All standards in Article 6 are applicable unless stated otherwise.

1. Allowed Uses				2. Use Requirements	
Use	Permit	Individual Use (max)	Density (max)	Parking (min) (Div 6.2) (E.1)	Employee Housing (min) (Div 6.3)
Residential Uses					
Attached Single-Family Unit (6.1.4.B)	B	8,000 sf habitable excluding basement	n/a	1/DU if < 2 bedrooms and < 500 sf; otherwise, 1.5/DU	n/a
Apartment (6.1.4.D)	B				
Dormitory (6.1.4.F)	C	n/a	n/a	0.25/bed	n/a
Group Home (6.1.4.G)	C	n/a	n/a	0.5/bed	n/a
Lodging					
Conventional Lodging (6.1.5.B)	B (LO)	n/a	n/a	0.75/room	47 sf/1,000 sf
Short-term Rental Unit (6.1.5.C)	B (LO)	n/a	n/a	1/DU if < 2 bedrooms and < 500 sf; otherwise, 1.5/DU	n/a
Commercial Uses					
Office (6.1.6.B)	B	n/a	n/a	2.47/1,000 sf	14 sf/1,000 sf
Retail (6.1.6.C)	B	6,000 sf excluding basement	n/a	3.37/1,000 sf	156 sf/1,000 sf
Service (6.1.6.D)	B			2.25/1,000 sf	56 sf/1,000 sf
Restaurant/Bar (6.1.6.E)	B			1/73 sf dining area + 1/40 sf bar area	378 sf/1,000 sf
Amusement/Recreation					
Amusement (6.1.7.B)	B	n/a	n/a	1/40 sf seating area or independent calculation	independent calculation
Developed Recreation (6.1.7.D)	B	n/a	n/a	3.37/1,000 sf	independent calculation
Outfitter/Tour Operator (6.1.7.E)	B	n/a	n/a	independent calculation	independent calculation
Institutional Uses					
Assembly (6.1.8.B)	C	n/a	n/a	independent calculation	exempt
Day Care/Education (6.1.8.C)	B	n/a	n/a	independent calculation	exempt

Y = Use allowed, no permit required B = Basic Use Permit (Sec. 8.4.1) C = Conditional Use Permit (Sec. 8.4.2)
 (LO) = Lodging Overlay Only

1. Allowed Uses				2. Use Requirements	
Use	Permit	Individual Use (max)	Density (max)	Parking (min) (Div 6.2) (E.1)	Employee Housing (min) (Div 6.3)
Transportation/Infrastructure					
Parking (6.1.10.B)	C	n/a	n/a	n/a	independent calculation
Utility Facility (6.1.10.C)	C	n/a	n/a	0.75/employee + 0.75/stored vehicle	independent calculation
Wireless Communications Facilities (6.1.10.D)					
Minor	B	n/a	n/a	0.75/employee + 0.75/stored vehicle	independent calculation
Accessory Uses					
Accessory Residential Unit (6.1.11.B)	B	n/a	n/a	1/DU	n/a
Home Occupation (6.1.11.D)	B	n/a	n/a	n/a	exempt
Family Home Daycare (6.1.11.F)	B	n/a	n/a	0.75/employee + 0.75 off-street pick-up/drop-off	exempt
Temporary Uses					
Christmas Tree Sales (6.1.12.B)	Y	n/a	n/a	0.75/1,000 sf outdoor display area + 0.75/employee	exempt
Farm Stand (6.1.12. E)	B	n/a	n/a	3.75/1,000 sf display area	exempt
Y = Use allowed, no permit required B = Basic Use Permit (Sec. 8.4.1) C = Conditional Use Permit (Sec. 8.4.2) (LO) = Lodging Overlay Only					

3. Operational Standards	
Outdoor Storage	Sec. 6.4.1
Outdoor Storage	Prohibited
Freestanding storage units (trailers, sheds, "Bully Barns", tarpaulin structures, etc.) not made a permanent part of a structure	Prohibited
Refuse and Recycling	Sec. 6.4.2
Trash & recycling enclosure required	> 4 DUs and all nonresidential
Noise	Sec. 6.4.3
Sound level at property line (max)	65 DBA
Vibration	Sec. 6.4.4
Electrical Disturbances	Sec. 6.4.5
Fire and Explosive Hazards	Sec. 6.4.6

D. Development Options and Subdivision

Standards applicable to development options and subdivision are provided below. Where a cross-reference is provided see the referenced division or section for additional standards. All standards in Article 7 are applicable unless stated otherwise.

1. Allowed Subdivision and Development Options						
Option	GSA (min)	Lot Size (min)	Density (max)	LSR (min)	FAR (max)	Option Standards
Allowed Subdivision Options						
Land Division	n/a	7,500 sf	n/a	determined by physical development		Sec. 7.2.3
Townhouse Condominium Subdivision	n/a	n/a	n/a	n/a	n/a	Sec. 7.2.4
2. Residential Subdivision Requirements						
Affordable Housing						
Required Affordable Housing				1 affordable unit per 4 market units		
Schools and Parks Exaction						
Schools exaction				.020 acres per 1- or 2-family unit .015 acres per multi-family unit		
Parks exaction				9 acres per 1,000 resident		
3. Infrastructure						
Transportation Facilities						(Div. 7.6.)
Access						required
Right-of-way for Minor Local Road (min)						60'
Paved travel way for Minor Local Road (min)						20'
Required Utilities						(Div. 7.7.)
Water						public
Sewer						public
4. Required Subdivision and Development Option Permits						
Option	Planned Unit Development (Sec. 8.7.3)	Sketch Plan (Sec. 8.3.1)	Development Plan (Sec. 8.3.2)	Development Option Plan (Sec. 8.5.2)	Subdivision Plat (Sec. 8.5.3)	
Land Division						
≤ 10 Lots			X		X	
> 10 Lots		X	X		X	
Condominium/Townhouse						X

E. Additional Zone-Specific Standards

1. Provision of Nonresidential, Nonlodging Parking

- a. **Applicability.** The following options for providing required parking shall apply to allowed uses except:
 - i. Residential Uses (Sec. 6.1.4.);
 - ii. Lodging Uses (Sec. 6.1.5.); and
 - iii. Accessory Residential Unit (6.1.11.B).
- b. **Existing Parking Credits.** For properties with established parking credits per the Town Parking Credit Table (on reference with the Planning Department), the landowner may use such credits toward required parking. Credits are based on the amount of parking provided in 1988, as determined in 2005. Parking credits run with the land and are not transferable.
- c. **On-street Parking.** Required parking may be provided on-street provided the following standards are met.
 - i. An on-street parking space shall have the following length of uninterrupted curb adjoining to the lot of record of the use.

Uninterrupted Curb per On-street Parking Space	
Parking Space Angle	Uninterrupted Curb
Parallel	22'
45°/60°	18'
90°	9'

- ii. On-street parking shall not be provided along a red curb or other no-parking area put in place by the Town or WYDOT.
 - iii. The on-street parking shall follow the established configuration of existing on-street parking.
 - iv. On-street parking spaces shall be available for general public use at all times. No signs or actions limiting general public use of on-street spaces shall be permitted.
- d. **Fee-In-Lieu.** Required parking may be provided off-site through the Town's in-lieu fee program pursuant to the following standards.
 - i. **Fee.** The fee shall be a one-time fee commensurate with the cost of providing off-street parking and shall be used exclusively for such purpose. The Town Clerk shall accept fees in accordance with the parking fee schedule set forth by Resolution.
 - ii. **Assignment of Credits.** Parking credits purchased by fee-in-lieu run with the land and are not transferable.
 - iii. **Banking of Fee-in-Lieu Spaces.** Fee-in-lieu spaces may be purchased in advance and "banked" for future use.

2. **Loading Requirement.** Sufficient off-street loading facilities must be provided. The requirements of Sec. 6.2.2.E are not applicable. The applicant must address how their specific loading needs are being met in the proposed application.
3. **Existing Floor Area Allowed.** Where the existing floor area on a site exceeds the allowed floor area ratio (FAR), the maximum allowed floor area shall be the lawfully existing floor area. The burden of establishing the amount of lawfully existing floor area shall be the responsibility of the landowner.

2.2.4. CR-2: Commercial Residential-2
 (D2 effective date)

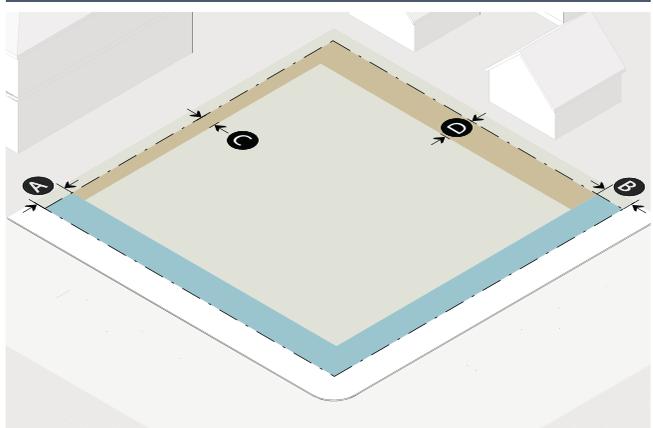
A. Intent

1. **General Intent.** The intent of the Commercial Residential-2 (CR-2) zone is to provide for a vibrant mixed-use zone consisting primarily of retail, office, lodging and residential uses. This zone will often be located on the periphery of the core of Downtown and helps to serve as a transition to lower density residential areas.
2. **Buildings.** Buildings can be up to 3 stories in height. Massing, articulation, openings, and step backs are used to reduce bulk and mass. Front setbacks are varied, with some buildings pulled up to the street and others set back with landscaping in front, creating an attractive and green street edge.
3. **Parking.** Parking is primarily provided on-site, to the rear or side of buildings and screened from view.
4. **Land Use.** Active uses, such as retail and service, are encouraged on the ground level, often with lodging, residential, or office on the upper floors. Buildings of all residential uses are encouraged.
5. **Comprehensive Plan.** Based primarily on sub areas 2.3 and 2.5 of the Comprehensive Plan.

B. Physical Development

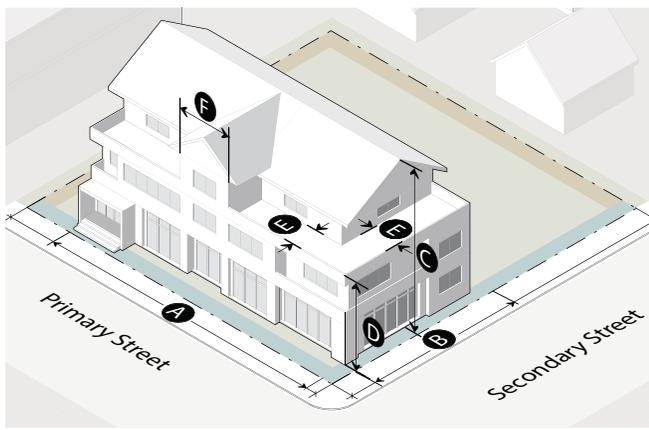
Standards applicable to physical development are provided on the following pages. Where a cross-reference is listed, see the referenced division or section for additional standards. Standards in Article 5 apply unless stated otherwise.

1. Lot Standards



Building Setbacks		Sec. 9.4.8
Primary street setback range (min-max)	0' - 10'	A
Secondary street setback range (min-max)	0' - 10'	B
Side interior (min)	5'	C
Rear (min)	10'	D
Abutting protected zone (min)	10'	
Landscaping		Div. 5.5
Landscape surface ratio (min)	10%	
Plant Units		
All uses	1/1,000 sf of landscape area	
Parking lot (all uses)	1/12 parking spaces	
Fencing		
Height in any street or side yard (max)	4'	
Height in rear yard (max)	6'	
Setback from pedestrian frontage (min)	1'	
Setback from side or rear lot line (min)	0'	
Parking Setbacks		Sec. 9.4.8
Primary street, above ground (min)	30'	
Secondary street, surface parking (min)	30'	
Secondary street, tuck-under, enclosed, or structured parking (min)	0'	
Access		
Curb cut width (max)	24'	

2. Bulk Standards



Street Facade		Sec. 9.4.11
Width of ground and 2nd story in primary street setback range		A
% of lot width (min)	70%	
Length from street corner (min)	30'	
Width of ground and 2nd story in secondary street setback range		B
% of lot width (min)	35%	
Length from street corner (min)	30'	
Building Height		Sec. 9.4.9
Height (max) if roof pitch \geq 5/12	46'	C
Height (max) if roof pitch $<$ 5/12	42'	C
Stories (max)	3	C
Stories or Height (min) in any street setback range	2 or 24'	D
Building Stepback		Sec. 9.4.12
Stepback for any 3rd story street facade or street facade over 30' (min)	10'	E
Encroachment in stepback (max % of overall facade width)	60%	F
A building with only residential use that has at least 4 units is exempt from the stepback requirement		
Scale of Development		
Floor area ratio (FAR max) (E.3)	0.46	
Additional FAR for lodging use	0.34	
Deed restricted housing exemption	Sec. 7.8.3	
Workforce housing floor area bonus	Sec. 7.8.4	

3. Form Standards



Design Guidelines		Sec. 5.8
These requirements apply to all development, except where exempted by Planning Director for additions of 20% or less that are consistent with existing architecture.		
Pedestrian Frontage		
Trees in grates		see Sec. 2.2.1.C.2
Building Frontage Options		
Shopfront		see Sec. 2.2.1.D.1
Office		see Sec. 2.2.1.D.2
Residential		see Sec. 2.2.1.D.3
Lodging		see Sec. 2.2.1.D.4
Parking Type Options		
On-street parking		see Sec. 2.2.1.E.1
Surface parking		see Sec. 2.2.1.E.2
Enclosed parking		see Sec. 2.2.1.E.3
Tuck-Under Parking		see Sec. 2.2.1.E.4
Structured parking		see Sec. 2.2.1.E.5
Underground parking		see Sec. 2.2.1.E.6

4. Environmental Standards	
Natural Resource Setback (min)	Sec 5.1.1
Cache Creek south of Cache Creek Dr.	20'
Flat Creek north of Hansen Ave.	25'
Flat Creek south of Hansen Ave.	50'
Wetland	30'
Irrigation Ditch Setback (min)	Sec. 7.7.4.D
Irrigation Ditch	15'
Natural Resource Overlay (NRO)	Sec. 5.2.1
5. Scenic Standards	
Exterior Lighting	Sec. 5.3.1
Total cuff off angle (max)	90°
Illumination in footcandles	1.50
Height (max)	18'
Scenic Resource Overlay (SRO)	Sec. 5.3.2
6. Natural Hazards to Avoid	
Steep Slopes	Sec. 5.4.1
Development prohibited	Slopes > 25%
Hillside CUP required	Parcel with average cross-slope ≥ 10%
Areas of Unstable Soils	Sec. 5.4.2
Fault Area	Sec. 5.4.3
Floodplains	Sec. 5.4.4
Wildland Urban Interface	Sec. 5.4.5

7. Signs (nonresidential)		Div. 5.6
Number of signs (max)	3 per business per frontage	
Background color	No white or yellow	
Sign Area		
Total sign area (max)	3 sf per ft of street facade width up to 150 sf	
Penalty	10% per projecting and freestanding sign	
Sign Type Standards		
Canopy sign		
Clearance (min)	7'6" from average grade	
Setback (min)	18" from back of curb	
Freestanding sign		
Height (max)	6'	
Setback (min)	5'	
Projecting sign		
Height (max)	24' above grade	
Clearance (min)	7'6" from average grade	
Setback (min)	18" from back of curb	
Window sign		
Window surface coverage (max)	25% up to 16 sf	
Temporary signs	Sec. 5.6.1	
8. Grading, Erosion Control, Stormwater		
Grading	Sec. 5.7.2	
Erosion Control	Sec. 5.7.3	
Erosion shall be controlled at all times		
Stormwater Management	Sec. 5.7.4	
No increase in peak flow rate or velocity across property lines		

9. Physical Development Permits Required							
Physical Development	Sketch Plan (Sec. 8.3.1)	Development Plan (Sec. 8.3.2)	Building Permit (Sec. 8.3.3)	DRC Review (Sec. 8.2.6)	Sign Permit (Sec. 8.3.5)	Grading Permit (Sec. 8.3.4)	Floodplain Permit
Floor Area							
< 6,900 sf			X	X		Sec. 5.7.1	Sec. 5.4.4
6,900 - 13,800 sf		X	X	X		Sec. 5.7.1	Sec. 5.4.4
> 13,800 sf	X	X	X	X		Sec. 5.7.1	Sec. 5.4.4
> 13,800 sf for only residential use	X	X	X	X		Sec. 5.7.1	Sec. 5.4.4
Sign					X	Sec. 5.7.1	Sec. 5.4.4

C. Allowed Uses and Use Standards

Standards applicable to use are provided below. Where a cross-reference is listed see the referenced division or section for additional standards. Allowed uses are listed in subsection 1. Uses that are not listed are prohibited unless a similar use determination is made pursuant to Sec. 6.1.2.C. All standards in Article 6 are applicable unless stated otherwise.

1. Allowed Uses				2. Use Requirements	
Use	Permit	Individual Use (max)	Density (max)	Parking (min) (Div 6.2) (E.1)	Employee Housing (min) (Div 6.3)
Residential Uses					
Attached Single-Family Unit (6.1.4.B)	B	8,000 sf habitable excluding basement	n/a	1/DU if < 2 bedrooms and < 500 sf; otherwise, 1.5/DU	n/a
Apartment (6.1.4.D)	B				
Dormitory (6.1.4.F)	C	n/a	n/a	0.25/bed	n/a
Group Home (6.1.4.G)	C	n/a	n/a	0.5/bed	n/a
Live-Work Unit (6.1.4.H)	B	750 sf min, 2,000 sf max habitable	n/a	1.5 /DU or 1.5/1,000 sf	n/a
Lodging					
Conventional Lodging (6.1.5.B)	B (LO)	n/a	n/a	0.75/room	47 sf/1,000 sf
Short-term Rental Unit (6.1.5.C)	B (LO)	n/a	n/a	1/DU if < 2 bedrooms and < 500 sf; otherwise, 1.5/DU	n/a
Commercial Uses					
Office (6.1.6.B)	B	n/a	n/a	2.47/1,000 sf	14 sf/1,000 sf
Retail (6.1.6.C)	B	6,000 sf	n/a	3.37/1,000 sf	156 sf/1,000 sf
Service (6.1.6.D)	B	excluding basement	n/a	2.25/1,000 sf	56 sf/1,000 sf
Restaurant/Bar (6.1.6.E)	B	storage	n/a	1/73 sf dining area + 1/40 sf bar area	378 sf/1,000 sf
Amusement/Recreation					
Amusement (6.1.7.B)	B	n/a	n/a	1/40 sf seating area or independent calculation	independent calculation
Developed Recreation (6.1.7.D)	B	n/a	n/a	3.37/1,000 sf	independent calculation
Outfitter/Tour Operator (6.1.7.E)	B	n/a	n/a	independent calculation	independent calculation
Institutional Uses					
Assembly (6.1.8.B)	C	n/a	n/a	independent calculation	exempt
Day Care/Education (6.1.8.C)	B	n/a	n/a	independent calculation	exempt

Y = Use allowed, no permit required B = Basic Use Permit (Sec. 8.4.1) C = Conditional Use Permit (Sec. 8.4.2) (LO) = Lodging Overlay Only

1. Allowed Uses				2. Use Requirements	
Use	Permit	Individual Use (max)	Density (max)	Parking (min) (Div 6.2) (E.1)	Employee Housing (min) (Div 6.3)
Transportation/Infrastructure					
Parking (6.1.10.B)	C	n/a	n/a	n/a	independent calculation
Utility Facility (6.1.10.C)	C	n/a	n/a	0.75/employee + 0.75/stored vehicle	independent calculation
Wireless Communications Facilities (6.1.10.D)					
Minor	B	n/a	n/a	0.75/employee + 0.75/stored vehicle	independent calculation
Accessory Uses					
Accessory Residential Unit (6.1.11.B)	B	n/a	n/a	1/DU	n/a
Home Occupation (6.1.11.D)	B	n/a	n/a	n/a	exempt
Family Home Daycare (6.1.11.F)	B	n/a	n/a	0.75/employee + 0.75 off-street pick-up/drop-off	exempt
Temporary Uses					
Christmas Tree Sales (6.1.12.B)	Y	n/a	n/a	0.75/1,000 sf outdoor display area + 0.75/employee	exempt
Farm Stand (6.1.12. E)	B	n/a	n/a	3.75/1,000 sf display area	exempt
Y = Use allowed, no permit required B = Basic Use Permit (Sec. 8.4.1) C = Conditional Use Permit (Sec. 8.4.2) (LO) = Lodging Overlay Only					

3. Operational Standards	
Outdoor Storage	Sec. 6.4.1
Outdoor Storage	Prohibited
Freestanding storage units (trailers, sheds, "Bully Barns", tarpaulin structures, etc.) not made a permanent part of a structure	Prohibited
Refuse and Recycling	Sec. 6.4.2
Trash & recycling enclosure required	> 4 DUs and all nonresidential
Noise	Sec. 6.4.3
Sound level at property line (max)	65 DBA
Vibration	Sec. 6.4.4
Electrical Disturbances	Sec. 6.4.5
Fire and Explosive Hazards	Sec. 6.4.6

D. Development Options and Subdivision

Standards applicable to development options and subdivision are provided below. Where a cross-reference is provided see the referenced division or section for additional standards. All standards in Article 7 are applicable unless stated otherwise.

1. Allowed Subdivision and Development Options						
Option	GSA (min)	Lot Size (min)	Density (max)	LSR (min)	FAR (max)	Option Standards
Allowed Subdivision Options						
Land Division	n/a	7,500 sf	n/a	determined by physical development		Sec. 7.2.3
Townhouse Condominium Subdivision	n/a	n/a	n/a	n/a	n/a	Sec. 7.2.4
2. Residential Subdivision Requirements						
Affordable Housing						
Required Affordable Housing				1 affordable unit per 4 market units		
Schools and Parks Exaction						
Schools exaction				.020 acres per 1- or 2-family unit .015 acres per multi-family unit		
Parks exaction				9 acres per 1,000 resident		
3. Infrastructure						
Transportation Facilities						(Div. 7.6.)
Access						required
Right-of-way for Minor Local Road (min)						60'
Paved travel way for Minor Local Road (min)						20'
Required Utilities						(Div. 7.7.)
Water						public
Sewer						public
4. Required Subdivision and Development Option Permits						
Option	Planned Unit Development (Sec. 8.7.3)	Sketch Plan (Sec. 8.3.1)	Development Plan (Sec. 8.3.2)	Development Option Plan (Sec. 8.5.2)	Subdivision Plat (Sec. 8.5.3)	
Land Division						
≤ 10 Lots			X		X	
> 10 Lots		X	X		X	
Condominium/Townhouse						X

E. Additional Zone-Specific Standards

1. Provision of Nonresidential, Nonlodging Parking

- a. **Applicability.** The following options for providing required parking shall apply to allowed uses except:
 - i. Residential Uses (Sec. 6.1.4.);
 - ii. Lodging Uses (Sec. 6.1.5.); and
 - iii. Accessory Residential Unit (6.1.11.B).
- b. **Existing Parking Credits.** For properties with established parking credits per the Town Parking Credit Table (on reference with the Planning Department), the landowner may use such credits toward required parking. Credits are based on the amount of parking provided in 1988, as determined in 2005. Parking credits run with the land and are not transferable.
- c. **On-street Parking.** Required parking may be provided on-street provided the following standards are met.

- i. An on-street parking space shall have the following length of uninterrupted curb adjoining to the lot of record of the use.

Uninterrupted Curb per On-street Parking Space	
Parking Space Angle	Uninterrupted Curb
Parallel	22'
45°/60°	18'
90°	9'

- ii. On-street parking shall not be provided along a red curb or other no-parking area put in place by the Town or WYDOT.
 - iii. The on-street parking shall follow the established configuration of existing on-street parking.
 - iv. On-street parking spaces shall be available for general public use at all times. No signs or actions limiting general public use of on-street spaces shall be permitted.
- d. **Fee-In-Lieu.** Required parking may be provided off-site through the Town's in-lieu fee program pursuant to the following standards.
- i. **Fee.** The fee shall be a one-time fee commensurate with the cost of providing off-street parking and shall be used exclusively for such purpose. The Town Clerk shall accept fees in accordance with the parking fee schedule set forth by Resolution.
 - ii. **Assignment of Credits.** Parking credits purchased by fee-in-lieu run with the land and are not transferable.
 - iii. **Banking of Fee-in-Lieu Spaces.** Fee-in-lieu spaces may be purchased in advance and "banked" for future use.

- 2. **Loading Requirement.** Sufficient off-street loading facilities must be provided. The requirements of Sec. 6.2.2.E are not applicable. The applicant must address how their specific loading needs are being met in the proposed application.
- 3. **Existing Floor Area Allowed.** Where the existing floor area on a site exceeds the allowed floor area ratio (FAR), the maximum allowed floor area shall be the lawfully existing floor area. The burden of establishing the amount of lawfully existing floor area shall be the responsibility of the landowner.

2.2.5. OR: Office Residential (D2 effective date)

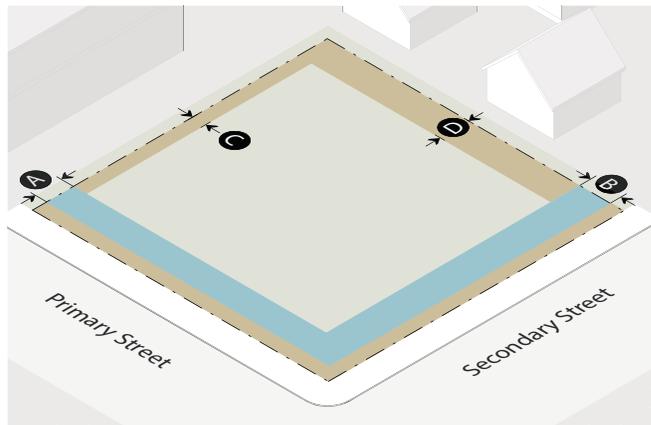
A. Intent

1. **General Intent.** The intent of the Office Residential (OR) zone is to provide for employment with a mix of higher intensity housing options. Limited neighborhood-serving retail at key nodes is allowed to serve surrounding residential neighborhoods.
2. **Buildings.** Buildings can be up to 2 stories in height. Massing and articulation is used to enhance residential character and reduce bulk and mass. Buildings are set back with landscaping in front, creating an attractive and green street edge.
3. **Parking.** Parking is primarily provided on-site, to the rear or side of buildings, and screened from view.
4. **Land Use.** Office, residential, and neighborhood serving retail are located at ground level with office or residential above and behind. Institutional uses serve as anchors to the local economy that provide jobs and services to the community.
5. **Comprehensive Plan.** Based primarily on sub area 2.6 of the Comprehensive Plan.

B. Physical Development

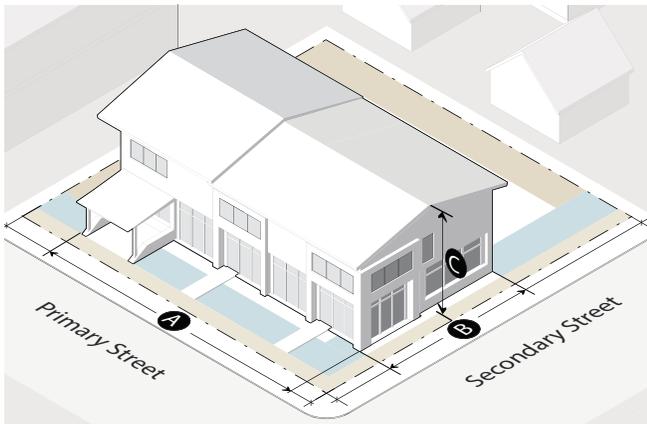
Standards applicable to physical development are provided on the following pages. Where a cross-reference is listed, see the referenced division or section for additional standards. Standards in Article 5 apply unless stated otherwise.

1. Lot Standards



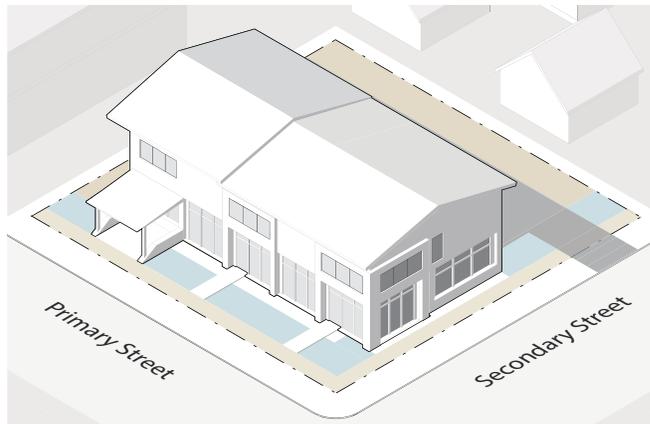
Building Setbacks		Sec. 9.4.8
Primary street setback range (min-max)	5' - 15'	A
Secondary street setback range (min-max)	5' - 15'	B
Side interior (min)	5'	C
Rear (min)	10'	D
Abutting protected zone (min)	10'	
Landscaping		Div. 5.5
Landscape surface ratio (min)	20%	
Plant Units		
All uses	1/1,000 sf of landscape area	
Parking lot (all uses)	1/12 parking spaces	
Fencing		
Height in any street or side yard (max)	4'	
Height in rear yard (max)	6'	
Setback from pedestrian frontage (min)	1'	
Setback from side or rear lot line (min)	0'	
Parking Setbacks		Sec. 9.4.8
Primary street, above ground (min)	30'	
Secondary street, surface parking (min)	10'	
Secondary street, tuck-under, enclosed, or structured parking (min)	5'	
Access		
Curb cut width (max)	24'	

2. Bulk Standards



Street Facade	Sec. 9.4.11
Width of ground and 2nd story in primary street setback range	Ⓐ
% of lot width (min)	70%
Length from street corner (min)	30'
Width of ground and 2nd story in secondary street setback range	Ⓑ
% of lot width (min)	35%
Length from street corner (min)	30'
Building Height	Sec. 9.4.9
Height (max)	30' Ⓒ
Stories (max)	2 Ⓒ
Building Stepback	Sec. 9.4.12
n/a	
Scale of Development	
Floor area ratio (FAR max) (E.4)	0.46
Deed restricted housing exemption	Sec. 7.8.3
Workforce housing floor area bonus	Sec. 7.8.4

3. Form Standards



Design Guidelines	Sec. 5.8
These requirements apply to all development, except where exempted by Planning Director for additions of 20% or less that are consistent with existing architecture.	
Pedestrian Frontage	
Trees in grates	see Sec. 2.2.1.C.2
Building Frontage Options	
Office	see Sec. 2.2.1.D.2
Residential	see Sec. 2.2.1.D.3
Parking Type Options	
On-street parking	see Sec. 2.2.1.E.1
Surface parking	see Sec. 2.2.1.E.2
Enclosed parking	see Sec. 2.2.1.E.3
Tuck-Under Parking	see Sec. 2.2.1.E.4
Structured parking	see Sec. 2.2.1.E.5
Underground parking	see Sec. 2.2.1.E.6

4. Environmental Standards	
Natural Resource Setback (min)	Sec 5.1.1
Cache Creek south of Cache Creek Dr.	20'
Flat Creek north of Hansen Ave.	25'
Flat Creek south of Hansen Ave.	50'
Wetland	30'
Irrigation Ditch Setback (min)	Sec. 7.7.4.D
Irrigation Ditch	15'
Natural Resource Overlay (NRO)	Sec. 5.2.1
5. Scenic Standards	
Exterior Lighting	Sec. 5.3.1
Total cuff off angle (max)	90°
Illumination in footcandles	1.50
Height (max)	18'
Scenic Resource Overlay (SRO)	Sec. 5.3.2
6. Natural Hazards to Avoid	
Steep Slopes	Sec. 5.4.1
Development prohibited	Slopes > 25%
Hillside CUP required	Parcel with average cross-slope ≥ 10%
Areas of Unstable Soils	Sec. 5.4.2
Fault Area	Sec. 5.4.3
Floodplains	Sec. 5.4.4
Wildland Urban Interface	Sec. 5.4.5

7. Signs (nonresidential)		Div. 5.6	
Number of signs (max)	3 per business per frontage		
Background color	No white or yellow		
Sign Area			
Total sign area (max)	3 sf per ft of street facade width up to 150 sf		
Penalty	10% per projecting and freestanding sign		
Sign Type Standards			
Canopy sign			
Clearance (min)	7'6" average grade		
Setback (min)	18" from back of curb		
Freestanding sign			
Height (max)	6'		
Setback (min)	5'		
Projecting sign			
Height (max)	24' above grade		
Clearance (min)	7'6" from average grade		
Setback (min)	18" from back of curb		
Window sign			
Window surface coverage (max)	25% up to 16 sf		
Temporary signs	Sec. 5.6.1		
8. Grading, Erosion Control, Stormwater			
Grading	Sec. 5.7.2		
Erosion Control	Sec. 5.7.3		
Erosion shall be controlled at all times			
Stormwater Management			Sec. 5.7.4
No increase in peak flow rate or velocity across property lines			

9. Physical Development Permits Required							
Physical Development	Sketch Plan (Sec. 8.3.1)	Development Plan (Sec. 8.3.2)	Building Permit (Sec. 8.3.3)	DRC Review (Sec. 8.2.6)	Sign Permit (Sec. 8.3.5)	Grading Permit (Sec. 8.3.4)	Floodplain Permit
Floor Area							
< 6,900 sf			X	X		Sec. 5.7.1	Sec. 5.4.4
6,900 - 13,800 sf		X	X	X		Sec. 5.7.1	Sec. 5.4.4
> 13,800 sf	X	X	X	X		Sec. 5.7.1	Sec. 5.4.4
> 13,800 sf for only residential use	X	X	X	X		Sec. 5.7.1	Sec. 5.4.4
Sign					X	Sec. 5.7.1	Sec. 5.4.4

C. Allowed Uses and Use Standards

Standards applicable to use are provided below. Where a cross-reference is listed see the referenced division or section for additional standards. Allowed uses are listed in subsection 1. Uses that are not listed are prohibited unless a similar use determination is made pursuant to Sec. 6.1.2.C. All standards in Article 6 are applicable unless stated otherwise.

1. Allowed Uses				2. Use Requirements	
Use	Permit	Individual Use (max)	Density (max)	Parking (min) (Div 6.2)	Employee Housing (min) (Div 6.3)
Residential Uses					
Attached Single-Family Unit (6.1.4.B)	B	8,000 sf habitable excluding basement	n/a	1/DU if < 2 bedrooms and < 500 sf; otherwise, 1.5/DU	n/a
Apartment (6.1.4.D)	B				
Dormitory (6.1.4.F)	C	n/a	n/a	0.25/bed	n/a
Group Home (6.1.4.G)	C	n/a	n/a	0.5/bed	n/a
Live-Work Unit (6.1.4.H)	B	750 sf min, 2,000 sf max habitable	n/a	1.5 /DU or 1.5/1,000 sf	n/a
Commercial Uses					
Office (6.1.6.B)	B	n/a	n/a	2.47/1,000 sf	14 sf/1,000 sf
Retail (6.1.6.C) (E.3)	B	2,000 sf excluding basement storage	E.5	exempt	156 sf/1,000 sf
Service (6.1.6.D) (E.3)	B		E.5	exempt	56 sf/1,000 sf
Institutional Uses					
Assembly (6.1.8.B)	C	n/a	n/a	independent calculation	exempt
Day Care/Education (6.1.8.C)	B	n/a	n/a	independent calculation	exempt
Transportation/Infrastructure					
Utility Facility (6.1.10.C)	C	n/a	n/a	0.75/employee + 0.75/stored vehicle	independent calculation
Wireless Communications Facilities (6.1.10.D)					
Minor	B	n/a	n/a	0.75/employee + 0.75/stored vehicle	independent calculation
Accessory Uses					
Accessory Residential Unit (6.1.11.B)	B	n/a	n/a	1/DU	n/a
Home Occupation (6.1.11.D)	B	n/a	n/a	n/a	exempt
Family Home Daycare (6.1.11.F)	B	n/a	n/a	0.75/employee + 0.75 off-street pick-up/drop-off	exempt

Y = Use allowed, no permit required B = Basic Use Permit (Sec. 8.4.1) C = Conditional Use Permit (Sec. 8.4.2)

3. Operational Standards	
Outdoor Storage	Sec. 6.4.1
Outdoor Storage	Prohibited
Refuse and Recycling	Sec. 6.4.2
Trash & recycling enclosure required	> 4 DUs and all nonresidential
Noise	Sec. 6.4.3
Sound level at property line (max)	65 DBA
Vibration	Sec. 6.4.4
Electrical Disturbances	Sec. 6.4.5
Fire and Explosive Hazards	Sec. 6.4.6

D. Development Options and Subdivision

Standards applicable to development options and subdivision are provided below. Where a cross-reference is provided see the referenced division or section for additional standards. All standards in Article 7 are applicable unless stated otherwise.

1. Allowed Subdivision and Development Options						
Option	BSA (min)	Lot Size (min)	Density (max)	LSR (min)	FAR (max)	Option Standards
Allowed Subdivision Options						
Land Division	n/a	7,500 sf	n/a	determined by physical development		Sec. 7.2.3
Townhouse Condominium Subdivision	n/a	n/a	n/a	n/a	n/a	Sec. 7.2.4
2. Residential Subdivision Requirements						
Affordable Housing						
Required Affordable Housing						1 affordable unit per 4 market units
Schools and Parks Exaction						
Schools exaction						.020 acres per 1- or 2-family unit .015 acres per multi-family unit
Parks exaction						9 acres per 1,000 resident
3. Infrastructure						
Transportation Facilities						(Div. 7.6.)
Access						required
Right-of-way for Minor Local Road (min)						60'
Paved travel way for Minor Local Road (min)						20'
Required Utilities						(Div. 7.7.)
Water						public
Sewer						public

4. Required Subdivision and Development Option Permits					
Option	Planned Unit Development (Sec. 8.7.3)	Sketch Plan (Sec. 8.3.1)	Development Plan (Sec. 8.3.2)	Development Option Plan (Sec. 8.5.2)	Subdivision Plat (Sec. 8.5.3)
Land Division					
≤ 10 Lots			X		X
> 10 Lots		X	X		X
Condominium/Townhouse					
					X

E. Additional Zone-Specific Standards

1. Provision of Nonresidential, Nonlodging Parking

- a. **Applicability.** The following options for providing required parking shall apply to allowed uses except:
 - i. Residential Uses (Sec. 6.1.4.);
 - ii. Lodging Uses (Sec. 6.1.5.); and
 - iii. Accessory Residential Unit (6.1.11.B).
- b. **Existing Parking Credits.** For properties with established parking credits per the Town Parking Credit Table (on reference with the Planning Department), the landowner may use such credits toward required parking. Credits are based on the amount of parking provided in 1988, as determined in 2005. Parking credits run with the land and are not transferable.
- c. **On-street Parking.** Required parking may be provided on-street provided the following standards are met.
 - i. An on-street parking space shall have the following length of uninterrupted curb adjoining to the lot of record of the use.

Uninterrupted Curb per On-street Parking Space	
Parking Space Angle	Uninterrupted Curb
Parallel	22'
45°/60°	18'
90°	9'

- ii. On-street parking shall not be provided along a red curb or other no-parking area put in place by the Town or WYDOT.
- iii. The on-street parking shall follow the established configuration of existing on-street parking.
- iv. On-street parking spaces shall be available for general public use at all times. No signs or actions limiting general public use of on-street spaces shall be permitted.

- 2. **Loading Requirement.** Sufficient off-street loading facilities must be provided. The requirements of Sec. 6.2.2.E are not applicable. The applicant must address how their specific loading needs are being met in the proposed application.
- 3. **Existing Floor Area Allowed.** Where the existing floor area on a site exceeds the allowed floor area ratio (FAR), the maximum allowed floor area shall be the lawfully existing floor area. The burden of establishing the amount of lawfully existing floor area shall be the responsibility of the landowner.

SECTION III.

Section 1 of Town of Jackson Ordinance Nos. 1111 and 1074 (part) and Sections 2.3.1, 2.3.2, 2.3.3, 2.3.7, and 2.3.8 of the Town of Jackson Land Development Regulations are hereby amended and reenacted to read as follows:

Article 2. Complete Neighborhood Zones | Div. 2.3. Complete Neighborhood Legacy Zones
 2.3.1. Town Square (TS) (D2 effective date)

Div. 2.3. Complete Neighborhood Legacy Zones

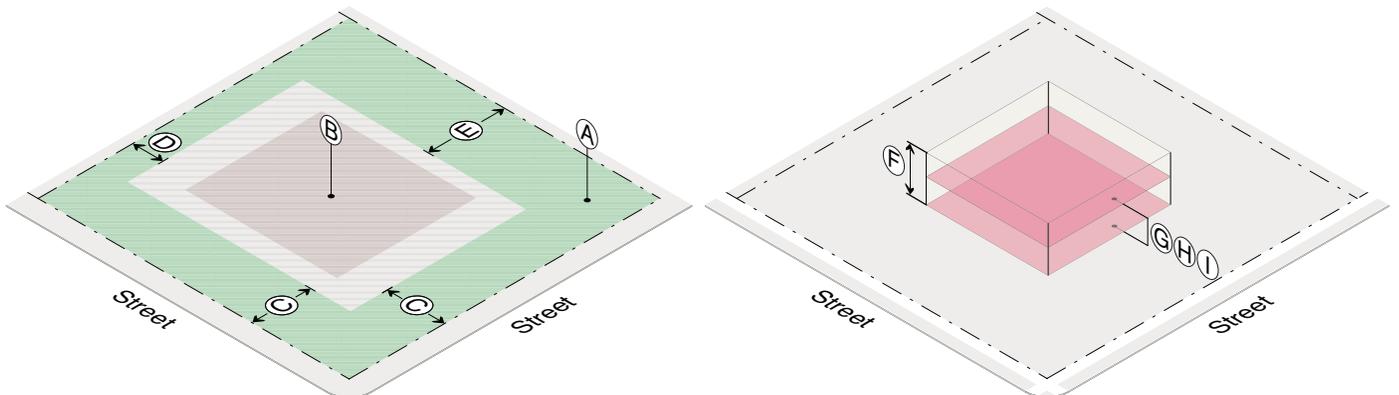
2.3.1. Town Square (TS) (D2 effective date)

A. Intent

The purpose of the Town Square (TS) Zone is to provide development standards that preserve and enhance the unique character, qualities, and pedestrian-oriented environment of the Jackson Town Square and its immediate vicinity. An essential component of the tourism environment for Teton County and the Town of Jackson is the Town Square and the commercial environment that has developed in the immediate vicinity of the Square. This area is important to both the County and the Town because the character of the area is the cornerstone of tourism commercial activity in the community.

B. Physical Development

Standards applicable to physical development in the TS zone are provided or referenced below. Where a cross reference is provided, please see the referenced division or section for additional standards applicable in the TS zone. This Subsection is intended to indicate all of the physical development standards applicable in the TS zone, however, all standards in [Article 5](#). are applicable in the TS zone, unless stated otherwise.



1. Structure Location and Mass									
	(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)	(I)
	LSR (min)	Lot Coverage (max)	Street Setback (min) (E.1.)	Side Setback (min)	Rear Setback (min)	Height (max)	Stories (max)	Stories (LO) (max)	FAR (max)
Allowed use	.0	n/a	0'	0'	0'	35'	2	3	1.83
Detached accessory structure	n/a	n/a	30'	5'	5'	28'	2	n/a	n/a
Exceptions									
FAR. A 25% increase in FAR is allowed provided the increased floor area is devoted to on-site permanently affordable housing (deed restricted) and/or employee housing.									
Side/Rear yard residential projections. Fire escapes may extend into a side or rear yard by not more than 4 feet. Patios which are at grade may extend to any portion of a side or rear yard									
Rear yard setback for nonresidential uses. Minimum rear setback of 22 feet on the ground level with the exception of structural elements supporting the upper floor.									
Detached Accessory Structure Separation. 10'									

2. Maximum Scale of Development	
Individual Building (gross floor area) (max)	
Single building	15,000 sf
Single building in LO with CUP	35,000 sf
3. Building Design Requirements	
Nonresidential Design Guidelines (Div. 5.8.)	
Design review required for all nonresidential development, unless exempted by Planning Director	
4. Site Development	
Site Development Setbacks (min)	
Side/rear yard	5'
Front yard	
40% of lineal frontage	0'
60% of lineal frontage	structure setback
Curb Cut (max)	40% of lineal lot frontage
5. Landscaping (Div. 5.5.)	
Plant Units (min)	
Nonresidential	1 per 1,000 sf of landscape area
Parking Lot (all uses)	1 per 12 parking spaces
6. Fencing	
Height (max)	
In street yard	4'
In side or rear yard	6'
Setback	
Front lot line/R.O.W./Sidewalk	1'
Side or rear lot line	0'
Orientation	
The finished side of the fence shall face out to the neighbor, posts and supports shall face in to the owner	

7. Environmental Standards	
Natural Resource Setback (min) (Sec. 5.1.1.)	
Cache Creek South of Cache Creek Dr.	20'
Flat Creek North of Hansen Ave.	25'
Flat Creek South of Hansen Ave.	50'
Wetland	30'
Irrigation Ditch Setback (min) (7.7.4.D.)	
Irrigation Ditch	15'
Natural Resource Overlay (NRO) Standards (Sec. 5.2.1.)	
8. Scenic Standards	
Exterior Lighting (Sec. 5.3.1.)	
Total cut off angle (max)	90°
Illumination in footcandles	
Residential use	1.00
Nonresidential use	1.50
Height (max)	
Residential use	15'
Nonresidential use	18'
Scenic Resource Overlay (SRO) Standards (Sec. 5.3.2.)	
9. Natural Hazards to Avoid	
Steep Slopes (Sec. 5.4.1.)	
Development prohibited	Slopes > 25%
Hillside CUP required	Lot with average cross-slope ≥ 10%
Areas of Unstable Soils (Sec. 5.4.2.)	
Fault Area (Sec. 5.4.3.)	
Floodplains (Sec. 5.4.4.)	
Wildland Urban Interface (Sec. 5.4.5.)	
10. Signs (Div. 5.6.)	
Number of Signs (max)	2 per business per frontage
Home occupation/business	1 unlighted wall sign
Background Color	No white or yellow

Sign Area	
Total sign area (max)	2.5 sf per linear ft of building frontage up to 125 sf
Home occupation/business	2 sf
Penalty	10% per projecting and freestanding sign
Sign Type Standards	
Canopy sign	
Clearance (min)	7'6" from average grade
Setback (min)	18" from back of curb
Freestanding sign	
Height (max)	6'
Setback (min)	5'
Projecting sign	
Height (max)	24' above grade
Clearance (min)	7'6" from average grade
Setback (min)	18" from back of curb
Wall sign	
Window sign	
Window surface coverage (max)	25% up to 16 sf
Temporary Signs	(Sec. 5.6.1.)

11. Grading, Erosion Control, Stormwater	
Grading	(Sec. 5.7.2.)
Erosion Control	(Sec. 5.7.3.)
Erosion shall be controlled at all times	
Stormwater Management	(Sec. 5.7.4.)
No increase in peak flow rate or velocity across property lines	

12. Required Physical Development Permits						
Physical Development	Sketch Plan (Sec. 8.3.1.)	Development Plan (Sec. 8.3.2.)	Building Permit (Sec. 8.3.3.)	DRC Review (Sec. 8.2.6.)	Sign Permit (Sec. 8.3.5.)	Grading Permit (Sec. 8.3.4.)
Nonresidential Floor Area						
≤ 5,000 sf			X	X		(Sec. 5.7.1.)
5,001 - 15,000 sf		X	X	X		(Sec. 5.7.1.)
> 15,000 sf	X	X	X	X		(Sec. 5.7.1.)
Sign					X	(Sec. 5.7.1.)

C. Allowed Uses and Use Standards

Standards applicable to uses in the TS zone are provided or referenced below. Allowed uses are listed in Subsection 1. Uses that are not listed are prohibited, unless a similar use determination is made pursuant to 6.1.2.D. Where a cross reference is provided, please see the referenced division or section for additional standards applicable in the TS zone. This Subsection is intended to indicate all of the use standards applicable in the TS zone, however, all standards in Article 6 are applicable in the TS zone, unless stated otherwise.

1. Allowed Uses				2. Use Requirements	
Use	Permit	BSA (min)	Density (max)	Parking (min) (Div. 6.2.) (E.2)	Employee Housing Area (min) (Div. 6.3.)
Lodging					
Conventional Lodging (6.1.5.B.)	C(LO)	0 sf	n/a	0.75/LU + 1 per 150 sf assembly area	47 sf/1,000 sf
Short-term Rental Unit (6.1.5.C.)	C(LO)	0 sf	n/a	1.5/1,000 sf, max 2	n/a
Commercial Uses					
Office (6.1.6.B.)	B	0 sf	n/a	1.65/1,000 sf	14 sf/1,000 sf
Retail (6.1.6.C.)	B	0 sf	n/a	2.25/1,000 sf	156 sf/1,000 sf
Service (6.1.6.D.)	B	0 sf	n/a	1.5/1,000 sf	56 sf/1,000 sf
Restaurant/Bar (6.1.6.E.)	B	0 sf	n/a	1/110 sf dining area + 1/60 sf bar area	378 sf/1,000 sf
Amusement/Recreation					
Amusement (6.1.7.B.)	C	0 sf	n/a	1/60 sf seating area or independent calculation	independent calculation
Transportation/Infrastructure					
Wireless Communications Facilities (6.1.10.D.)				0.5/employee + 0.5/stored vehicle	independent calculation
Minor	B	0 sf	n/a		
Accessory Uses					
Accessory Residential Unit (6.1.11.B.)	B	0 sf	n/a	1.25/DU	n/a
Home Occupation (6.1.11.D.)	B	0 sf	n/a	n/a	n/a

Y = Use allowed, no permit required, B=Basic Use Permit (Sec. 8.4.1.), C=Conditional Use Permit (Sec. 8.4.2.), (LO)= Lodging Overlay Only

3. Maximum Scale of Use	
Individual Use (floor area) (max)	
Individual retail use excluding basement	12,500 sf habitable
Lodging operation with multiple buildings	90,000 sf habitable

4. Operational Standards	
Outdoor Storage	(Sec. 6.4.1.)
Refuse and Recycling	(Sec. 6.4.2.)
Trash & recycling enclosure required	> 4 DUs and all nonresidential
Noise	(Sec. 6.4.3.)
Sound level at property line (max)	65 DBA
Vibration	(Sec. 6.4.4.)
Electrical Disturbances	(Sec. 6.4.5.)
Fire and Explosive Hazards	(Sec. 6.4.6.)

D. Development Options and Subdivision

Standards applicable to development options and subdivision in the TS zone are provided or referenced below. Where a cross reference is provided, please see the referenced division or section for additional standards applicable in the TS zone. This Subsection is intended to indicate all of the development option and subdivision standards applicable in the TS zone, however, all standards in [Article 7.](#) are applicable in the TS zone, unless stated otherwise.

1. Allowed Subdivision and Development Options								
Option	BSA (min)	Lot Size (min)	Density (max)	OSR (min)	LSR (min)	FAR (max)	Lot Coverage (max)	Option Standards
Allowed Subdivision Options								
Land Division	n/a	5,000 sf	n/a	n/a	determined by physical development			(Sec. 7.2.3.)
Condominium/Townhouse	n/a	n/a	n/a	n/a	determined by physical development			(Sec. 7.2.4.)
2. Residential Subdivision Requirements								
Affordable Housing								(Div. 7.4.)
Required Affordable Housing						1 affordable unit per 4 market units		
Schools and Parks Exaction								(Div. 7.5.)
Schools exaction						.020 acres per 1- or 2-family unit .015 acres per multi-family unit		
Parks exaction						9 acres per 1,000 resident		
3. Infrastructure								
Transportation Facilities								(Div. 7.6.)
Access								required
Right-of-way for Minor Local Road (min)								60'
Paved travel way for Minor Local Road (min)								20'
Required Utilities								(Div. 7.7.)
Water								public
Sewer								public

4. Required Subdivision and Development Option Permits					
Option	Planned Unit Development (Sec. 8.7.3.)	Sketch Plan (Sec. 8.3.1.)	Development Plan (Sec. 8.3.2.)	Development Option Plan (Sec. 8.5.2.)	Subdivision Plat (Sec. 8.5.3.)
Any Subdivision					
≤ 10 Units			X		X
> 10 Units		X	X		X

E. Additional Zone-specific Standards

The following standards apply in addition to all other standards applicable in the TS zone.

1. **Pedestrian Facilities.** All new development, redevelopment and infill development in the TS zone and Lodging Overlay zones shall provide a minimum setback of 10 feet from the back of curb to the closest point on the building. Such space shall be clear space unencumbered by doors, windows, bay windows or any other building projections except for required canopies. New development shall provide amenities in this space. Those amenities may include sidewalks, boardwalks, canopies, benches, bike racks, snow storage, landscaping, bus stops or any other reasonable and appropriate amenity as determined by the Town Council upon recommendation from the Design Review Committee. Minor deviations from this standard may be approved by the Planning Director in the event of mapping errors, irregular surveys, atypical layout of rights of way, or other good cause shown by the applicant.
2. **Provision of Nonresidential, Nonlodging Parking**
 - a. **Applicability.** The following options for providing required parking shall apply to allowed uses except:
 - i. Residential Uses (Sec. 6.1.4.);
 - ii. Lodging Uses (Sec. 6.1.5.); and
 - iii. Accessory Residential Unit (6.1.11.B).
 - b. **Existing Parking Credits.** For properties with established parking credits per the Town Parking Credit Table (on reference with the Planning Department), the landowner may use such credits toward required parking. Credits are based on the amount of parking provided in 1988, as determined in 2005. Parking credits run with the land and are not transferable.
 - c. **On-street Parking.** Required parking may be provided on-street provided the following standards are met.
 - i. An on-street parking space shall have the following length of uninterrupted curb adjoining to the lot of record of the use.

Uninterrupted Curb per On-street Parking Space	
Parking Space Angle	Uninterrupted Curb
Parallel	22'
45°/60°	18'
90°	9'

- ii. On-street parking shall not be provided along a red curb or other no-parking area put in place by the Town or WYDOT.
 - iii. The on-street parking shall follow the established configuration of existing on-street parking.
 - iv. On-street parking spaces shall be available for general public use at all times. No signs or actions limiting general public use of on-street spaces shall be permitted.
- d. **Fee-In-Lieu.** Required parking may be provided off-site through the Town's in-lieu fee program pursuant to the following standards.
- i. **Fee.** The fee shall be a one-time fee commensurate with the cost of providing off-street parking and shall be used exclusively for such purpose. The Town Clerk shall accept fees in accordance with the parking fee schedule set forth by Resolution.
 - ii. **Assignment of Credits.** Parking credits purchased by fee-in-lieu run with the land and are not transferable.
 - iii. **Banking of Fee-in-Lieu Spaces.** Fee-in-lieu spaces may be purchased in advance and "banked" for future use.
3. **Loading Requirement.** Sufficient off-street loading facilities must be provided. The requirements of Sec. 6.2.2.E are not applicable. The applicant must address how their specific loading needs are being met in the proposed application.

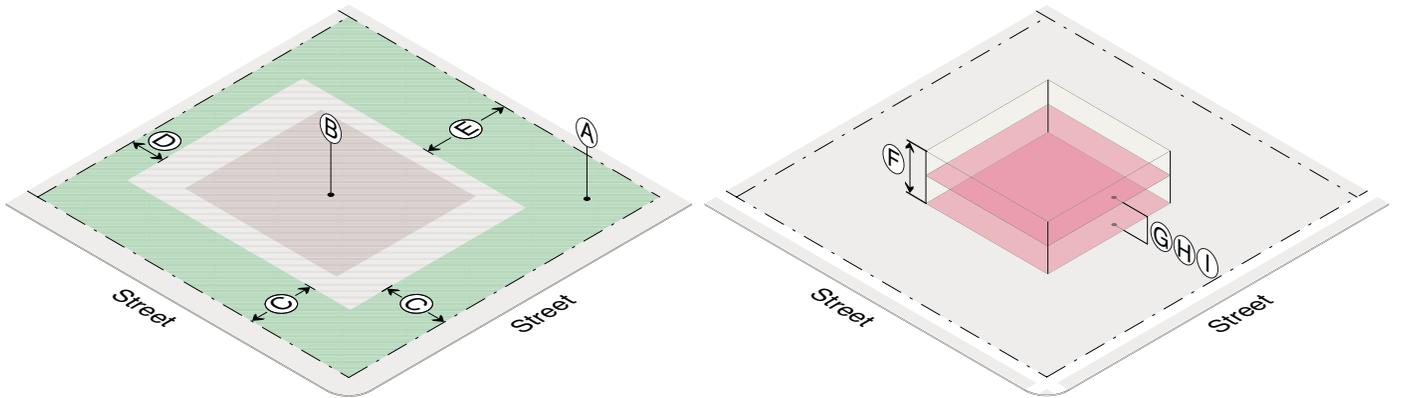
2.3.2. Urban Commercial (UC) (D2 effective date)

A. Intent

The purpose of the Urban Commercial (UC) Zone is to provide for relatively intense mixed-use development of lodging, restaurants, financial, retail, and visitor-oriented services, and the full range of residential uses. The UC Zone is intended to be applied to central, pedestrian-oriented commercial areas and dense residential areas associated with these commercial areas.

B. Physical Development

Standards applicable to physical development in the UC zone are provided or referenced below. Where a cross reference is provided, please see the referenced division or section for additional standards applicable in the UC zone. This Subsection is intended to indicate all of the physical development standards applicable in the UC, however, all standards in Article 5. are applicable in the UC zone, unless stated otherwise.



1. Structure Location and Mass									
	(A)	(B)	(C)	(D)	(E)	(F)	(G)	(H)	(I)
	LSR (min) (E.1.)	Lot Coverage (max)	Street Setback (min) (E.4.)	Side Setback (min)	Rear Setback (min)	Height (max)	Stories (max)	Stories (LO) (max)	FAR (max)
Detached single-family unit	.30	.40	12'	5'	20'	28'	2	3	.45
Other principal use	.10	n/a	0'	0'	0'	35'	2	3	1.3
Accessory use	See standards for primary use with which associated								
Detached accessory structure	n/a	n/a	30'	5'	5'	28'	2	n/a	n/a
Exceptions									
FAR. A 25% increase in FAR is allowed, provided the increased floor area is devoted to on-site permanently affordable housing (deed restricted) and/or employee housing.									
Side/Rear Yard Residential Projections. Fire escapes may extend into a side or rear yard by not more than 4 feet. Patios which are at grade may extend to any portion of a side or rear yard.									
Rear yard for nonresidential uses. Minimum rear setback of 22 feet on the ground level with the exception of structural elements supporting the upper floor.									
Detached Accessory Structure Separation. 10'									

2. Maximum Scale of Development	
Individual Building (gross floor area) (max)	
Single building	15,000 sf
Single building in LO with CUP	35,000 sf
3. Building Design Requirements	
Nonresidential Design Guidelines (Div. 5.8.)	
Design review required for all nonresidential development, unless exempted by Planning Director	
4. Site Development	
Site Development Setbacks (min)	
Side/rear yard if next to residential	5'
Front yard	
40% of lineal frontage	0'
60% of lineal frontage	structure setback
Curb Cut (max)	40% of lineal lot frontage
5. Landscaping (Div. 5.5.)	
Plant Units (min)	
Residential	1 per du
Nonresidential	1 per 1,000 sf of landscape area
Parking Lot (all uses)	1 per 12 parking spaces
6. Fencing	
Height (max)	
In street yard	4'
In side or rear yard	6'
Setback	
Front lot line/R.O.W./Sidewalk	1'
Side or rear lot line	0'
Orientation	
The finished side of the fence shall face out to the neighbor, posts and supports shall face in to the owner	

7. Environmental Standards	
Natural Resource Setback (min) (Sec. 5.1.1.)	
Cache Creek South of Cache Creek Dr.	20'
Flat Creek North of Hansen Ave.	25'
Flat Creek South of Hansen Ave.	50'
Wetland	30'
Irrigation Ditch Setback (min) (7.7.4.D.)	
Irrigation Ditch	15'
Natural Resource Overlay (NRO) Standards (Sec. 5.2.1.)	
8. Scenic Standards	
Exterior Lighting (Sec. 5.3.1.)	
Total cut off angle (max)	90°
Illumination in footcandles	
Residential use	1.00
Nonresidential use	1.50
Height (max)	
Residential use	15'
Nonresidential use	18'
Scenic Resource Overlay (SRO) Standards (Sec. 5.3.2.)	
9. Natural Hazards to Avoid	
Steep Slopes (Sec. 5.4.1.)	
Development prohibited	Slopes > 25%
Hillside CUP required	Lot with average cross-slope ≥ 10%
Areas of Unstable Soils (Sec. 5.4.2.)	
Fault Area (Sec. 5.4.3.)	
Floodplains (Sec. 5.4.4.)	
Wildland Urban Interface (Sec. 5.4.5.)	
10. Signs (Div. 5.6.)	
Number of Signs (max)	3 per business per frontage
Home occupation/business	1 unlighted wall sign
Background Color	No white or yellow

Sign Area	
Total sign area (max)	3 sf per linear ft of building frontage up to 150 sf
Home occupation/business	2 sf
Penalty	10% per projecting and freestanding sign
Sign Type Standards	
Canopy sign	
Clearance (min)	7'6" from average grade
Setback (min)	18" from back of curb
Freestanding sign	
Height (max)	6'
Setback (min)	5'
Projecting sign	
Height (max)	24' above grade
Clearance (min)	7'6" from average grade
Setback (min)	18" from back of curb
Wall sign	
Window sign	
Window surface coverage (max)	25% up to 16 sf
Temporary Signs	(Sec. 5.6.1.)

11. Grading, Erosion Control, Stormwater	
Grading	(Sec. 5.7.2.)
Erosion Control	(Sec. 5.7.3.)
Erosion shall be controlled at all times	
Stormwater Management	(Sec. 5.7.4.)
No increase in peak flow rate or velocity across property lines	

12. Required Physical Development Permits						
Physical Development	Sketch Plan (Sec. 8.3.1.)	Development Plan (Sec. 8.3.2.)	Building Permit (Sec. 8.3.3.)	DRC Review (Sec. 8.2.6.)	Sign Permit (Sec. 8.3.5.)	Grading Permit (Sec. 8.3.4.)
Dwelling Unit						
< 5 units			X			(Sec. 5.7.1.)
5 - 10 units		X	X			(Sec. 5.7.1.)
> 10 units	X	X	X			(Sec. 5.7.1.)
Nonresidential Floor Area						
≤ 5,000 sf			X	X		(Sec. 5.7.1.)
5,001 - 15,000 sf		X	X	X		(Sec. 5.7.1.)
> 15,000 sf	X	X	X	X		(Sec. 5.7.1.)
Sign					X	(Sec. 5.7.1.)

C. Allowed Uses and Use Standards

Standards applicable to uses in the UC zone are provided or referenced below. Allowed uses are listed in Subsection 1. Uses that are not listed are prohibited, unless a similar use determination is made pursuant to 6.1.2.D. Where a cross reference is provided, please see the referenced division or section for additional standards applicable in the UC zone. This Subsection is intended to indicate all of the use standards applicable in the UC zone, however, all standards in Article 6 are applicable in the UC zone, unless stated otherwise.

1. Allowed Uses				2. Use Requirements	
Use	Permit	BSA (min)	Density (max)	Parking (min) (Div. 6.2.) (E.5)	Employee Housing Floor Area (min) (Div. 6.3.)
Residential Uses					
Detached Single-Family Unit (6.1.4.B.)	Y	0 sf	n/a	1.5/1,000 sf, max 2	n/a
Attached Single-Family Unit (6.1.4.C.) (E.2.)	B	0 sf	n/a	1.5/1,000 sf, max 2	n/a
Apartment (6.1.4.D.) (E.2.)	B	0 sf	n/a	1.5/1,000 sf, max 2	n/a
Dormitory (6.1.4.F.)	C	0 sf	35 rooms per acre	1/bed	n/a
Group Home (6.1.4.G.)	C	0 sf	35 rooms per acre	0.5/bed	n/a
Lodging					
Conventional Lodging (6.1.5.B.)	B(LO)	0 sf	n/a	0.75/LU + 1 per 150 sf assembly area	47 sf/1,000 sf
Short-term Rental Unit (6.1.5.C.)	B(LO)	0 sf	n/a	1.5/1,000 sf, max 2	n/a
Commercial Uses					
Office (6.1.6.B.)	B	0 sf	n/a	1.65/1,000 sf	14 sf/1,000 sf
Retail (6.1.6.C.)	B	0 sf	n/a	2.25/1,000 sf	156 sf/1,000 sf
Service (6.1.6.D.)	B	0 sf	n/a	1.5/1,000 sf	56 sf/1,000 sf
Restaurant/Bar (6.1.6.E.)	B	0 sf	n/a	1/110 sf dining area + 1/60 sf bar area	378 sf/1,000 sf
Amusement/Recreation					
Amusement (6.1.7.B.)	C	0 sf	n/a	1/60 sf seating area or independent calculation	independent calculation
Developed Recreation (6.1.7.D.)	B	0 sf	n/a	2.25/1,000 s	independent calculation
Outfitter/Tour Operator (6.1.7.E.)	C	0 sf	n/a	independent calculation	independent calculation
Institutional Uses					
Assembly (6.1.8.B.)	C	0 sf	n/a	independent calculation	exempt
Day Care/Education (6.1.8.C.)	B	0 sf	n/a	independent calculation	exempt

Y = Use allowed, no permit required, B=Basic Use Permit (Sec. 8.4.1.), C=Conditional Use Permit (Sec. 8.4.2.), (LO)= Lodging Overlay Only

1. Allowed Uses				2. Use Requirements	
Use	Permit	BSA (min)	Density (max)	Parking (min) (Div. 6.2.) (E.5)	Employee Housing Floor Area (min) (Div. 6.3.)
Transportation/Infrastructure					
Utility Facility (6.1.10.C.)	C	0 sf	n/a	0.5/employee + 0.5/stored vehicle	independent calculation
Wireless Communications Facilities (6.1.10.D.)					
Minor	B	0 sf	n/a	0.5/employee + 0.5/stored vehicle	independent calculation
Accessory Uses					
Accessory Residential Unit (6.1.11.B.)	B	0 sf	n/a	1.25/DU	n/a
Bed and Breakfast (6.1.11.C.)	B(LO)	0 sf	n/a	0.75/LU	47 sf/1,000 sf
Home Occupation (6.1.11.D.)	B	0 sf	n/a	n/a	exempt
Home Business (6.1.11.E.)	B	0 sf	n/a	0.5 per employee	exempt
Family Home Daycare (6.1.11.F.)	B	0 sf	n/a	0.5/employee + 0.5 off-street pick-up/drop-off	exempt
Home Daycare Center (6.1.11.G.)	B	0 sf	n/a	0.5/employee + 1 off-street pick-up/drop-off	exempt
Drive-in Facility (6.1.11.H.)	B	0 sf	n/a	n/a	exempt
Temporary Uses					
Christmas Tree Sales (6.1.12.B.)	Y	0 sf	n/a	0.5/1,000 sf outdoor display area + 0.5/employee	exempt
Temporary Shelter (6.1.12.D.)	Y		1 unit per lot	1.5/1,000 sf, max 2	exempt
Farm Stand (6.1.12.E.)	B	0 sf	n/a	2.5/1,000 sf display area	exempt
Temporary Gravel Extraction & Processing (6.1.12.F.)	B	0 sf	n/a	0.5/employee	exempt

Y = Use allowed, no permit required, B=Basic Use Permit (Sec. 8.4.1.), C=Conditional Use Permit (Sec. 8.4.2.), (LO)= Lodging Overlay Only

3. Maximum Scale of Use	
Individual Use (floor area) (max)	
Single-family unit (detached, attached, or apartment)	
Habitable floor area excluding basement	8,000 sf
Gross floor area excluding basement	10,000 sf
Individual retail use excluding basement	12,500 sf habitable
Lodging operation with multiple buildings	90,000 sf habitable

4. Operational Standards	
Outdoor Storage	(Sec. 6.4.1.) (E.3.)
Refuse and Recycling	(Sec. 6.4.2.)
Trash & recycling enclosure required	> 4 DUs and all nonresidential
Noise	(Sec. 6.4.3.)
Sound level at property line (max)	65 DBA
Vibration	(Sec. 6.4.4.)
Electrical Disturbances	(Sec. 6.4.5.)
Fire and Explosive Hazards	(Sec. 6.4.6.)

D. Development Options and Subdivision

Standards applicable to development options and subdivision in the UC zone are provided or referenced below. Where a cross reference is provided, please see the referenced division or section for additional standards applicable in the UC zone. This Subsection is intended to indicate all of the development option and subdivision standards applicable in the UC zone, however, all standards in Article 7. are applicable in the UC zone, unless stated otherwise.

1. Allowed Subdivision and Development Options								
Option	BSA (min)	Lot Size (min)	Density (max)	OSR (min)	LSR (min)	FAR (max)	Lot Coverage (max)	Option Standards
Allowed Subdivision Options								
Land Division	n/a	5,000 sf	n/a	n/a	determined by physical development			(Sec. 7.2.3.)
Condominium/Townhouse	n/a	n/a	n/a	n/a	determined by physical development			(Sec. 7.2.4.)
Allowed Development Options								
Urban Cluster Development (UCD)	15,000 sf	n/a	23.5 du/ac	.20	n/a	.65	n/a	(Sec. 7.1.3.)
Planned Unit Development (PUD-ToJ)	15,000 sf	n/a	n/a	n/a	.30	.65	.5	(Sec. 4.4.2.)
2. Residential Subdivision Requirements								
Affordable Housing								(Div. 7.4.)
Required Affordable Housing						1 affordable unit per 4 market units		
Schools and Parks Exaction								(Div. 7.5.)
Schools exaction						.020 acres per 1- or 2-family unit .015 acres per multi-family unit		
Parks exaction						9 acres per 1,000 resident		

3. Infrastructure	
Transportation Facilities	(Div. 7.6.)
Access	required
Right-of-way for Minor Local Road (min)	60'
Paved travel way for Minor Local Road (min)	20'
Required Utilities	(Div. 7.7.)
Water	public
Sewer	public

4. Required Subdivision and Development Option Permits					
Option	Planned Unit Development (Sec. 8.7.3.)	Sketch Plan (Sec. 8.3.1.)	Development Plan (Sec. 8.3.2.)	Development Option Plan (Sec. 8.5.2.)	Subdivision Plat (Sec. 8.5.3.)
Any Subdivision					
≤ 10 Units	X (PUD)		X		X
> 10 Units	X (PUD)	X	X		X
Non-subdivision development option (UCD or PUD-ToJ)					
0 - 4 Units	X (PUD)			X	
5 -10 Units	X (PUD)		X		
> 10 Units	X (PUD)	X	X		

E. Additional Zone-specific Standards

The following standards apply in addition to all other standards applicable in the UC zone.

1. **LSR Surfaces.** The Town Council may substitute on-site hardscape improvements to satisfy the LSR requirement in the UC zone if the application for development can incorporate one or more of the following design elements: pervious or decorative pavers, sidewalks, boardwalks or similar amenity.
2. **Attached Single-Family and Apartment Units.** Attached single-family and apartment units shall be located on the second or third floor.
3. **Open Storage**
 - a. The open storage of vehicles and equipment is prohibited.
 - b. No use shall be permitted to include any freestanding storage units of any kind, including but not limited to trailers, sheds, “Bully Barns,” tarpaulin structures, or any other contrivance not made a permanent part of the principal structure as that term is defined in these LDRs.

4. **Pedestrian Facilities.** All new development, redevelopment and infill development in the Lodging Overlay and UC zone shall provide a minimum setback of 10 feet from the back of curb to the closest point on the building. Such space shall be clear space unencumbered by doors, windows, bay windows or any other building projections except for required canopies. New development shall provide amenities in this space. Those amenities may include sidewalks, boardwalks, canopies, benches, bike racks, snow storage, landscaping, bus stops or any other reasonable and appropriate amenity as determined by the Town Council upon recommendation from the Design Review Committee. Minor deviations from this standard may be approved by the Planning Director in the event of mapping errors, irregular surveys, atypical layout of rights of way, or other good cause shown by the applicant.

5. **Provision of Nonresidential, Nonlodging Parking**

a. **Applicability.** The following options for providing required parking shall apply to allowed uses except:

- i. Residential Uses (Sec. 6.1.4.);
- ii. Lodging Uses (Sec. 6.1.5.); and
- iii. Accessory Residential Unit (6.1.11.B).

b. **Existing Parking Credits.** For properties with established parking credits per the Town Parking Credit Table (on reference with the Planning Department), the landowner may use such credits toward required parking. Credits are based on the amount of parking provided in 1988, as determined in 2005. Parking credits run with the land and are not transferable.

c. **On-street Parking.** Required parking may be provided on-street provided the following standards are met.

- i. An on-street parking space shall have the following length of uninterrupted curb adjoining to the lot of record of the use.

Uninterrupted Curb per On-street Parking Space	
Parking Space Angle	Uninterrupted Curb
Parallel	22'
45°/60°	18'
90°	9'

- ii. On-street parking shall not be provided along a red curb or other no-parking area put in place by the Town or WYDOT.
- iii. The on-street parking shall follow the established configuration of existing on-street parking.
- iv. On-street parking spaces shall be available for general public use at all times. No signs or actions limiting general public use of on-street spaces shall be permitted.

2.3.3. [deleted] (D2 effective date)

- d. **Fee-In-Lieu.** Required parking may be provided off-site through the Town’s in-lieu fee program pursuant to the following standards.
 - i. **Fee.** The fee shall be a one-time fee commensurate with the cost of providing off-street parking and shall be used exclusively for such purpose. The Town Clerk shall accept fees in accordance with the parking fee schedule set forth by Resolution.
 - ii. **Assignment of Credits.** Parking credits purchased by fee-in-lieu run with the land and are not transferable.
 - iii. **Banking of Fee-in-Lieu Spaces.** Fee-in-lieu spaces may be purchased in advance and “banked” for future use.
- 6. **Loading Requirement.** Sufficient off-street loading facilities must be provided. The requirements of Sec. 6.2.2.E are not applicable. The applicant must address how their specific loading needs are being met in the proposed application.

2.3.3. [deleted] (D2 effective date)

[Section number reserved, original Section deleted]

4. Required Subdivision and Development Option Permits					
Option	Planned Unit Development (Sec. 8.7.3.)	Sketch Plan (Sec. 8.3.1.)	Development Plan (Sec. 8.3.2.)	Development Option Plan (Sec. 8.5.2.)	Subdivision Plat (Sec. 8.5.3.)
Any Subdivision					
≤ 10 Units	X (PUD)		X		X
> 10 Units	X (PUD)	X	X		X
Non-subdivision development option (UCD or PUD-ToJ)					
0 - 4 Units	X (PUD)			X	
5 -10 Units	X (PUD)		X		
> 10 Units	X (PUD)	X	X		

E. Additional Zone-specific Standards

The following standards apply in addition to all other standards applicable in the AR-ToJ zone.

- 1. **Accessory Residential Units (ARUs)**
 - a. Accessory residential units are only permitted in conjunction with a detached single-family unit.
 - b. No more than 2 accessory units per lot are allowed.
 - c. If only one accessory unit per lot is constructed, it may be attached to or detached from the principal structure.
 - d. If 2 accessory units are constructed on one lot, one shall be attached to the principal structure, the other shall be detached. The minimum separation between detached units shall be 10 feet.

2.3.7. [deleted] (D2 effective date)

[Section number reserved, original Section deleted]

2.3.8. [deleted] (D2 effective date)

[Section number reserved, original Section deleted]

SECTION IV.

All ordinances and parts of ordinances in conflict with the provisions of this ordinance are hereby repealed.

SECTION V.

If any section, subsection, sentence, clause, phrase or portion of this ordinance is for any reason held invalid or unconstitutional by any court of competent jurisdiction, such portion shall be deemed as a separate, distinct and independent provision and such holding shall not affect the validity of the remaining portions of the ordinance.

SECTION VI.

This Ordinance shall become effective after its passage, approval and publication.

PASSED 1ST READING THE 17th DAY OF OCTOBER, 2016.

PASSED 2ND READING THE ___ DAY OF _____, 2016.

PASSED AND APPROVED THE ___ DAY OF _____, 2016.

TOWN OF JACKSON

BY: _____
Sara Flitner, Mayor

ATTEST:

BY: _____
Sandra P. Birdyshaw, Town Clerk

ATTESTATION OF TOWN CLERK

STATE OF WYOMING)
) ss.
COUNTY OF TETON)

I hereby certify that the foregoing Ordinance No. ___ was duly published in the Jackson Hole News and Guide, a newspaper of general circulation published in the Town of Jackson, Wyoming, on the ___ day of November, 2016.

I further certify that the foregoing Ordinance was duly recorded on page ___ of Book 7 of Ordinances of the Town of Jackson, Wyoming.

Sandra P. Birdyshaw, Town Clerk